

# Planning & Zoning Commission Meeting Agenda

City Council Chambers

1311 Chestnut Street

Bastrop, TX 78602



*This meeting will be live streamed on the City of Bastrop Facebook Page*

*([www.facebook.com/bastroptx](http://www.facebook.com/bastroptx)) and broadcast on Spectrum channel 10 and AT&T U-verse channel 99. A recording of the meeting will also be available within 72 hours after the meeting on the City's YouTube channel (Bastrop TX Network) and in the Agendas & Minutes section of the City website ([www.cityofbastrop.org](http://www.cityofbastrop.org)).*

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**April 29, 2021 at 6:00 P.M.**

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*City of Bastrop Planning & Zoning Commission meetings are available to all persons regardless of disability. If you require special assistance, please contact the Commission Secretary at (512) 332-8840 or write 1311 Chestnut Street, 78602, or by calling through a T.D.D. (Telecommunication Device for the Deaf) to Relay Texas at 1-800-735-2989 at least 48 hours in advance of the meeting.*

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As authorized by Section 551.071 of the Texas Government Code, this meeting may be convened into closed Executive Session for the purposes of seeking confidential legal advice from the City Attorney on any item on the agenda at any time during the meeting.

The City of Bastrop reserves the right to reconvene, recess, or realign the Regular Session or called Executive Session or order of business at any time prior to adjournment.

- 1. CALL TO ORDER**
- 2. CITIZEN COMMENTS**

At this time, comments will be taken from the audience on any topic.

In accordance with the Texas Open Meetings Act, if a citizen discusses any item not on the agenda, the Commission cannot discuss issues raised or make any decision at this time. Instead, city Commissions are limited to making a statement of specific information or a recitation of existing policy in response to the inquiry. Issues may be referred to the Staff Liaison for research and possible future action.

It is not the intention of the City of Bastrop to provide a public forum for the embarrassment or demeaning of any individual or group. Neither is it the intention of the Commission to allow a member of the public to slur the performance, honesty, and/or integrity of the Commission, as a body or any member or members of the Commission, individually or collectively, nor any members of the city's staff. Accordingly, profane, insulting, or threatening language directed toward the Commission and/or any person in the Commission's presence will not be tolerated.

### **3. ITEMS FOR INDIVIDUAL CONSIDERATION**

- 3A. Consider action to approve meeting minutes from the March 25, 2021 Planning and Zoning Commission Regular Meeting.
- 3B. Consider action on the appeal of an administrative denial a Site Development Plan for First National Bank on Lot 2 of the Main & Spring Subdivision, located at 714 Spring Street, that was previously denied by the Director of Planning & Development due to non-compliance with the Bastrop Building Block (B<sup>3</sup>) Code Section 6.3.005 Alleys & Driveway Locations.
- 3C. Consider action to approve The Colony MUD 1F, Section 1 Preliminary Plat, being 11.948 acres out of the Jose Manuel Bangs Survey, Abstract No. 5, located west of FM 969, within the Statutory Extra-Territorial Jurisdiction of Bastrop, Texas, as shown in Exhibit A.
- 3D. Consider action on the appeal of the administrative denial of the Majestic Pines Neighborhood Regulating Plan and Warrant for Block Size, located on Pine Forest Unit 6, Phase II, Lot Reserve A – Fraction (15.409 acres), within the City of Bastrop Texas as attached in the Neighborhood Regulating Plan with Exhibits A & B.
- 3E. Consider action to deny a Building Placement Warrant Request and Parking Lot Placement Warrant Request for The Leaning Place at Lost Pines being 1.160 acres out of the Riverside Grove Subdivision Phase 1, Block A, Lot 33, located west of Hasler Shores Drive.
- 3F. Public hearing and consider action to recommend approval of an ordinance for amendments to Chapter 8 – Signs, including, Section 8.1.007 Non-conforming Signs, Section 8.1.009 Signs Requiring a Permit, Section 8.1.011 Sign Permit Requirements, Article 8.2 Master Plans, Article 8.3 On-Premises Sign Types & Standards, and Article 8.4 Temporary Signs, and Chapter 10 – Section 10.1.002 Definitions of the Bastrop Building Block B3 Code and forward to the May 25, 2021 City Council meeting for adoption.

### **4. WORKSHOP**

- 4A. Discussion on Comprehensive Plan Chapter 5 – Land Use & Community Image and Chapter 6 – Transportation.

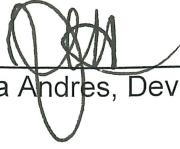
### **5. UPDATES**

- 5A. Update on recent City Council actions regarding Planning Department items.
- 5B. Individual Requests from Planning & Zoning Commissioners that particular items to be listed on future agendas (no group discussion allowed).
- 5C. Building Department and Planning Department Monthly Projects Volume Report.

### **6. ADJOURNMENT**

I, the undersigned authority, do hereby certify that this Notice of Meeting as posted in accordance with the regulations of the Texas Open Meetings Act on the bulletin board located at the entrance to the City of Bastrop City Hall, a place of convenient and readily accessible to the general public,

as well as to the City's website, [www.cityofbastrop.org](http://www.cityofbastrop.org) and said Notice was posted on the following date and time: Monday, April 26, 2021 at 5:00 p.m. and remained posted for at least two hours after said meeting was convened.



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Vivianna Andres, Development Coordinator



# STAFF REPORT

**MEETING DATE:** April 29, 2021

**AGENDA ITEM:** 3A

**TITLE:**

Consider action to approve meeting minutes from the March 25, 2021 meeting of the Planning & Zoning Commission.

**STAFF REPRESENTATIVE:**

Nicole Peterson, Planning Technician

**ATTACHMENTS:**

Meeting Minutes



# Planning and Zoning Commission

## March 25, 2021

### Meeting Minutes

The City of Bastrop Planning and Zoning Commission met Thursday, March 25, 2021 at 6:00 p.m. in the Council Chambers located at 1311 Chestnut Street, Bastrop, Texas 78602.

#### 1. CALL TO ORDER

Debbie Moore called the meeting to order at 6:00 p.m.

Debbie Moore	Present
Glenn Johnson	Present
Cynthia Meyer	Present
Matt Lassen	Present
Cheryl Lee	Present
Greg Sherry	Present
Ishmael Harris	Absent
Pablo Serna	Present
Carrie Caylor	Present

#### 2. CITIZEN COMMENTS

There were no citizen comments.

#### 3. ITEMS FOR INDIVIDUAL CONSIDERATION

- 3A. Consider action to approve meeting minutes from the February 25, 2021 Planning & Zoning Commission Meeting, and the March 1, 2021 Planning and Zoning Commission Special Meeting.

Glenn Johnson made a motion to recommended approval of the February 25, 2021 meeting minutes. Pablo Serna seconded the motion and the motion carried unanimously.

Cynthia Meyer made a motion to recommended approval of the March 1, 2021 meeting minutes. Cheryl Lee seconded the motion and the motion carried unanimously.

- 3B. Consider action to deny a Site Development Plan for First National Bank on Lot 2 of the Main & Spring Subdivision, located at 714 Spring Street, that was previously denied by the Director of Planning & Development due to non-compliance with the Bastrop Building Block (B<sup>3</sup>) Code Section 6.3.005 Alleys & Driveway Locations.

Jennifer Bills presented. She stated the request is a minor deviation from code, and Staff could not approve the number of driveways requested. Jennifer presented the map showing driveway locations with an entrance and exits totaling 5 driveways. She stated this layout did not match with the B3 Code intent to make Bastrop to be a walkable place.

Question: What is the amount of impervious cover they are creating? Jennifer said it was less than what was there today.

# Planning and Zoning Commission

March 25, 2021

## Meeting Minutes

David Lapp, the consultant for First National Bank on the project, presented his case for the driveway request on the site plan. He also discussed other site elements such as future plans for the ATM, traffic flow, reasons why FNB wants to keep the ATM a drive-up ATM, the current walkability of the surrounding neighborhood, and ingress and egress onto the site.

There was a suggestion from the Commission about perhaps approaching this at two separate items for evaluation, one being the way patrons will access the site, and the other being the method of access to the ATM. The Commission also asked the engineer on the project, Luke Stewart, if he felt this site was designed with engineering best practices in mind. Luke replied he felt it was.

David Lapp stated he would need to confer with his client prior to making any compromises on the site.

The Commission suggested the meeting be tabled so David could have time to confer with his client. David stated he would be in favor of tabling the item until a further date.

Cynthia Meyer made a motion to defer the Site Development Plan for First National Bank on Lot 2 of the Main & Spring Subdivision, located at 714 Spring Street, that was previously denied by the Director of Planning and Development due to non-compliance with the Bastrop Building Block (B<sup>3</sup>) Code Section 6.3.005 Alleys & Driveway Locations. Cheryl Lee seconded the motion and the motion carried seven to one with Glenn Johnson not in favor.

#### **4. WORKSHOP**

- 4A. Discussion on Rules of Procedure for the City Council and Boards and Commission of the City of Bastrop, Texas.

Jennifer Bills informed the Commission copies of the Discussion on Rules of Procedure for the City Council and Boards and Commission of the City of Bastrop, Texas were handed out at the last meeting.

- 4B. Discussion on Comprehensive Plan Executive Summary, Chapter 4 – Housing & Neighborhoods and any other follow up the February meeting.

Jennifer Bills and the Commission discussed looking at what needs to be updated and budgeted for with the Comprehensive Plan. The agreed topics should include addressing the voluntary ETJ, Housing and Neighborhood in Section 4 –updating some key items: demographics, growth, housing.

- 4C. Discussion on the direction of amendments to the Bastrop Building Block (B<sup>3</sup>) Code, Chapter 8 - Signs.

Jennifer presented her recommendations on what needs to be changed within the Sign Code.

The Commission asked if the size of the Harbor Freight sign could be evaluated to see if it would be allowed under our current sign ordinance. Discussion was had about the back lite signs.

**Planning and Zoning Commission**  
**March 25, 2021**  
**Meeting Minutes**

**5. UPDATES**

5A. Update on recent City Council actions regarding Planning Department items.

There were no updates at this time.

5B. Individual Requests from Planning & Zoning Commissioners that particular items to be listed on future agendas (no group discussion allowed).

Jennifer informed the Commission there would be a departmental activity report in their packet at the next meeting.

**6. ADJOURNMENT**

Cynthia Meyer made a motion to adjourn at 8:17 p.m. Matt Lassen seconded the motion, and the motion carried unanimously.

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Debbie Moore, Chair

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Pablo Serna, Vice-Chair



# STAFF REPORT

**MEETING DATE:** April 29, 2021

**AGENDA ITEM:** 3B

**TITLE:**

Consider action on the appeal of an administrative denial a Site Development Plan for First National Bank on Lot 2 of the Main & Spring Subdivision, located at 714 Spring Street, that was previously denied by the Director of Planning & Development due to non-compliance with the Bastrop Building Block (B<sup>3</sup>) Code Section 6.3.005 Alleys & Driveway Locations.

**STAFF REPRESENTATIVE:**

Jennifer C. Bills, AICP, LEED AP, Assistant Planning Director

**ITEM DETAILS:**

Site Address: 714 Spring Street (Attachment 1)  
 Total Acreage: 0.588 acres  
 Legal Description: Main & Spring Subdivision, Lot 2  
 Property Owner: First National Bank  
 Agent Contact: Luke Stewart/Southwest Engineers  
 Existing Use: Parking lot/Drive-thru ATM  
 Existing Zoning: P-5, Core  
 Character District: Old Town  
 Future Land Use: Downtown Bastrop

**BACKGROUND/HISTORY:**

The Planning & Zoning Commission first considered this appeal at the March 25, 2021 regular meeting. After discussion on the conflicts created by five driveways for the site and the possibility of closing the two driveways for the existing Cash Station ATM, the P&Z postponed the item so the applicant could revise the site development plan to see if there is a solution that could be reached administratively. After discussion between the applicant and the Assistant City Manager, a solution could not be reached.

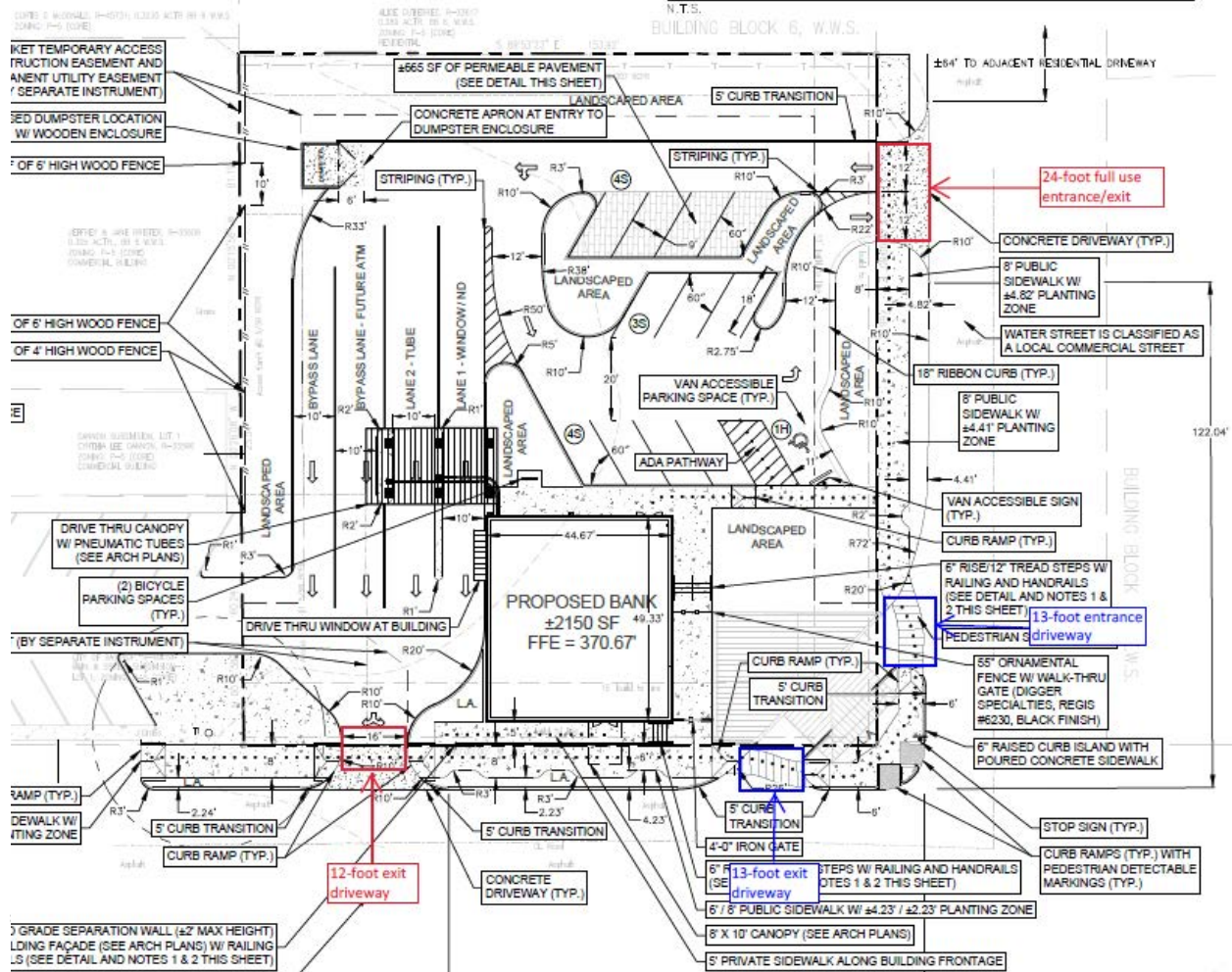
The applicant has revised the previous plan from five driveways to four and revised the widths.

Driveway Location	March 25, 2021 Draft	April 29, 2021 Draft
New Spring Street	12'	16'
Existing Spring Street	Approx. 20' crossing	Approx. 13' crossing
Existing Water Street	Approx. 20' crossing	Approx. 13' crossing
New Water Street Exit	12'	Combined into one 24' entrance/exit
New Water Street Entrance	12'	

The revised Site Development Plan with the changes in driveways was submitted for P&Z consideration (Attachment 3). For the Cash Station ATM, the applicant is unwilling to close the drive thru, but is willing to narrow down the lanes from approximately 20 feet to 13 feet. On Water Street, the same driveway width cut to the sidewalk is proposed but is consolidated into one spot (24 feet).



## Attachment 4



The Assistant City Manager (Acting Director of Planning & Development) has denied approval of the plan for non-compliance with the driveway requirements. Per the Code, on a corner must take access off the Secondary Frontage and sites zoned P-4 or P-5 must have the driveway set a minimum of 40 feet from the street intersection. The B<sup>3</sup> Code is designed to create pedestrian focused multi-modal streets. Allowing of multiple auto centric driveways creates multiple breaks in the sidewalk and intersections with the street driving lanes, generating conflicts for pedestrians and other auto traffic.

Per the code requirements, the site is allowed one driveway up to 24-feet wide for two-way traffic on Water Street (secondary frontage).

### Other Items

- Easement Vacation: There is an existing Public Utility Easement and Access Easement that will have to be vacated before the Site Development Plan can be approved. The applicant has submitted the basic application, but staff is still waiting on additional documents and payment.
- Blanket Easement for Bastrop Power & Light for line relocation will need to be submitted.
- A Certificate of Appropriateness was approved by the Historic Landmark Commission on March 17, 2021 to allow a decrease in required clear window glass on the front façade from 60% to 6.5% clear and 6.5% frosted glass (13% window glass total).

**POLICY EXPLANATION:**

Per Table 2.4.001A Development Application Approval Process, if an applicant disagrees with the Director of Planning's denial of a Site Development Plan, the applicant can appeal the decision the Planning & Zoning Commission.

Compliance with the Bastrop Building Block (B<sup>3</sup>) Code:

**SEC. 6.3.005 ALLEYS & DRIVEWAY LOCATIONS**

- (a) Intent: Building walkable cities means that while vehicles are part of modern life, they should have minimal disruption to the Public Realm. The Standards of the Code intend to ensure all modes of Transportation are respected.
- (b) The preferred means of vehicular access to lots is through the use of Alleys. Alleys provide a location to hide unsightly functions of our communities such as garages, garbage cans, transformers, electric meters, and telephone equipment.
- (c) Other benefits of Alleys include:
  - (1) Alleys make it possible for rear accessed lots to be created, preserving the public frontages from interruptions of driveways and Curb-cuts.
  - (2) Safety as sidewalks and pedestrians become separated from the access requirements of vehicles.
  - (3) They create a more casual neighborhood space adjacent to backyard activity centers leaving the front of the House as a more formal community space.
- (d) Driveways:
  - (1) Where Alleys are present, all vehicular access shall be provided from the Alley.
  - (2) Where a Lot does not have access to an Alley, driveways are allowed in accordance with this section.
  - (3) For corner lots, all driveways shall be located at the Secondary Frontage.
  - (4) Driveways shall be located as far from the adjacent public Street intersection as practical to achieve maximum available corner clearance, with consideration of property limits, adjacent Curb cuts, topography, and existing Drainage facilities. Non-Alley loaded driveways may intersect a Street no closer than twenty (20) feet from the intersection of 2 Street rights-of-way in P1, P2, and P3, and forty (40) feet in P4 and P5.
  - (5) Mid-Block lots greater than 40' in width at the Frontage are allowed one Driveway with a maximum width of 24' for two-way and 12' for one-way driveways.
  - (6) In P4 and P5, driveways accessing up to 80 feet wide of Street right-of-way must be spaced 200 feet apart centerline to centerline, and driveways accessing more than an 80 feet wide Street right-of-way must be spaced 300 feet apart centerline to centerline.
  - (7) Nothing in this section shall prevent all Site access to any property.

**RECOMMENDATION:**

Consider action to deny the appeal of the administrative denial of a Site Development Plan for First National Bank on Lot 2 of the Main & Spring Subdivision, located at 714 Spring Street, that was previously denied by the Director of Planning & Development due to non-compliance with the Bastrop Building Block (B<sup>3</sup>) Code Section 6.3.005 Alleys & Driveway Locations.

**ATTACHMENTS:**

- Attachment 1: Location Map
- Attachment 2: Revised First National Bank Site Development Plan
- Attachment 3: Driveway Locations
- Attachment 4: Applicant Response

# Attachment 1 Location Map



Date: 3/12/2021

## Appeal of Site Development Plan Denial 714 Spring Street

The accuracy and precision of this cartographic data is limited and should be used for information /planning purposes only. This data does not replace surveys conducted by registered Texas land surveyors nor does it constitute an "official" verification of zoning, land use classification, or other classification set forth in local, state, or federal regulatory processes. The City of Bastrop, nor any of its employees, do not make any warranty of merchantability and fitness for particular purpose, or assumes any legal liability or responsibility for the accuracy, completeness or usefulness of any such information, nor does it represent that its use would not infringe upon privately owned rights.



1 inch = 45 feet





FIRST NATIONAL BANK OF BASTROP

# SITE DEVELOPMENT PLAN FOR FIRST NATIONAL BANK OF BASTROP

**714 SPRING STREET  
BASTROP, BASTROP COUNTY, TEXAS 78602**

**APRIL 2021  
SWE PROJECT # 0930-001-20**



**LOCATION MAP**  
N.T.S.

BASTROP FIRE DEPARTMENT	
FIRE DESIGN CODES	2018 INTERNATIONAL FIRE CODE WITH CITY OF BASTROP LOCAL AMENDMENTS
FIRE FLOW DEMAND @ 20 PSI	1,855 GPM
INTENDED USE	BANK
CONSTRUCTION CLASSIFICATION	V-B
BUILDING FIRE AREA	± 2,150 SF
AUTOMATIC FIRE SPRINKLER SYSTEM	NO
REDUCED FIRE FLOW DEMAND @ 20 PSI	1,500 GPM (MINIMUM)
FIRE HYDRANT FLOW TEST DATE	11/18/2020
FIRE HYDRANT FLOW TEST LOCATION	SPRING ST. / WATER ST.
ALTERNATIVE METHOD OF COMPLIANCE AMOC (IF APPLICABLE)	N/A

### CORRECTION / REVISION

NO.	DESCRIPTION	REVISE (R) ADD (A) VOID (V) SHEET NO.'S	TOTAL SHEETS IN PLAN SET	NET CHANGE IMP. COVER	SITE IMP. COVER	% SITE IMP. COVER	APPROVED DATE	IMAGED DATE

Sheet List Table	
Sheet Number	Sheet Title
1	COVER SHEET
2	NOTES SHEET
3	PLAT SHEET
4	EXISTING CONDITIONS SHEET
5	EROSION & SEDIMENTATION CONTROL PLAN
6	EXISTING DRAINAGE AREA MAP
7	PROPOSED DRAINAGE AREA MAP
8	SITE & DIMENSION CONTROL PLAN
9	UTILITY PLAN
10	GRADING PLAN
11	TRAFFIC CONTROL PLAN
12	SITE DETAILS
13	LANDSCAPE & PUBLIC FRONTAGE PLAN
14	LANDSCAPE DETAILS & SPECIFICATIONS
15	LANDSCAPE IRRIGATION PLAN
16	IRRIGATION DETAILS & SPECIFICATIONS (1 OF 2)
17	IRRIGATION DETAILS & SPECIFICATIONS (2 OF 2)
18	PHOTOMETRIC PLAN (SHEET 1 OF 3)
19	PHOTOMETRIC PLAN (SHEET 2 OF 3)
20	PHOTOMETRIC PLAN (SHEET 3 OF 3)
21	EXTERIOR ELEVATIONS (SHEET 1 OF 3)
22	EXTERIOR ELEVATIONS (SHEET 2 OF 3)
23	EXTERIOR ELEVATIONS (SHEET 3 OF 3)

**SUBMITTED BY: SOUTHWEST ENGINEERS, INC.**  
**DATE: JANUARY 19, 2021**

I, PAUL VIKTORIN, DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED IN THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE, AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.



AS OWNER OF THIS PROPERTY, I PROMISE TO DEVELOP AND MAINTAIN THIS PROPERTY AS DESCRIBED BY THIS PLAN.

NAME OF OWNER/TRUSTEE \_\_\_\_\_ DATE \_\_\_\_\_

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN ACCEPTING THESE PLANS, THE CITY OF BASTROP MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

ACCEPTED FOR CONSTRUCTION:

DIRECTOR OF PLANNING AND DEVELOPMENT \_\_\_\_\_ DATE \_\_\_\_\_

CITY OF BASTROP ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

CITY OF BASTROP FIRE DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

**ENGINEER:**  
SOUTHWEST ENGINEERS, INC.  
205 CIMARRON PARK LOOP, SUITE B  
BUDA, TX 78610  
PH: (512) 312-4336  
CONTACT: LUKE STEWART

**OWNER/DEVELOPER:**  
FIRST NATIONAL BANK OF BASTROP  
P O DRAWER F  
BASTROP, TEXAS 78602  
CONTACT: REID SHARP, PRESIDENT/CEO  
PHONE: (512) 581-4400

**LANDSCAPE ARCHITECT:**  
EVERGREEN DESIGN GROUP  
9600 GREAT HILLS TRAIL #150W  
AUSTIN, TEXAS 78759  
CONTACT: RODNEY MCNABB  
PHONE: (800) 680-6630

**SURVEYOR:**  
OLSON SURVEYING  
711 WATER STREET  
BASTROP, TEXAS 78602  
PHONE: (512) 321-5476

**FLOODPLAIN STATUS:**  
THE PROPERTY LIES IN UNSHADED ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOODPLAIN), AS SHOWN ON THE FEMA MAP PANEL NO. 48021C0355E, FOR BASTROP COUNTY-TEXAS, DATED JANUARY 19, 2006.

**LEGAL DESCRIPTION:**  
MAIN & SPRING SUBDIVISION, LOT 2, ACRES 0.588

**JURISDICTION:**  
CITY OF BASTROP (FULL PURPOSE)

**UTILITY PROVIDERS:**  
WATER SERVICE: CITY OF BASTROP  
WASTEWATER SERVICE: CITY OF BASTROP  
ELECTRIC SERVICE: BASTROP POWER AND LIGHT (BP&L)

**DESIGN CODES:**  
BASTROP BUILDING BLOCK (B) CODE

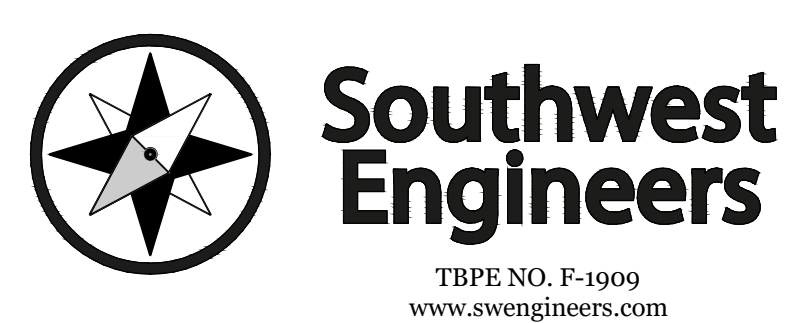
BLOCK DESIGNATION	ACREAGE	LOT	CHARACTER DISTRICT	PLACE TYPE
BUILDING BLOCK 6	0.588	2	OLD TOWN	P-5 (CORE)

- NOTES:**
- CONTRACTOR IS FULLY RESPONSIBLE FOR FIELD LOCATING ALL EXISTING UTILITIES, PRIVATE AND PUBLIC, WITHIN THE WORK AREA. NEITHER OWNER NOR ENGINEER HAS AS-BUILT INFORMATION FOR UNDERGROUND UTILITIES AND MAKES NO GUARANTEE AS TO THEIR LOCATION. CONTRACTOR WILL EMPLOY CONSTRUCTION METHODS NECESSARY TO ENSURE UNDERGROUND UTILITIES ARE NOT DAMAGED (IE. HAND DIGGING ETC.) THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING UTILITIES, PRIVATE OR PUBLIC, AND SHALL REPAIR ANY UTILITIES DAMAGED TO THE OWNER'S SPECIFICATIONS AT NO COST TO HIM.
  - THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF BASTROP RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. BASTROP POWER AND LIGHT (BP&L) WILL NOT RENDER ELECTRIC SERVICES UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.

C:\Users\jstefan\Documents\Projects\0930-001-20-First National Bank of Bastrop\Site Plan\0930-001-20-COVER.dwg - Layout: "BASTROP" - Mon, Apr 19, 2021, 2:22pm, By: C1038-Lukas

NO.	REVISION	DATE

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY PAUL VIKTORIN, P.E. # 66879 ON THE DATE INDICATED. ANY ALTERATIONS OF THIS SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.



**HEADQUARTERS**  
307 Saint Lawrence Street, Gonzales TX 78629  
P: 830.672.7546 F: 830.672.2034  
**CENTRAL TEXAS**  
205 Cimarron Park Loop, Ste. B, Buda TX 78610  
P: 512.312.4336

**WARNING**  
IF THIS BAR DOES NOT MEASURE 1" THE DRAWING IS NOT TO SCALE  
DRAWN BY: LS  
CHECKED BY: PV

COVER SHEET

**FIRST NATIONAL BANK OF BASTROP**  
714 SPRING STREET, BASTROP, TX 78602

PROJECT NO.	0930-001-20
DRAWING NO.	_____
SHEET	1 OF 23

GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BASTROP DESIGN AND CONSTRUCTION STANDARDS MANUAL.
2. ANY EXISTING UTILITIES, PAVEMENT, CURBS, SIDEWALKS, STRUCTURES, TREES, ETC., NOT PLANNED FOR DEMOLITION THAT ARE DAMAGED OR REMOVED SHALL BE REPAIRED OR REPLACED AT THE APPLICANT'S EXPENSE.
3. THE CONTRACTOR SHALL VERIFY ALL DEPTHS AND LOCATIONS OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION...

TRENCH SAFETY NOTES

- 1. IN ACCORDANCE WITH THE LAWS OF THE STATE OF TEXAS AND THE U. S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS, ALL TRENCHES OVER 5 FEET IN DEPTH IN EITHER HARD AND COMPACT OR SOFT AND UNSTABLE SOIL SHALL BE SLOPED, SHORED, SHEETED, BRACED OR OTHERWISE SUPPORTED.
2. IN ACCORDANCE WITH THE U. S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS, WHEN PERSONS ARE IN TRENCHES 4-FEET DEEP OR MORE, ADEQUATE MEANS OF EXIT, SUCH AS A LADDER OR STEPS, MUST BE PROVIDED AND LOCATED SO AS TO REQUIRE NO MORE THAN 25 FEET OF LATERAL TRAVEL.

STREET AND DRAINAGE NOTES

- 1. ALL TESTING SHALL BE DONE BY AN INDEPENDENT LABORATORY AT THE APPLICANT'S EXPENSE. A CITY INSPECTOR SHALL BE PRESENT DURING ALL TESTS. TESTING SHALL BE COORDINATED WITH THE CITY INSPECTOR AND HE SHALL BE GIVEN A MINIMUM OF 24 HOURS NOTICE PRIOR TO ANY TESTING.
2. BACKFILL BEHIND THE CURB SHALL BE COMPACTED TO OBTAIN A MINIMUM OF 85% MAXIMUM DENSITY TO WITHIN 3 INCHES OF TOP OF CURB. MATERIAL USED SHALL BE PRIMARILY GRANULAR WITH NO ROCKS LARGER THAN 3 INCHES IN THE GREATEST DIMENSION...

Table with 5 columns: SECTION TYPE, DUTY, FCC THICKNESS, HMAc THICKNESS, LIME STAB. THICKNESS. Rows include RIGID (LIGHT, MODERATE, HEAVY) and ASPHALT (LIGHT, MODERATE).

- 8. THE GEOTECHNICAL ENGINEER SHALL INSPECT THE SUBGRADE FOR COMPLIANCE WITH THE DESIGN ASSUMPTIONS MADE DURING PREPARATION OF THE SOILS REPORT. ANY ADJUSTMENTS THAT ARE REQUIRED SHALL BE MADE THROUGH REVISION OF THE CONSTRUCTION PLANS.
9. WHERE P'S ARE OVER 20, SUBGRADES MUST BE STABILIZED UTILIZING A METHOD ACCEPTABLE TO THE CITY ENGINEER...

WATER AND WASTEWATER NOTES

- 1. PIPE MATERIAL FOR WATER MAINS SHALL BE PVC (AWWA C-900, MINIMUM CLASS 200), OR DUCTILE IRON (AWWA C-100, MINIMUM CLASS 200). WATER SERVICES (2 INCHES OR LESS) SHALL BE POLYETHYLENE TUBING (BLACK, 200 PSI, DR 9).
2. PIPE MATERIAL FOR PRESSURE WASTEWATER MAINS SHALL BE PVC, OR DUCTILE IRON (MINIMUM CLASS 250). PIPE MATERIAL FOR GRAVITY WASTEWATER MAINS SHALL BE PVC (ASTM D2241 OR D3034, MAXIMUM DR-26), DUCTILE IRON (AWWA C-100, MINIMUM CLASS 200200).
3. UNLESS OTHERWISE ACCEPTED BY THE CITY ENGINEER, DEPTH OF COVER FOR ALL LINES OUT OF THE PAVEMENT SHALL BE 42 INCHES MINIMUM, AND DEPTH OF COVER FOR ALL LINES UNDER PAVEMENT SHALL BE A MINIMUM OF 30 INCHES BELOW SUBGRADE.

TRAFFIC MARKING NOTES

- 1. ANY METHODS, STREET MARKINGS AND SIGNAGE NECESSARY FOR WARNING MOTORISTS, WARNING PEDESTRIANS OR DIVERTING TRAFFIC DURING CONSTRUCTION SHALL CONFORM TO THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITION.
2. ALL PAVEMENT MARKINGS, MARKERS, PAINT, TRAFFIC BUTTONS, TRAFFIC CONTROLS AND SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE TEXAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS AND BRIDGES AND, THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITIONS.

EROSION AND SEDIMENTATION CONTROL NOTES

- 1. EROSION CONTROL MEASURES, SITE WORK AND RESTORATION WORK SHALL BE IN ACCORDANCE WITH THE CITY OF BASTROP CODE OF ORDINANCES.
2. ALL SLOPES SHALL BE SODDED OR SEEDED WITH APPROVED GRASS, GRASS MIXTURES OR GROUND COVER SUITABLE TO THE AREA AND SEASON IN WHICH THEY ARE APPLIED.
3. SILT FENCES, ROCK BERMS, SEDIMENTATION BASINS AND SIMILARLY RECOGNIZED TECHNIQUES AND MATERIALS SHALL BE EMPLOYED DURING CONSTRUCTION TO PREVENT POINT SOURCE SEDIMENTATION LOADING OF DOWNSTREAM FACILITIES...

BASTROP FIRE DEPARTMENT GENERAL NOTES

- 1. THE BASTROP FIRE DEPARTMENT REQUIRES FINAL ASPHALT OR CONCRETE PAVEMENT ON REQUIRED ACCESS ROADS PRIOR TO THE START OF COMBUSTIBLE CONSTRUCTION. ANY OTHER METHOD OF PROVIDING "ALL-WEATHER DRIVING CAPABILITIES" SHALL BE REQUIRED TO BE DOCUMENTED AND APPROVED AS AN ALTERNATE METHOD OF CONSTRUCTION IN ACCORDANCE WITH THE APPLICABLE RULES FOR TEMPORARY ROADS.
2. FIRE HYDRANTS SHALL BE INSTALLED WITH THE CENTER OF THE LARGE DIAMETER HOSE CONNECTION (STEAMER) LOCATED AT LEAST 18 INCHES ABOVE FINISHED GRADE. THE STEAMER OPENING OF FIRE HYDRANTS SHALL FACE THE APPROVED FIRE ACCESS DRIVEWAY OR PUBLIC-STREET AND SET BACK FROM THE CURB LINE(S) AN APPROVED DISTANCE, TYPICALLY THREE (3) TO SIX (6) FEET...

Hydrant Flow Test Report form from City of Bastrop Fire Department. Includes test details for Spring/Water at 800 Block of Spring Street, test date 11/18/2020, and a flow curve graph showing pressure vs flow rate.

Revision table with columns: NO., REVISION, DATE. Contains one revision entry.



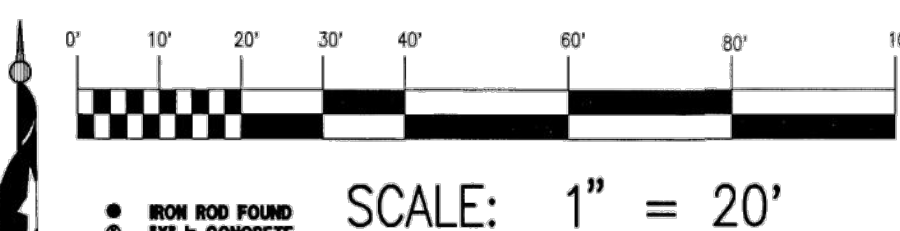
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY PAUL VIKTORIN, P.E. # 66879 ON THE DATE INDICATED. ANY ALTERATIONS OF THIS SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

Southwest Engineers logo and contact information: 307 Saint Lawrence Street, Gonzales TX 78629, P: 830.672.7546 F: 830.672.2034. Also includes address: 205 Cimarron Park Loop, Ste. B, Buda TX 78610, P: 512.312.4335.

WARNING: IF THIS BAR DOES NOT MEASURE 1" THE DRAWING IS NOT TO SCALE. DRAWN BY: LS. CHECKED BY: PV.

NOTES SHEET for PROJECT NO. 0930-001-20. DRAWING NO. FIRST NATIONAL BANK OF BASTROP. 714 SPRING STREET, BASTROP, TX 78602. SHEET 2 OF 23.

# MAIN & SPRING SUBDIVISION



- IRON ROD FOUND
- "X" IN CONCRETE
- 8" IRON ROD SET
- ▲ FENCE POST
- UTILITY POLE
- STREET LIGHT
- FENCE LINE
- ABOVE GROUND UTILITY SERVICE (ELECTRIC, PHONE & CABLE)
- ( ) EASEMENT CALLS

NO portion of this tract lies within a SPECIAL FLOOD HAZARD AREA designated as such by the Department of Housing and Urban Development, Federal Insurance Administration, as shown on FIRM Number: 45021C0355C. Effective Date: 01/19/06. This Tract lies in Zone X.

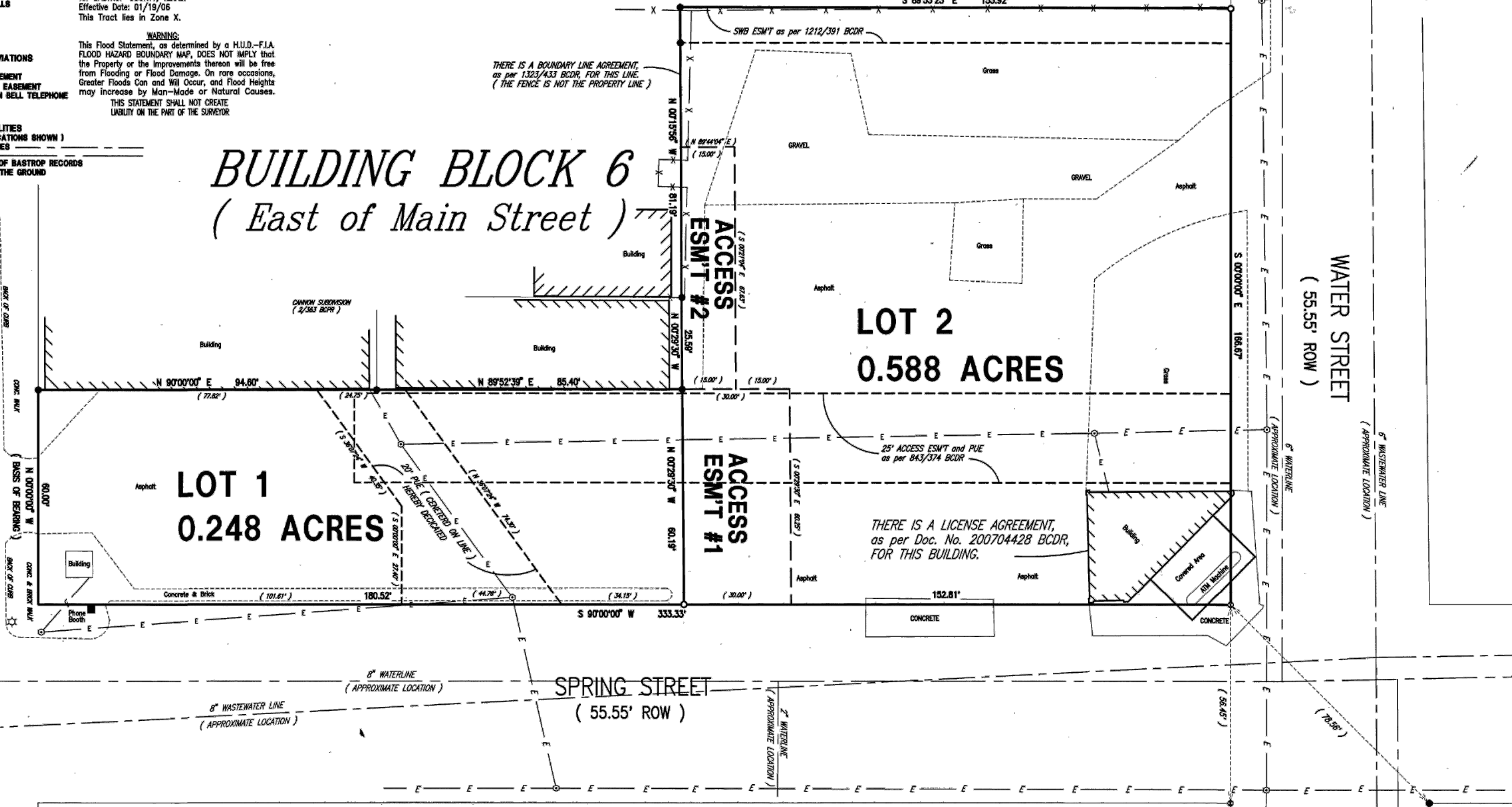
**WARNING:** This Flood Statement, as determined by a H.L.D.-F.I.A. FLOOD HAZARD BOUNDARY MAP, DOES NOT IMPLY that the Property or the Improvements thereon will be free from Flooding or Flood Damage. On rare occasions, greater Floods can and will occur, and Flood Heights may increase by Man-Made or Natural Causes. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

**BASES OF BEARING**  
as per 1725A BCOR

**EASEMENT ABBREVIATIONS**  
B.L. BUILDING LINE  
D.E. DRAINAGE EASEMENT  
P.U. PUBLIC UTILITY EASEMENT  
S.W. SOUTHWESTERN BELL TELEPHONE  
R.O.W. RIGHT OF WAY

**UNDERGROUND UTILITIES**  
(APPROXIMATE LOCATIONS SHOWN)  
WATER LINES  
WASTEWATER LINES  
TAKEN FROM CITY OF BASTROP RECORDS  
NOT SURVEYED ON THE GROUND

MAIN STREET (55.55' ROW)



STATE OF TEXAS  
COUNTY OF BASTROP

KNOW ALL MEN BY THESE PRESENTS:  
That First National Bank of Bastrop, owner of 0.836 ACRES out of BUILDING BLOCK 6, East of Main Street, in the City of Bastrop, Bastrop County, Texas, do hereby subdivide said tract in accordance with the plat shown hereon, subject to any easements or restrictions heretofore granted, to be known as **MAIN & SPRING SUBDIVISION**, and do hereby dedicate to the Public the use of the streets and easements as shown hereon.

Witness my hand this the 21 day of JUNE, 2007, A.D.

*Reid Sharp*  
Reid Sharp, President

STATE OF TEXAS  
COUNTY OF BASTROP

This instrument was acknowledged before me on the 21st day of June, 2007, by Reid Sharp.

(SEAL)  
POLLY W. FRUSHAY  
Notary Public, State of Texas  
My Commission Expires  
APRIL 28, 2010  
4/28/2010

*Polly W. Frushay*  
Polly W. Frushay  
Printed Name of Notary / Expires  
4/28/2010

Approved on this 31st day of May, 2007, A.D., by the Planning and Zoning Commission of the City of Bastrop.

APPROVED: *Tom Scott* ATTEST: *Doreen Valdez*  
Tom Scott, Mayor of the City of Bastrop, Texas  
Doreen Valdez, City Secretary, City of Bastrop, Texas

STATE OF TEXAS  
COUNTY OF BASTROP

I, Rose Pietsch, Clerk of Bastrop County do hereby certify that the foregoing instrument of writing and the certificate of authentication was filed for record in my office on this 21st day of June, 2007, A.D. in the Plat Records of said County and State in Plat Cabinet 5 Page(s) 5-B.

Filed for Record at 2:15 o'clock P.M. this 22nd day of June, 2007, A.D.

Witness my hand and seal of the office of County Clerk of said County on this 22nd day of June, 2007, A.D.

ROSE PIETSCH  
By *Mary Casey*  
Rose Pietsch  
County Clerk  
Bastrop County, Texas  
FILED JUN 22 2007  
*Rose Pietsch*  
COUNTY CLERK  
BASTROP COUNTY TEXAS

COUNTY COURT OF BASTROP COUNTY TEXAS

ORIGINAL SUBMITTAL	4/06
COMMENTS	06/15/06
ADD NOTES	03/20/07
FINAL PLAT	5/07

STATE OF TEXAS  
COUNTY OF BASTROP

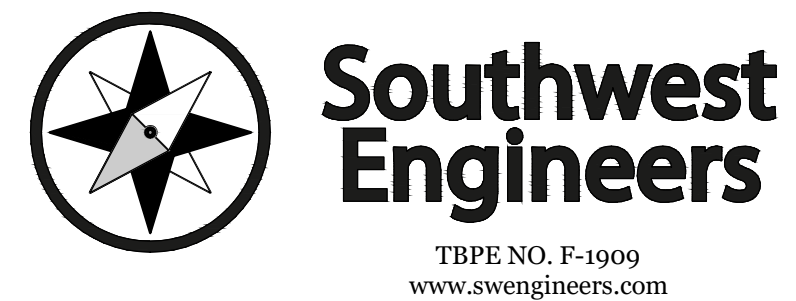
I, Dale L. Olson, do hereby certify that I prepared this plat from an actual and accurate on-the-ground survey of the land, and that the corner monuments shown were properly placed under my personal supervision, in accordance with the Subdivision Regulations of the City of Bastrop, Bastrop County, Texas.

*Dale L. Olson*  
Dale L. Olson, RPLS  
Registered Professional Land Surveyor  
Reg. No. 1753  
717 Water Street  
Bastrop, Texas 78802  
(512) 321-5476  
Date 6/22/07

DALE OLSON (SEAL)  
1753  
REGISTERED PROFESSIONAL LAND SURVEYOR

- 1) PRIOR TO UNDERTAKING DEVELOPMENT ON THE LOTS SHOWN ON THIS PLAT, A DEVELOPMENT PLAN MUST BE PREPARED, SUBMITTED TO, AND APPROVED BY THE CITY OF BASTROP, IN COMPLIANCE WITH SECTION 42, SITE DEVELOPMENT PLAN IN THE CITY OF BASTROP ZONING ORDINANCE.
- 2) RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.
- 3) BUILDING SETBACKS WILL CONFORM WITH THE CITY OF BASTROP ZONING ORDINANCE.
- 4) THIS SUBDIVISION IS CURRENTLY ZONED CENTRAL BUSINESS DISTRICT ( CBD ).

## FOR REFERENCE ONLY (N.T.S.)



HEADQUARTERS  
307 Saint Lawrence Street, Gonzales TX 78609  
P: 830.672.7546 F: 830.672.2034

CENTRAL TEXAS  
205 Cimarron Park Loop, Ste. B, Buda TX 78610  
P: 512.312.4335

WARNING  
IF THIS BAR DOES NOT MEASURE 1",  
THE DRAWING IS NOT TO SCALE

DRAWN BY: LS

CHECKED BY: PV

PLAT SHEET

**FIRST NATIONAL BANK OF BASTROP**  
714 SPRING STREET, BASTROP, TX 78602

PROJECT NO. 0930-001-20

DRAWING NO. \_\_\_\_\_

SHEET 3 OF 23

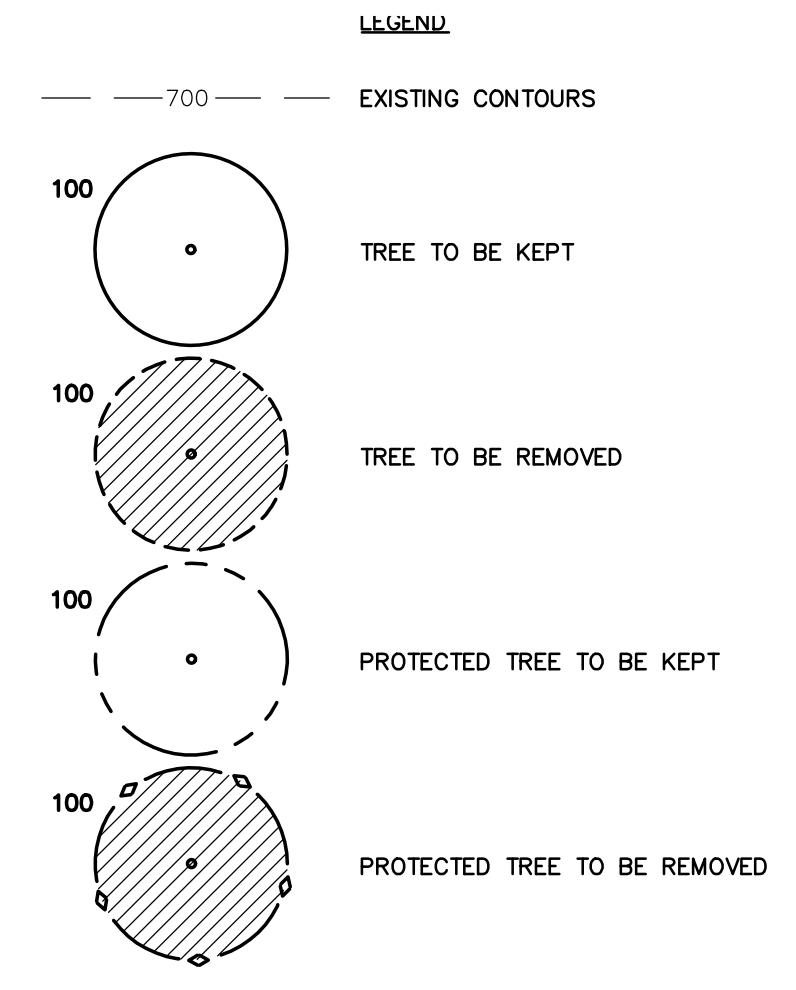
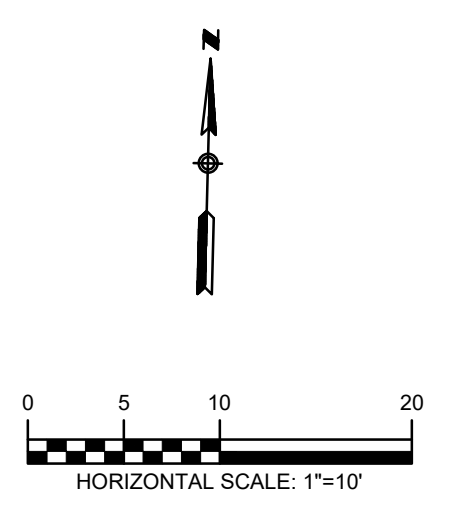
C:\Users\pds01\Documents\0930-001-20-1st\Bastrop\Site\plan\sw\0930-001-20-1st.dwg -- Layout: "PLAT" -- Mon, Apr 19, 2021, 2:23pm, By: C1038-Julius

C:\Users\jvictorin\OneDrive\Documents\Projects\0930-001-EXIST.dwg - Layout: "EXIST" - Mon, Apr 19, 2021, 2:23pm, By: C:\0930-Lukas

CURTIS G McDONALD, R-45731; 0.3230 AC.TR BB 6 W.W.S.  
ZONING: P-5 (CORE)

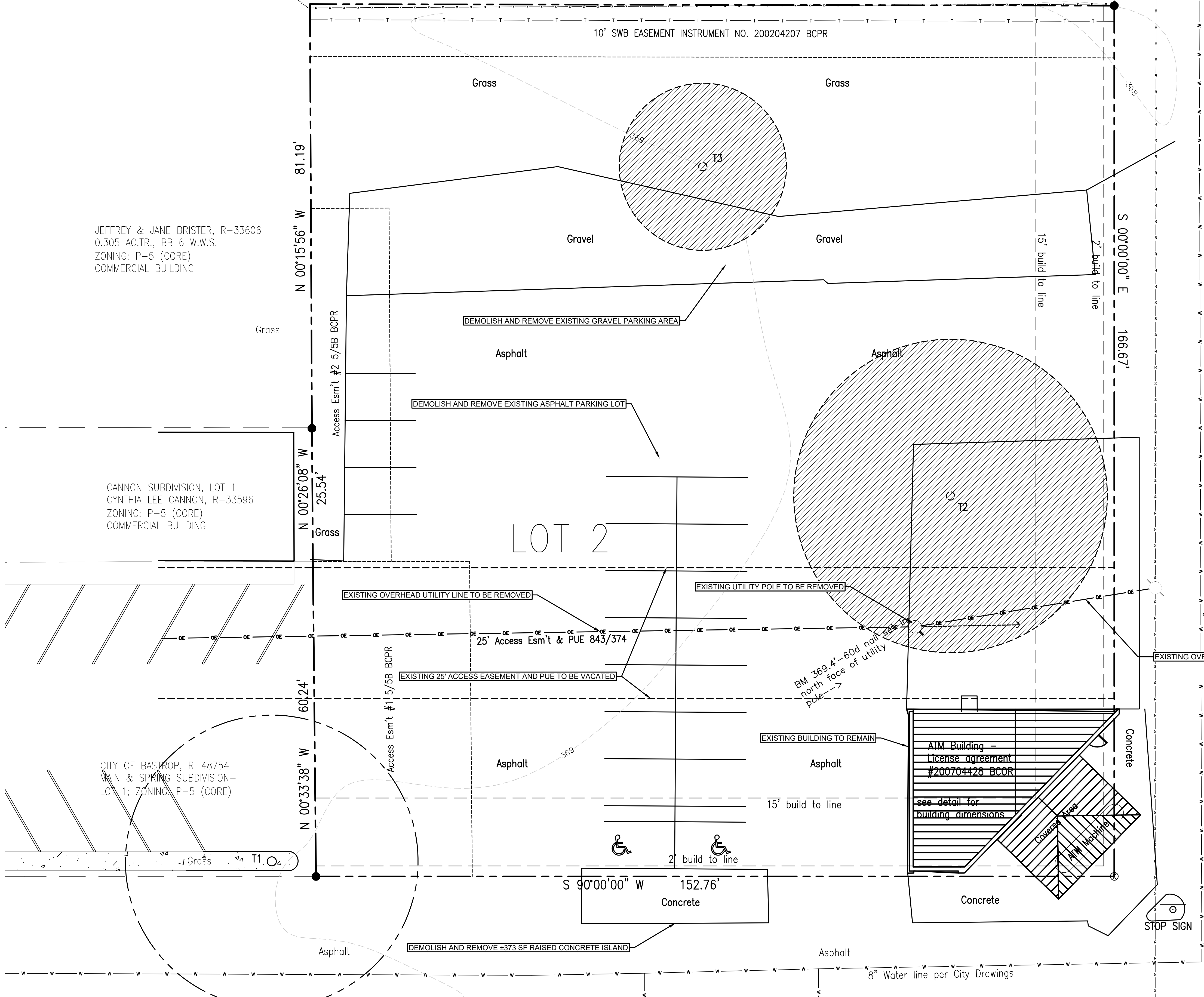
ALICE GUTIERREZ, R-33617  
0.289 AC.TR. BB 6, W.W.S.  
ZONING: P-5 (CORE)  
RESIDENTIAL

BUILDING BLOCK 6, W.W.S.



TREE LIST	
TREE NO.	DIAMETER/SPECIES
T1	28" LIVE OAK
T2	30" CHINABERRY (R)
T3	16" HACKBERRY (R)

(R) = REMOVED



Asphalt

Asphalt

8" Water line per City Drawings

6" WW - flow <- per City Drawings

55.55' ROW



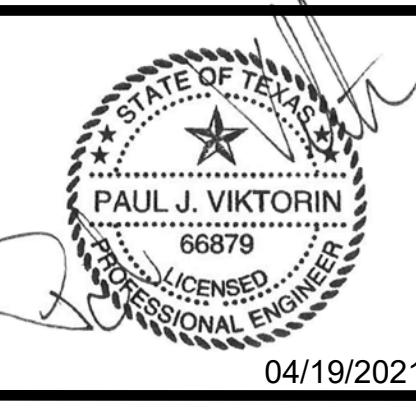
**TEXAS ONE CALL SYSTEM**  
1-800-245-4545  
UNDER PENALTY OF LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE TEXAS ONE CALL SYSTEM AT LEAST 48 HOURS BEFORE STARTING EXCAVATION.

NOTE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARES THEM. IN APPROVING THESE PLANS, THE CITY OF BASTROP MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

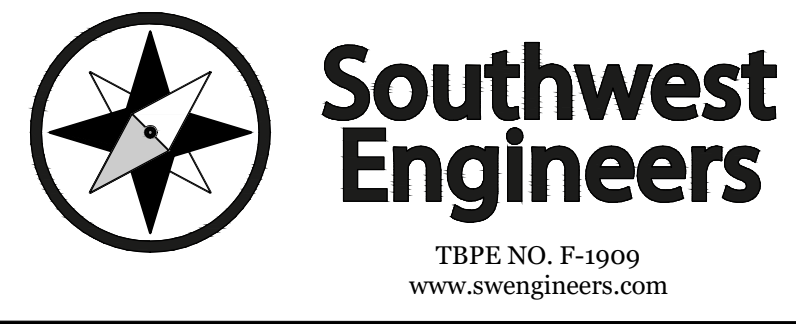
**CAUTION - ELECTRICITY PRESENT**

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NO.	REVISION	DATE



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**HEADQUARTERS**  
307 Saint Lawrence Street, Gonzales TX 78629  
P: 830.672.7546 F: 830.672.2034

**CENTRAL TEXAS**  
205 Cimarron Park Loop, Ste. B, Buda TX 78610  
P: 512.312.4330

**WARNING**  
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DRAWN BY: LS

CHECKED BY: PV

EXISTING CONDITIONS SHEET

**FIRST NATIONAL BANK OF BASTROP**  
714 SPRING STREET, BASTROP, TX 78602

PROJECT NO. 0930-001-20

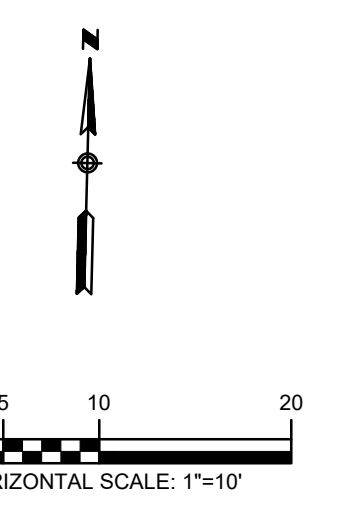
DRAWING NO. \_\_\_\_\_

SHEET 4 OF 23

CURTIS G McDONALD, R-45731; 0.3230 AC.TR BB 6 W.W.S.  
ZONING: P-5 (CORE)

ALICE GUTIERREZ, R-33617  
0.289 AC.TR. BB 6, W.W.S.  
ZONING: P-5 (CORE)  
RESIDENTIAL

**BUILDING BLOCK 6, W.W.S.**



**LEGEND**

- 700 — EXISTING CONTOURS
- 700 — PROPOSED CONTOURS
- SF — SF — SILT FENCE
- LOC — LOC — SILT FENCE OF CONSTRUCTION
- STABILIZED CONSTRUCTION ENTRANCE

**SEQUENCE OF CONSTRUCTION**

1. INSTALL EROSION CONTROLS PER APPROVED PLAN.
2. TEMPORARY CONTROLS TO BE INSPECTED AND MAINTAINED WEEKLY AND PRIOR TO ANTICIPATED RAINFALL EVENTS, AND AFTER RAINFALL EVENTS, AS NEEDED. CONTRACTOR/OWNER SHALL PROVIDE A CONTACT NAME AND NUMBER FOR EROSION CONTROL ISSUES.
3. CONDUCT DEMOLITION ACTIVITIES, IF APPLICABLE.
4. CONSTRUCT DRAINAGE IMPROVEMENTS, IF APPLICABLE.
5. CONSTRUCT CURB INLET PROTECTION AT THE TIME OF CURB INLET INSTALLATION.
6. CONSTRUCT DEVELOPMENT PER APPROVED PLANS.
7. INSTALL STREETSCAPE AND/OR LANDSCAPING IMPROVEMENTS.
8. CONTRACTOR TO VEGETATE ANY DISTURBED AREAS ONCE FINAL GRADING IS COMPLETE, AND ESTABLISH A MIN OF 70% VEGETATION PRIOR TO COMPLETION. PER TPDES REQUIREMENTS, DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE CEASED (TEMPORARILY OR PERMANENTLY) SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITY RESUMES WITHIN 21 DAYS. SEEDING DOES NOT CONSTITUTE AS STABILIZATION.
9. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

**NOTE**

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE CEASED (TEMPORARILY OR PERMANENT) AND SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITY RESUMES IN 21 DAYS, PER TPDES REQUIREMENTS.

**LIMITS OF CONSTRUCTION:**  
±31,809 SF = ±0.730 AC

**TEXAS ONE CALL SYSTEM**  
1-800-245-4545  
UNDER PENALTY OF LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE TEXAS ONE CALL SYSTEM AT LEAST 48 HOURS BEFORE STARTING EXCAVATION.

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**CAUTION - ELECTRICITY PRESENT**  
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JEFFREY & JANE BRISTER, R-33606  
0.305 AC.TR., BB 6 W.W.S.  
ZONING: P-5 (CORE)  
COMMERCIAL BUILDING

CANNON SUBDIVISION, LOT 1  
CYNTHIA LEE CANNON, R-33596  
ZONING: P-5 (CORE)  
COMMERCIAL BUILDING

CITY OF BASTROP, R-48754  
MAIN & SPRING SUBDIVISION -  
LOT 1; ZONING P-5 (CORE)

PROPOSED BANK  
±2150 SF  
FFE = 370.67'

CONSTRUCTION STAGING  
AND SPOILS AREA

CONCRETE WASHOUT  
PIT SURROUNDED BY  
SILT FENCE (TYP.)

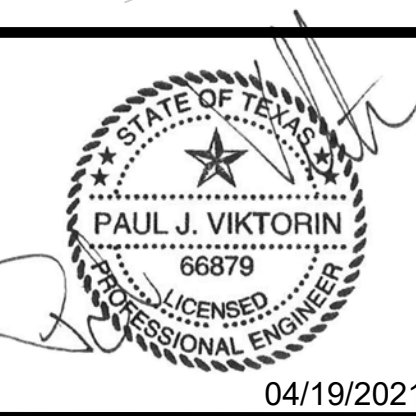
±148 LF OF SILT  
FENCE (TYP.)

EXISTING ASPHALT  
PAVEMENT TO BE USED AS  
STABILIZED CONSTRUCTION  
ENTRANCE

TREE PROTECTION (TYP.)

C:\Users\jvictorin\OneDrive\Documents\Projects\0930-001-EROSION\0930-001-EROSION.dwg - Mon, Apr 19, 2021, 2:23pm. By: CJ038-Lukas

NO.	REVISION	DATE



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**Southwest Engineers**  
TBPE NO. F-1909  
www.swengineers.com

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307 Saint Lawrence Street, Gonzales TX 78629  
P: 830.672.7546 F: 830.672.2034

**CENTRAL TEXAS**  
205 Cimarron Park Loop, Ste. B, Buda TX 78610  
P: 512.312.4330

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DRAWN BY: LS

CHECKED BY: PV

EROSION & SEDIMENTATION CONTROL PLAN

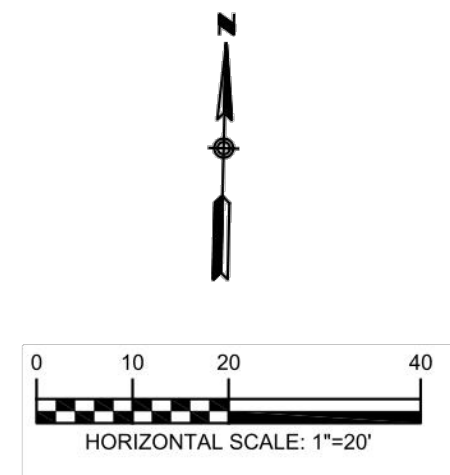
**FIRST NATIONAL BANK OF BASTROP**  
714 SPRING STREET, BASTROP, TX 78602

PROJECT NO. 0930-001-20

DRAWING NO.           

SHEET 5 OF 23





- LEGEND**
- 700 --- EXISTING CONTOURS
  - 700 --- PROPOSED CONTOURS
  - DRAINAGE AREA
  - TC --- TC --- TIME OF CONCENTRATION
  - A-1 ○ POINT OF ANALYSIS
  - ← DRAINAGE FLOW DIRECTION
  - DA ACRES DRAINAGE AREA LABEL
  - # INLET LABEL

I, PAUL VIKTORIN, DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED IN THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE, AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.



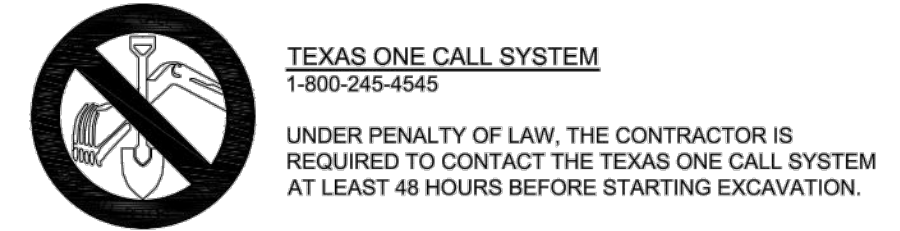
- NOTES:**
- ON-SITE SURVEY TOPOGRAPHIC INFORMATION PROVIDED BY **ELSON SURVEYING** OBTAINED ON **AUGUST, 10TH 2020.**
  - OFF-SITE TOPOGRAPHIC INFORMATION OBTAINED FROM **THE UNITED STATES GEOLOGICAL SURVEY (USGS) 2010 CONTOURS.**

AS OWNER OF THIS PROPERTY, I PROMISE TO DEVELOP AND MAINTAIN THIS PROPERTY AS DESCRIBED BY THIS PLAN.

*Reid Sharp* President/CEO 12/14/2020  
 NAME OF OWNER/TRUSTEE DATE

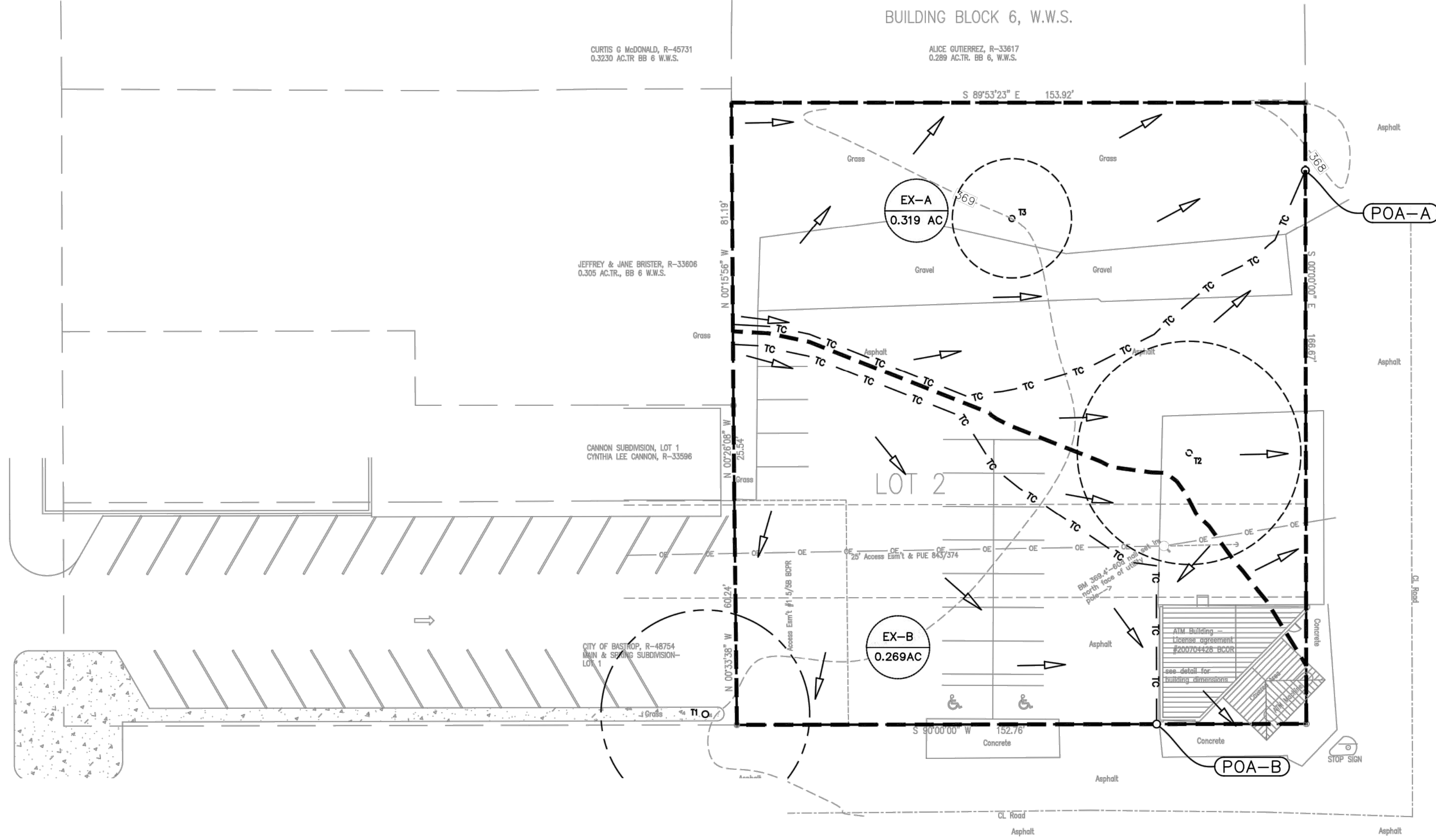
ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN ACCEPTING THESE PLANS, THE CITY OF BASTROP MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

ACCEPTED FOR CONSTRUCTION:  
 [Signature] 12/24/2020  
 CITY OF BASTROP ENGINEER DATE



NOTE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARES THEM. IN APPROVING THESE PLANS, THE CITY OF BASTROP MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

**CAUTION - ELECTRICITY PRESENT**  
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TIME OF CONCENTRATION

DRAINAGE AREA	SHEET FLOW				SHALLOW CONCENTRATED FLOW				CHANNEL FLOW (GUTTER)				
	SLOPE (F/T)	L FT	n	Tc sheet (MIN)	SLOPE (F/T)	L FT	Paved? Y or N	Tc Shallow (MIN)	Vavg (FT/S)	L	Tc Channel (MIN)	Total Tc (MIN)	Tc Used (MIN)
EX A	0.005	100.000	0.013	2.1	0.011	82	Y	0.6	4.00	0	0.00	2.7	10.0
EX B	0.005	100.000	0.013	2.2	0.003	76	Y	1.1	4.00	0	0.00	3.3	10.0

DRAINAGE SUMMARY TABLE (RATIONAL METHOD)

Drainage Area No.	Area (ac.)	Estimated Impervious Cover (ac.)	Impervious Cover (%)	T <sub>c</sub> (min.)	Pervious Cover Condition	2-Yr.				10-Yr.				25-Yr.				100-Yr.			
						C <sub>r2</sub>	C <sub>2</sub>	i <sub>2</sub> (in/hr)	Q <sub>2</sub> (cfs)	C <sub>r10</sub>	C <sub>10</sub>	i <sub>10</sub> (in/hr)	Q <sub>10</sub> (cfs)	C <sub>r25</sub>	C <sub>25</sub>	i <sub>25</sub> (in/hr)	Q <sub>25</sub> (cfs)	C <sub>r100</sub>	C <sub>100</sub>	i <sub>100</sub> (in/hr)	Q <sub>100</sub> (cfs)
EX-A	0.319 ac	0.15 ac	48%	10.0 min.	Dev - Grass - Good Condition - Average, 2-7%	1.00	0.51	4.74 in/hr	0.8 cfs	1.10	0.58	7.47 in/hr	1.5 cfs	1.20	0.63	9.01 in/hr	2.2 cfs	1.25	0.71	11.82 in/hr	3.3 cfs
EX-B	0.269 ac	0.25 ac	93%	10.0 min.	Dev - Grass - Good Condition - Average, 2-7%	1.00	0.72	4.74 in/hr	0.9 cfs	1.10	0.80	7.47 in/hr	1.8 cfs	1.20	0.84	9.01 in/hr	2.5 cfs	1.25	0.93	11.82 in/hr	3.7 cfs

NO.	REVISION	DATE

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 307 Saint Lawrence Street, Gonzales TX 78609  
 P: 830.672.7546 F: 830.672.2034

**CENTRAL TEXAS**  
 205 Cimarron Park Loop, Ste. B, Buda TX 78610  
 P: 512.312.4335

**WARNING**  
 IF THIS BAR DOES NOT MEASURE 1", THE DRAWING IS NOT TO SCALE

DRAWN BY: LS

CHECKED BY: PV

EXISTING DRAINAGE AREA MAP

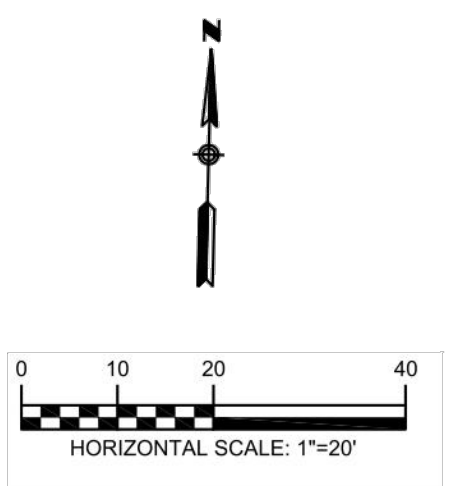
**FIRST NATIONAL BANK OF BASTROP**  
 714 SPRING STREET, BASTROP, TX 78602

PROJECT NO. 0930-001-20

DRAWING NO. \_\_\_\_\_

SHEET 6 OF 14

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- LEGEND**
- 700 --- EXISTING CONTOURS
  - 700 --- PROPOSED CONTOURS
  - --- DRAINAGE AREA
  - TC --- TIME OF CONCENTRATION
  - A-1 ○ POINT OF ANALYSIS
  - ← DRAINAGE FLOW DIRECTION
  - DA ACRES DRAINAGE AREA LABEL
  - # INLET LABEL

I, PAUL VIKTORIN, DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED IN THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE, AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.



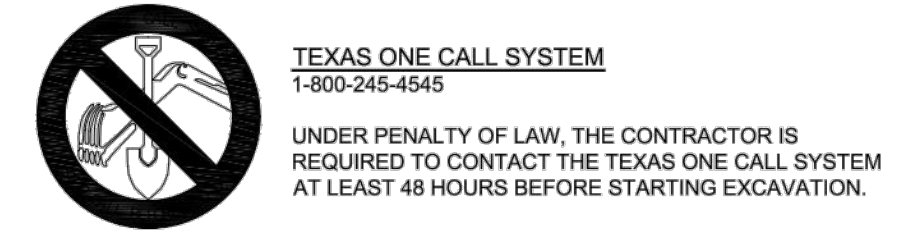
- NOTES:**
- ON-SITE SURVEY TOPOGRAPHIC INFORMATION PROVIDED BY **CLSON SURVEYING** OBTAINED ON **AUGUST, 10TH 2020.**
  - OFF-SITE TOPOGRAPHIC INFORMATION OBTAINED FROM **THE UNITED STATES GEOLOGICAL SURVEY (USGS) 2019 CONTOURS.**

AS OWNER OF THIS PROPERTY, I PROMISE TO DEVELOP AND MAINTAIN THIS PROPERTY AS DESCRIBED BY THIS PLAN.

Reid Sharp President/CEO 12/14/2020  
 NAME OF OWNER/TRUSTEE DATE

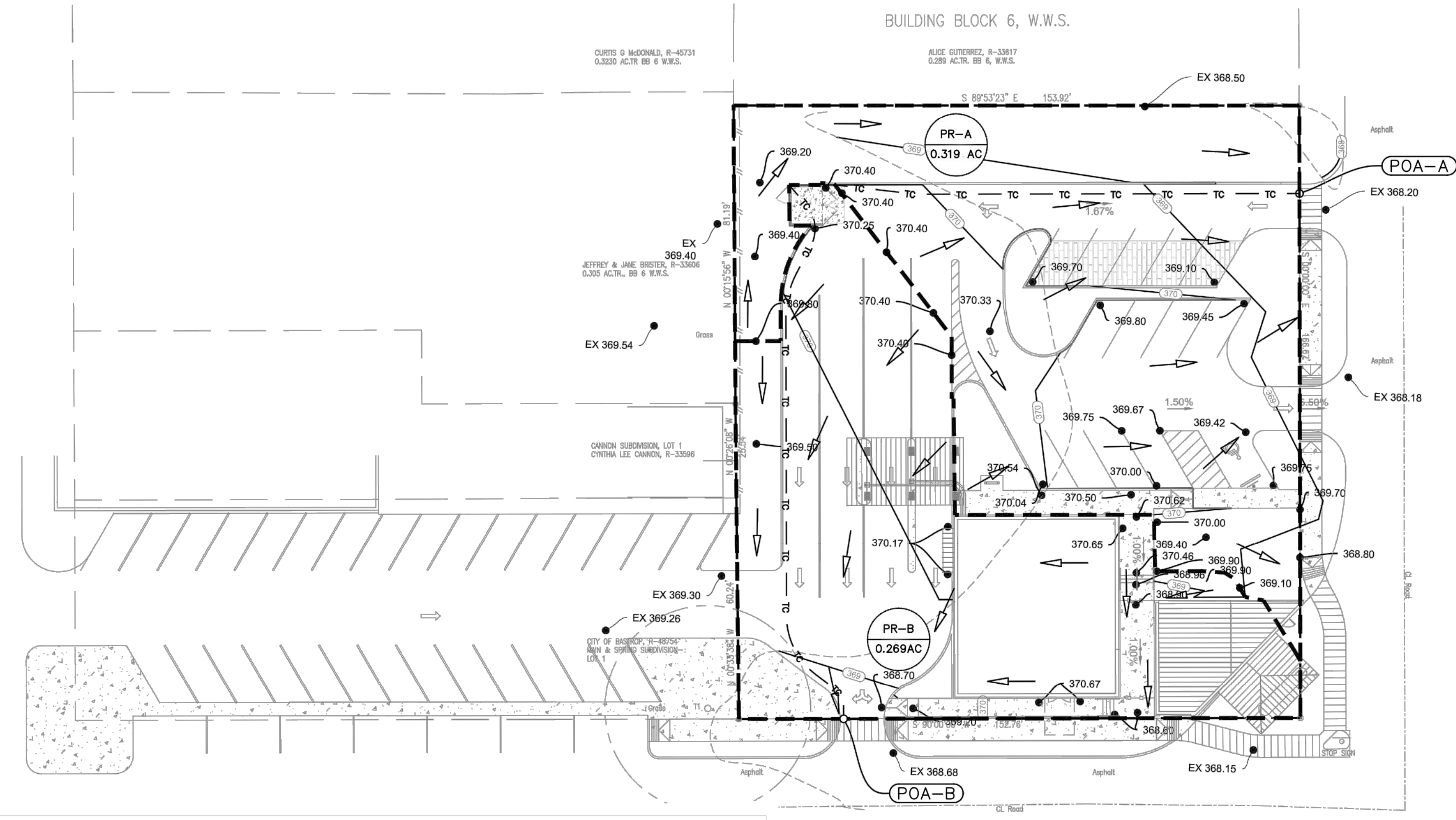
ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN ACCEPTING THESE PLANS, THE CITY OF BASTROP MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

ACCEPTED FOR CONSTRUCTION:  
[Signature] 12/24/2020  
 CITY OF BASTROP ENGINEER DATE



NOTE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARES THEM. IN APPROVING THESE PLANS, THE CITY OF BASTROP MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

**CAUTION - ELECTRICITY PRESENT**  
 THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS THAT ENTER OR WORK ON THIS PROJECT ARE RESPONSIBLE FOR LOCATING, USING ONE-CALL OR THE ELECTRIC UTILITIES THEMSELVES, ALL OVERHEAD AND UNDERGROUND ELECTRICAL OF ANY NATURE AND FOR SAFEGUARDING ALL PERSONNEL ON THIS PROJECT, INCLUDING ANY OFF-SITE WORK AREAS SHOWN ON THE PLAN, FROM ANY INTERFERENCE WITH THE ELECTRIC LINES OR FROM DAMAGING, DIGGING UP OR UNCOVERING THE ELECTRIC LINES, GETTING A LADDER IN HARM'S WAY OR ANY OTHER ACTIVITY OF ANY NATURE THAT COULD HARM ANY INDIVIDUAL IN ANY MANNER. THIS RESPONSIBILITY HEREBY REMOVES THE ENGINEER AND THE OWNER FROM ANY LIABILITY OF ANY NATURE.



**TIME OF CONCENTRATION**

DRAINAGE AREA	SHEET FLOW				SHALLOW CONCENTRATED FLOW				CHANNEL FLOW (GUTTER)				Total Tc (MIN.)	Tc Used (MIN.)
	SLOPE (FT/FT)	L FT	n	Tc sheet (MIN.)	SLOPE (FT/FT)	L FT	Paved? Y or N	Tc Shallow (MIN.)	Vavg (FT/S)	L	Tc Channel (MIN.)			
EX A	0.005	100.000	0.013	2.1	0.011	82	Y	0.6	4.00	0	0.00	2.7	10.0	
EX B	0.005	100.000	0.013	2.2	0.003	76	Y	1.1	4.00	0	0.00	3.3	10.0	
PR A	0.017	100.000	0.013	1.3	0.017	27	Y	0.2	4.00	0	0.00	1.5	10.0	
PR B	0.010	100.000	0.013	1.6	0.010	55	Y	0.5	4.00	0	0.00	2.1	10.0	

**DRAINAGE SUMMARY TABLE (RATIONAL METHOD)**

Drainage Area No.	Area (ac.)	Estimated Impervious Cover (ac.)	Impervious Cover (%)	Tc (min.)	Pervious Cover Condition	2-Yr.				10-Yr.				25-Yr.				100-Yr.			
						C <sub>12</sub>	C <sub>2</sub>	i <sub>2</sub> (in/hr)	Q <sub>2</sub> (cfs)	C <sub>10</sub>	C <sub>10</sub>	i <sub>10</sub> (in/hr)	Q <sub>10</sub> (cfs)	C <sub>25</sub>	C <sub>25</sub>	i <sub>25</sub> (in/hr)	Q <sub>25</sub> (cfs)	C <sub>100</sub>	C <sub>100</sub>	i <sub>100</sub> (in/hr)	Q <sub>100</sub> (cfs)
EX-A	0.319 ac	0.15 ac	48%	10.0 min.	Dev - Grass - Good Condition - Flat, 0-2%	1.00	0.47	4.74 in/hr	0.7 cfs	1.10	0.53	7.47 in/hr	1.4 cfs	1.20	0.58	9.01 in/hr	2.0 cfs	1.25	0.66	11.82 in/hr	3.1 cfs
EX-B	0.269 ac	0.25 ac	93%	10.0 min.	Dev - Grass - Good Condition - Flat, 0-2%	1.00	0.71	4.74 in/hr	0.9 cfs	1.10	0.79	7.47 in/hr	1.7 cfs	1.20	0.84	9.01 in/hr	2.4 cfs	1.25	0.93	11.82 in/hr	3.7 cfs
PR-A	0.319 ac	0.15 ac	48%	10.0 min.	Dev - Grass - Good Condition - Flat, 0-2%	1.00	0.47	4.74 in/hr	0.7 cfs	1.10	0.53	7.47 in/hr	1.4 cfs	1.20	0.58	9.01 in/hr	2.0 cfs	1.25	0.66	11.82 in/hr	3.1 cfs
PR-B	0.269 ac	0.24 ac	91%	10.0 min.	Dev - Grass - Good Condition - Flat, 0-2%	1.00	0.70	4.74 in/hr	0.9 cfs	1.10	0.78	7.47 in/hr	1.7 cfs	1.20	0.83	9.01 in/hr	2.4 cfs	1.25	0.91	11.82 in/hr	3.6 cfs

NO.	REVISION	DATE

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY PAUL VIKTORIN, P.E. # 66879 ON THE DATE INDICATED. ANY ALTERATIONS OF THIS SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.



**HEADQUARTERS**  
 307 Saint Lawrence Street, Gonzales TX 78629  
 P: 830.692.7546 F: 830.692.2034

**CENTRAL TEXAS**  
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 P: 512.312.4335

**WARNING**  
 IF THIS BAR DOES NOT MEASURE 1", THE DRAWING IS NOT TO SCALE

DRAWN BY: LS

CHECKED BY: PV

PROPOSED DRAINAGE AREA MAP

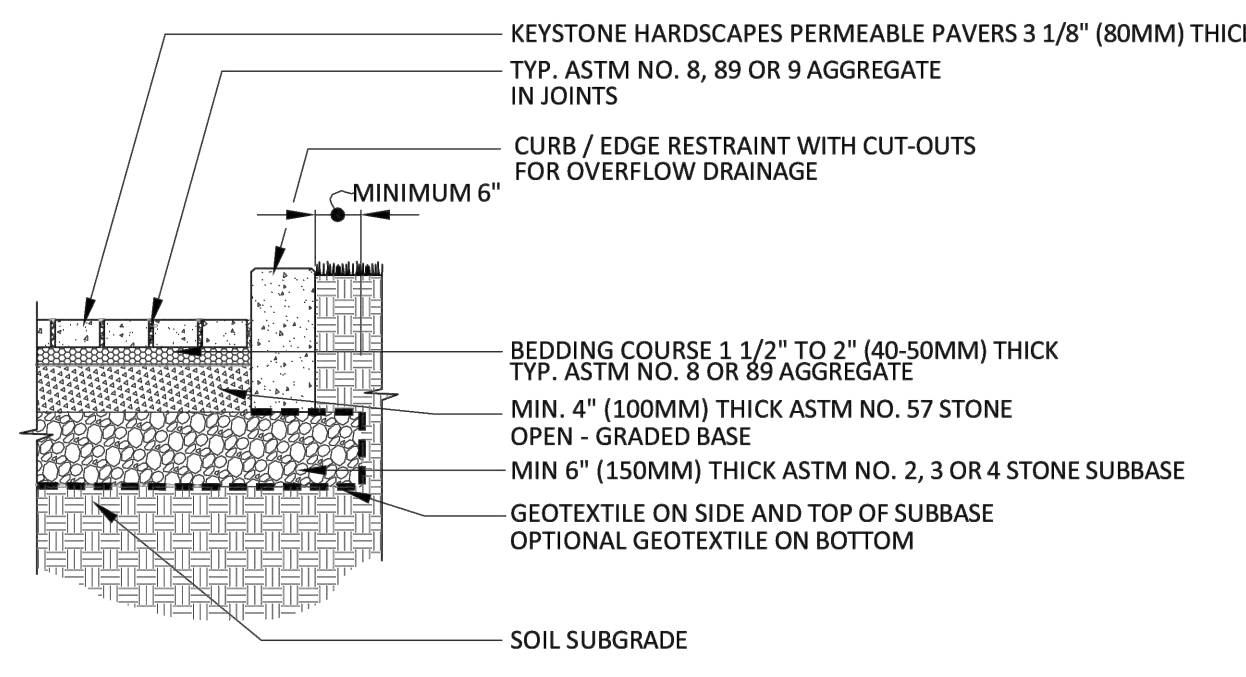
**FIRST NATIONAL BANK OF BASTROP**  
 714 SPRING STREET, BASTROP, TX 78602

PROJECT NO. 0930-001-20

DRAWING NO. \_\_\_\_\_

SHEET 7 OF 14

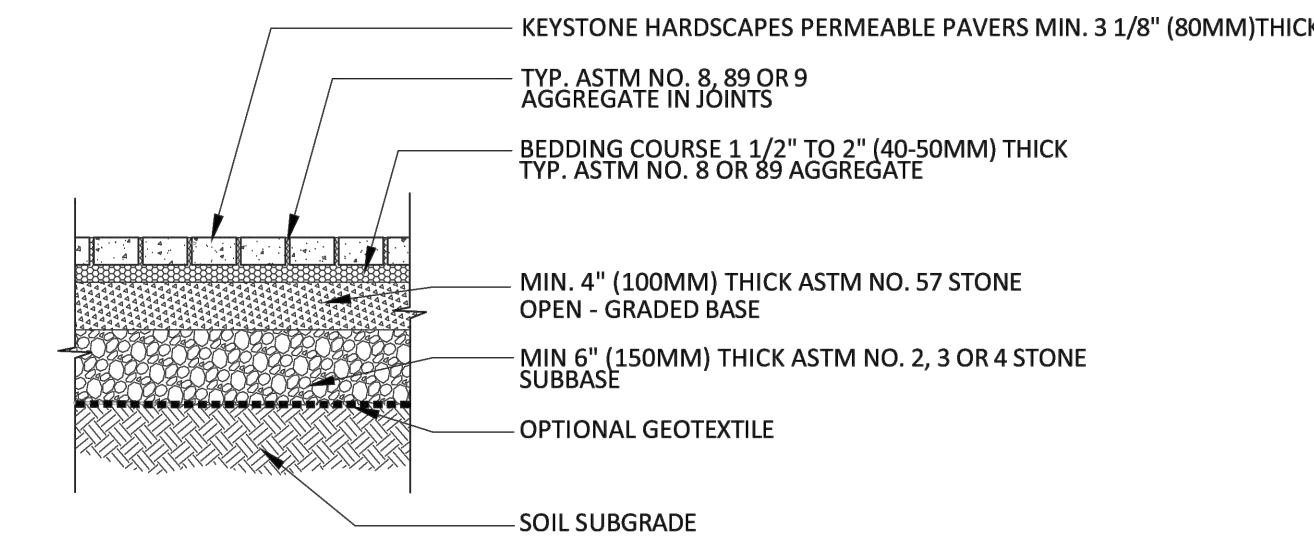
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- NOTES:
1. CONTACT KEYSTONE HARDSCAPES REPRESENTATIVE FOR DESIGN ASSISTANCE.
  2. 2 3/8" (60mm) THICK PAVERS MAY BE USED IN PEDESTRIAN APPLICATIONS.
  3. NO. 2, 3 OR 4 SUBBASE THICKNESS VARIES WITH DESIGN.

KEYSTONE HARDSCAPES  
 4000 N. Loop West, Suite 1000  
 Houston, TX 77062  
 281.440.8800  
 www.keystonehardscapes.com

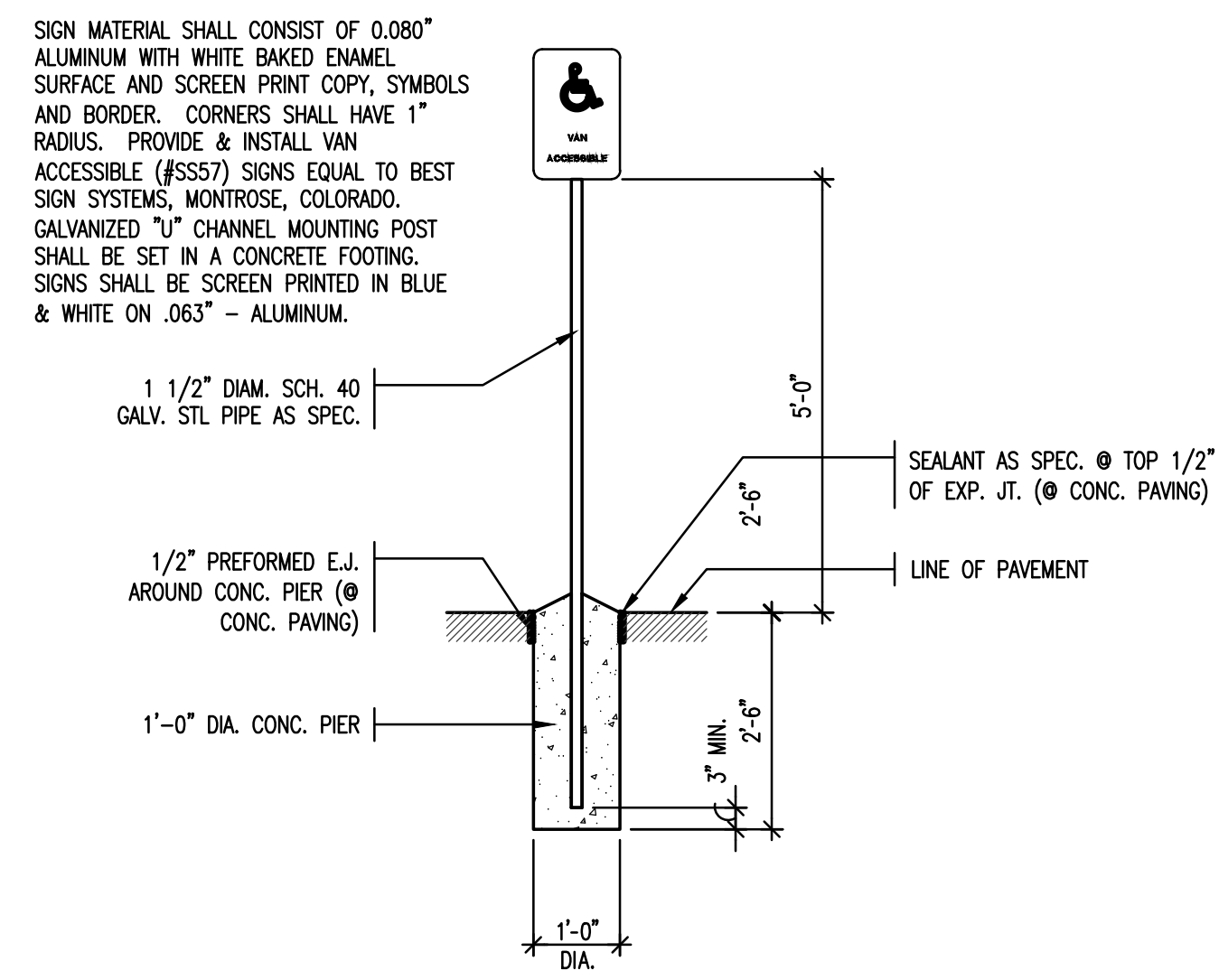
Project: Permeable Pavement with Full Infiltration to Soil Subgrade  
 Drawing No: KeyStone Hardscapes Permeable Pavement Details  
 PKP-1



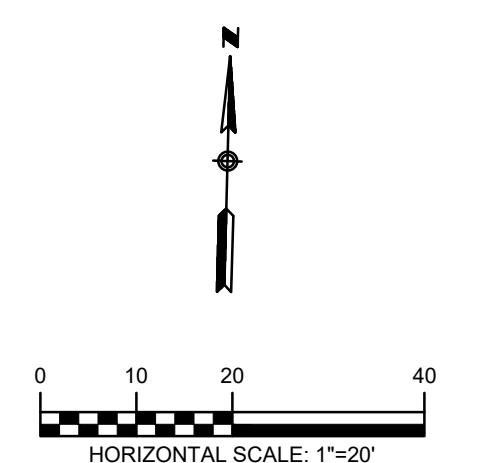
- NOTES:
1. CONTACT KEYSTONE HARDSCAPES REPRESENTATIVE FOR DESIGN ASSISTANCE.
  2. 2 3/8" (60mm) THICK PAVERS MAY BE USED IN PEDESTRIAN APPLICATIONS.
  3. NO. 2, 3 OR 4 SUBBASE THICKNESS VARIES WITH DESIGN.

KEYSTONE HARDSCAPES  
 4000 N. Loop West, Suite 1000  
 Houston, TX 77062  
 281.440.8800  
 www.keystonehardscapes.com

Project: Permeable Pavement with Full Infiltration without Edge Restraint  
 Drawing No: KeyStone Hardscapes Permeable Pavement Details  
 PKP-2

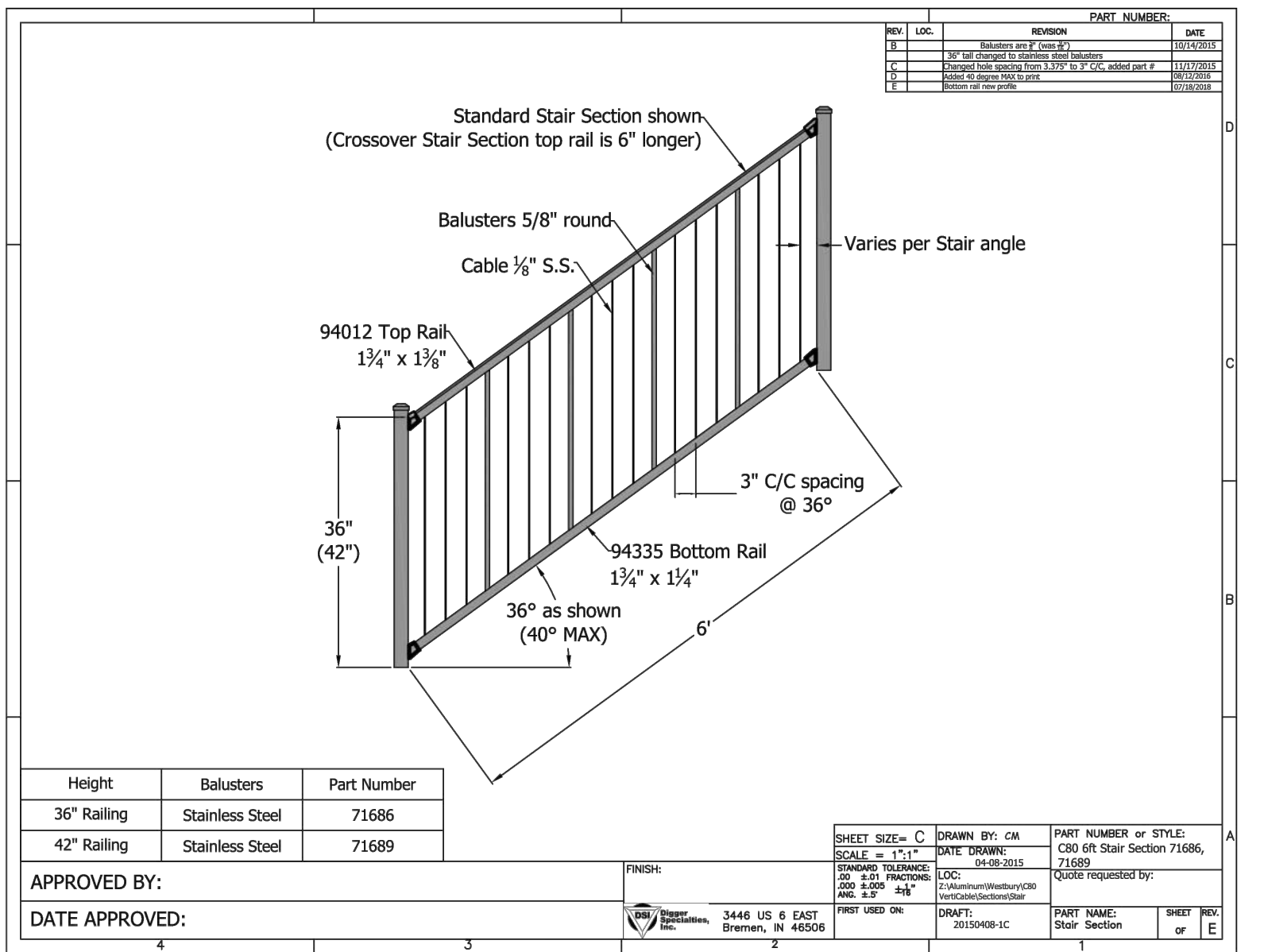


SIGN MATERIAL SHALL CONSIST OF 0.080" ALUMINUM WITH WHITE BAKED ENAMEL SURFACE AND SCREEN PRINT COPY, SYMBOLS AND BORDER. CORNERS SHALL HAVE 1" RADIUS. PROVIDE & INSTALL VAN ACCESSIBLE (4557) SIGNS EQUAL TO BEST SIGN SYSTEMS, MONTROSE, COLORADO. GALVANIZED "U" CHANNEL MOUNTING POST SHALL BE SET IN A CONCRETE FOOTING. SIGNS SHALL BE SCREEN PRINTED IN BLUE & WHITE ON .063" - ALUMINUM.

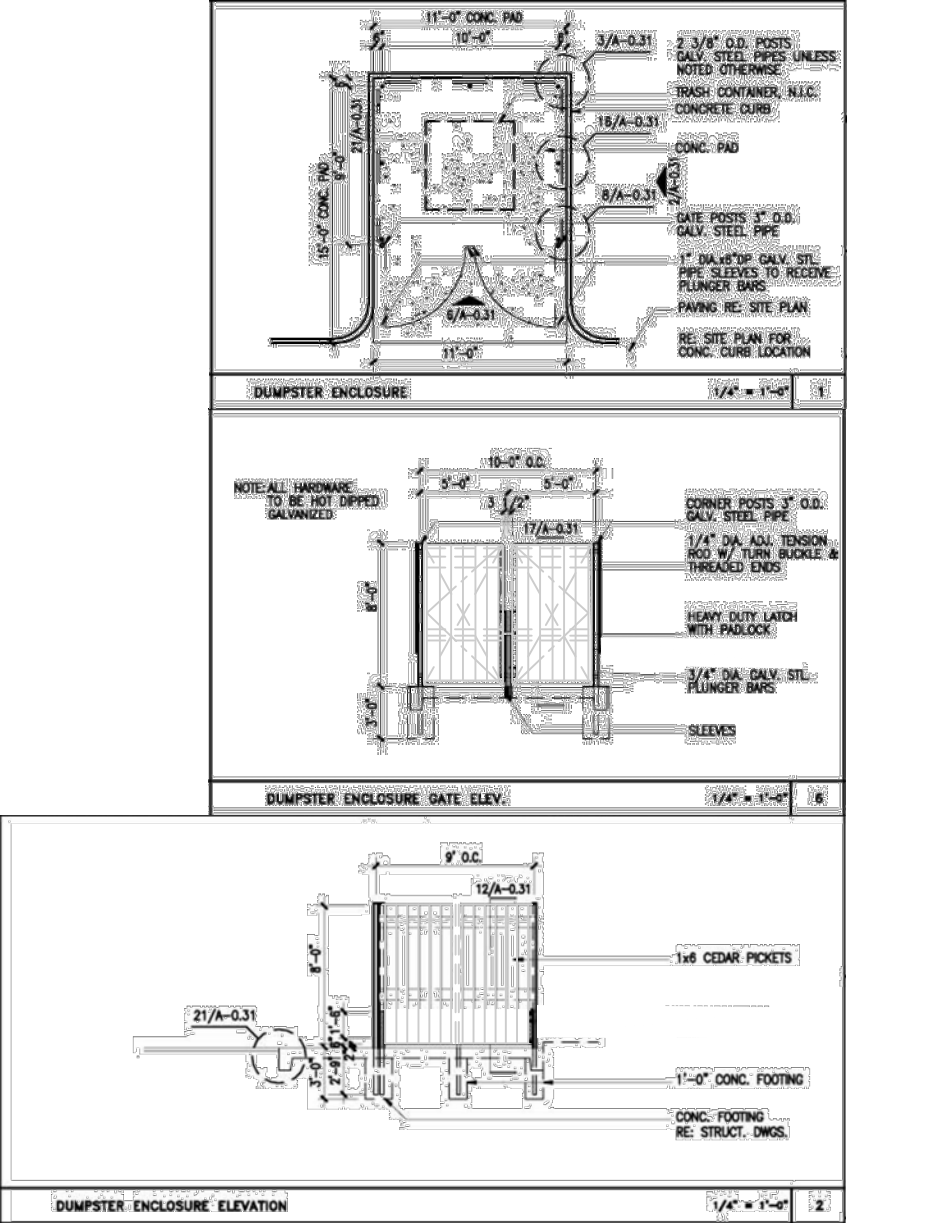


- LEGEND
- PROPERTY BOUNDARY
  - - - EASEMENT LINE
  - == FIRE LANE
  - CURB AND GUTTER
  - - - LIMITS OF CONSTRUCTION
  - ..... ACCESSIBLE ROUTE
  - ▲ SIGN

TYP. VAN ACCESSIBLE SIGNS  
 N.T.S.

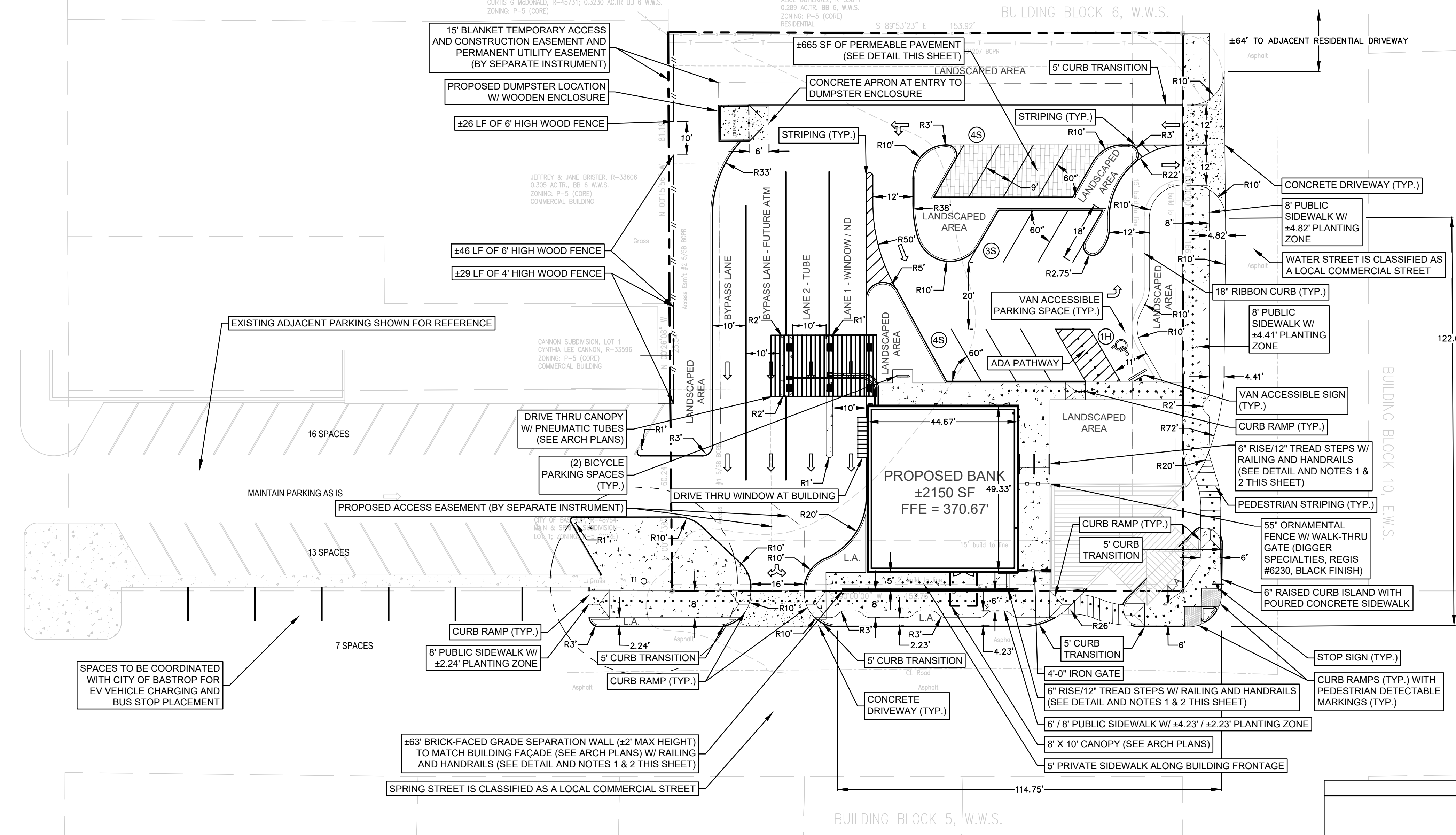


- NOTES:
1. RAILING IS TO BE VERTICAL ALUMINUM RAILING BY DIGGER SPECIALTIES INC. WITH BLACK FINE TEXTURE FINISH AND UTILIZE 2" RESIDENTIAL POSTS WITH PROPER FITTINGS AND ATTACHMENTS.
  2. HANDRAILS ARE TO BE WESTBURY® ALUMINUM ADA CONTINUOUS HANDRAILS BY DIGGER SPECIALTIES INC. OF BLACK FINE TEXTURE FINISH WITH PROPER FITTINGS AND ATTACHMENTS.
  3. SLOPES ON ACCESSIBLE ROUTES MAY NOT EXCEED 1:20 UNLESS DESIGNED AS A RAMP.
  4. ACCESSIBLE ROUTES MUST HAVE A CROSS-SLOPE NO GREATER THAN 1:50.
  5. ACCESSIBLE PARKING SPACES MUST BE LOCATED ON A SURFACE WITH A SLOPE NOT EXCEEDING 1:50.
  6. ALL PARKING AND PAVED SURFACE COURSES ARE TO BE HOT MIX ASPHALT CONCRETE (HMAC) UNLESS NOTED OTHERWISE.
  7. SIGNAGE WILL REQUIRE SEPARATE SIGN PERMIT.



**PARKING PROVIDED**

Standard:	11
Compact:	0
Car Share:	0
(Charging Station) Electric Vehicle:	0
Accessible:	1
<b>Total:</b>	<b>12</b>
<b>Accessible Spaces Required:</b>	<b>1</b>
<b>Bicycle Spaces Provided:</b>	<b>2</b>



**SITE AND ZONING TABLE**

First National Bank of Bastrop	Lot Area (ac.)	Zoning	Open Space Area		Civic Space		Building Height		Bidg. Area		Building Coverage		Impervious Cover	
			Prop. (sf)	Prop. (%)	Prop. (sf, %)	Prop. (ft)	Prop. (stories)	Area (sf.)	Prop. (%)	Ex. (%)	Prop. (%)			
Commercial - Bank	0.588	P-5 (CORE)	7,470	29%	N/A	20.67'	1	2,150	8%	69%	68%			

NO.	REVISION	DATE

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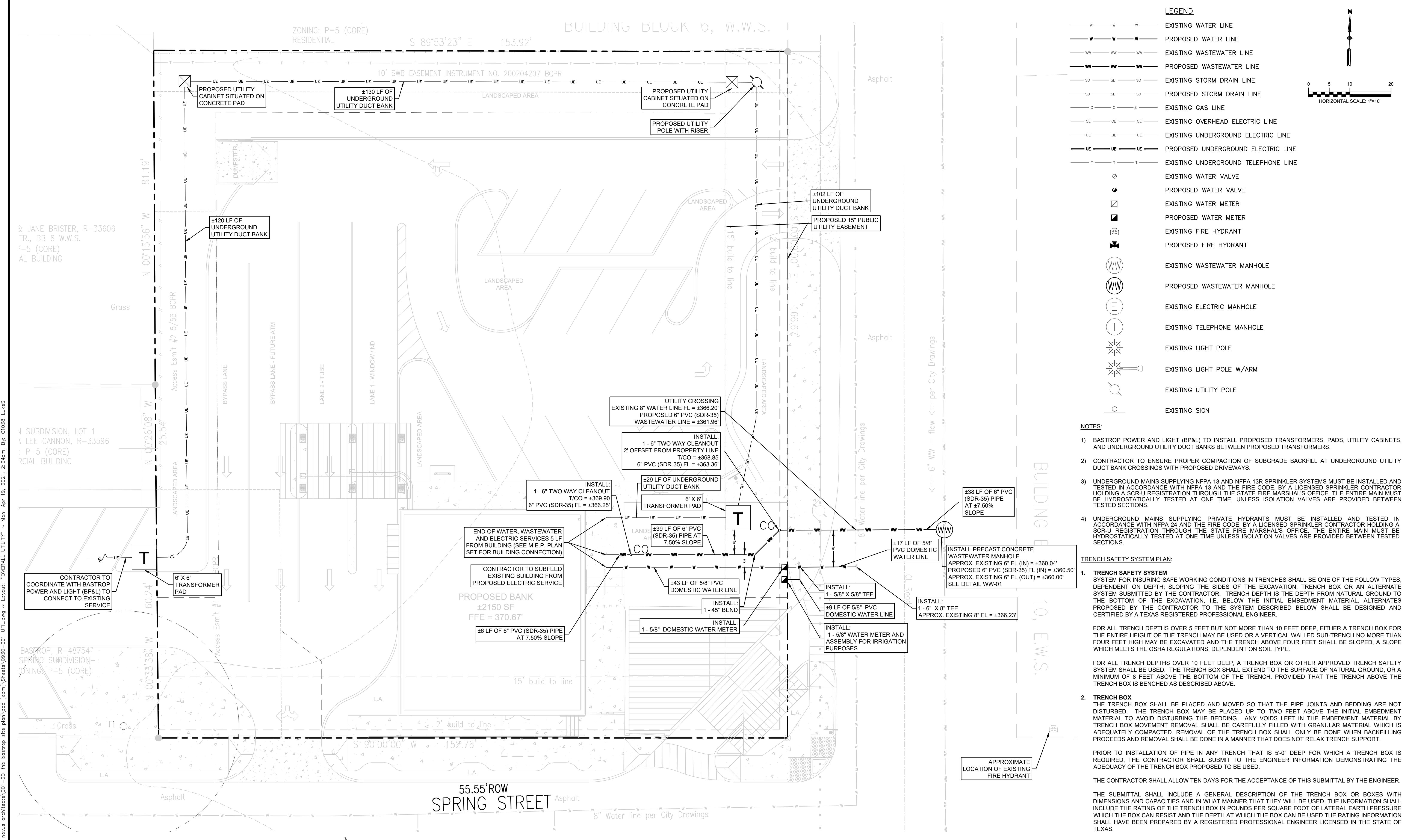
DRAWN BY: LS  
 CHECKED BY: PV

SITE & DIMENSION CONTROL PLAN

**FIRST NATIONAL BANK OF BASTROP**  
 714 SPRING STREET, BASTROP, TX 78602

PROJECT NO. 0930-001-20  
 DRAWING NO. \_\_\_\_\_  
 SHEET 8 OF 23

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- LEGEND**
- W — W — W — EXISTING WATER LINE
  - W — W — W — PROPOSED WATER LINE
  - WW — WW — WW — EXISTING WASTEWATER LINE
  - WW — WW — WW — PROPOSED WASTEWATER LINE
  - SD — SD — SD — EXISTING STORM DRAIN LINE
  - SD — SD — SD — PROPOSED STORM DRAIN LINE
  - G — G — G — EXISTING GAS LINE
  - OE — OE — OE — EXISTING OVERHEAD ELECTRIC LINE
  - UE — UE — UE — EXISTING UNDERGROUND ELECTRIC LINE
  - UE — UE — UE — PROPOSED UNDERGROUND ELECTRIC LINE
  - T — T — T — EXISTING UNDERGROUND TELEPHONE LINE
  - EXISTING WATER VALVE
  - PROPOSED WATER VALVE
  - EXISTING WATER METER
  - PROPOSED WATER METER
  - ⊕ EXISTING FIRE HYDRANT
  - ⊕ PROPOSED FIRE HYDRANT
  - ⊕ EXISTING WASTEWATER MANHOLE
  - ⊕ PROPOSED WASTEWATER MANHOLE
  - ⊕ EXISTING ELECTRIC MANHOLE
  - ⊕ EXISTING TELEPHONE MANHOLE
  - ☀ EXISTING LIGHT POLE
  - ☀ EXISTING LIGHT POLE W/ARM
  - ⊕ EXISTING UTILITY POLE
  - EXISTING SIGN

- NOTES:**
- BASTROP POWER AND LIGHT (BP&L) TO INSTALL PROPOSED TRANSFORMERS, PADS, UTILITY CABINETS, AND UNDERGROUND UTILITY DUCT BANKS BETWEEN PROPOSED TRANSFORMERS.
  - CONTRACTOR TO ENSURE PROPER COMPACTION OF SUBGRADE BACKFILL AT UNDERGROUND UTILITY DUCT BANK CROSSINGS WITH PROPOSED DRIVEWAYS.
  - UNDERGROUND MAINS SUPPLYING NFPA 13 AND NFPA 13R SPRINKLER SYSTEMS MUST BE INSTALLED AND TESTED IN ACCORDANCE WITH NFPA 13 AND THE FIRE CODE, BY A LICENSED SPRINKLER CONTRACTOR HOLDING A SCR-U REGISTRATION THROUGH THE STATE FIRE MARSHAL'S OFFICE. THE ENTIRE MAIN MUST BE HYDROSTATICALLY TESTED AT ONE TIME, UNLESS ISOLATION VALVES ARE PROVIDED BETWEEN TESTED SECTIONS.
  - UNDERGROUND MAINS SUPPLYING PRIVATE HYDRANTS MUST BE INSTALLED AND TESTED IN ACCORDANCE WITH NFPA 24 AND THE FIRE CODE, BY A LICENSED SPRINKLER CONTRACTOR HOLDING A SCR-U REGISTRATION THROUGH THE STATE FIRE MARSHAL'S OFFICE. THE ENTIRE MAIN MUST BE HYDROSTATICALLY TESTED AT ONE TIME UNLESS ISOLATION VALVES ARE PROVIDED BETWEEN TESTED SECTIONS.
- TRENCH SAFETY SYSTEM PLAN:**
- TRENCH SAFETY SYSTEM**  
 SYSTEM FOR INSURING SAFE WORKING CONDITIONS IN TRENCHES SHALL BE ONE OF THE FOLLOW TYPES, DEPENDENT ON DEPTH; SLOPING THE SIDES OF THE EXCAVATION, TRENCH BOX OR AN ALTERNATE SYSTEM SUBMITTED BY THE CONTRACTOR. TRENCH DEPTH IS THE DEPTH FROM NATURAL GROUND TO THE BOTTOM OF THE EXCAVATION, I.E. BELOW THE INITIAL EMBEDMENT MATERIAL. ALTERNATES PROPOSED BY THE CONTRACTOR TO THE SYSTEM DESCRIBED BELOW SHALL BE DESIGNATED AND CERTIFIED BY A TEXAS REGISTERED PROFESSIONAL ENGINEER.  
 FOR ALL TRENCH DEPTHS OVER 5 FEET BUT NOT MORE THAN 10 FEET DEEP, EITHER A TRENCH BOX FOR THE ENTIRE HEIGHT OF THE TRENCH MAY BE USED OR A VERTICAL WALLED SUB-TRENCH NO MORE THAN FOUR FEET HIGH MAY BE EXCAVATED AND THE TRENCH ABOVE FOUR FEET SHALL BE SLOPED, A SLOPE WHICH MEETS THE OSHA REGULATIONS, DEPENDENT ON SOIL TYPE.  
 FOR ALL TRENCH DEPTHS OVER 10 FEET DEEP, A TRENCH BOX OR OTHER APPROVED TRENCH SAFETY SYSTEM SHALL BE USED. THE TRENCH BOX SHALL EXTEND TO THE SURFACE OF NATURAL GROUND, OR A MINIMUM OF 8 FEET ABOVE THE BOTTOM OF THE TRENCH, PROVIDED THAT THE TRENCH ABOVE THE TRENCH BOX IS BENCHED AS DESCRIBED ABOVE.
- TRENCH BOX**  
 THE TRENCH BOX SHALL BE PLACED AND MOVED SO THAT THE PIPE JOINTS AND BEDDING ARE NOT DISTURBED. THE TRENCH BOX MAY BE PLACED UP TO TWO FEET ABOVE THE INITIAL EMBEDMENT MATERIAL TO AVOID DISTURBING THE BEDDING. ANY VOIDS LEFT IN THE EMBEDMENT MATERIAL BY TRENCH BOX MOVEMENT REMOVAL SHALL BE CAREFULLY FILLED WITH GRANULAR MATERIAL WHICH IS ADEQUATELY COMPACTED. REMOVAL OF THE TRENCH BOX SHALL ONLY BE DONE WHEN BACKFILLING PROCEEDS AND REMOVAL SHALL BE DONE IN A MANNER THAT DOES NOT RELAX TRENCH SUPPORT.  
 PRIOR TO INSTALLATION OF PIPE IN ANY TRENCH THAT IS 5'-0" DEEP FOR WHICH A TRENCH BOX IS REQUIRED, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER INFORMATION DEMONSTRATING THE ADEQUACY OF THE TRENCH BOX PROPOSED TO BE USED.  
 THE CONTRACTOR SHALL ALLOW TEN DAYS FOR THE ACCEPTANCE OF THIS SUBMITTAL BY THE ENGINEER.  
 THE SUBMITTAL SHALL INCLUDE A GENERAL DESCRIPTION OF THE TRENCH BOX OR BOXES WITH DIMENSIONS AND CAPACITIES AND IN WHAT MANNER THEY WILL BE USED. THE INFORMATION SHALL INCLUDE THE RATING OF THE TRENCH BOX IN POUNDS PER SQUARE FOOT OF LATERAL EARTH PRESSURE WHICH THE BOX CAN RESIST AND THE DEPTH AT WHICH THE BOX CAN BE USED. THE RATING INFORMATION SHALL HAVE BEEN PREPARED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE STATE OF TEXAS.

NO.	REVISION	DATE

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**PAUL J. VIKTORIN**  
 LICENSED PROFESSIONAL ENGINEER  
 04/19/2021

**Southwest Engineers**  
 TBPE NO. F-1909  
 www.swengineers.com

**HEADQUARTERS**  
 307 Saint Lawrence Street, Gonzales TX 78629  
 P: 830.672.7546 F: 830.672.2034

**CENTRAL TEXAS**  
 205 Cimarron Park Loop, Ste. B, Buda TX 78610  
 P: 512.312.4330

**WARNING**  
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DRAWN BY: LS

CHECKED BY: PV

**UTILITY PLAN**

**FIRST NATIONAL BANK OF BASTROP**  
 714 SPRING STREET, BASTROP, TX 78602

PROJECT NO. 0930-001-20

DRAWING NO. \_\_\_\_\_

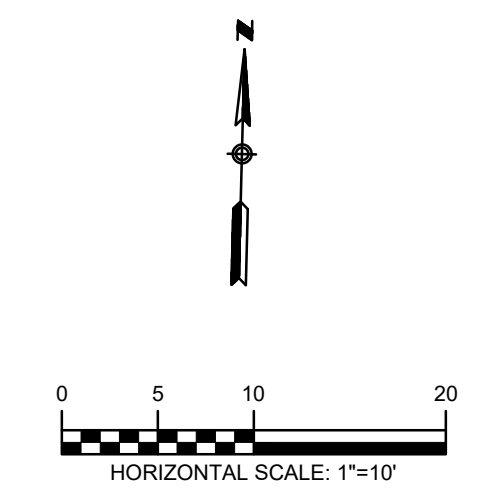
SHEET 9 OF 23

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CURTIS G McDONALD, R-45731; 0.3230 AC.TR BB 6 W.W.S.  
ZONING: P-5 (CORE)

ALICE GUTIERREZ, R-33617  
0.289 AC.TR. BB 6, W.W.S.  
ZONING: P-5 (CORE)  
RESIDENTIAL

BUILDING BLOCK 6, W.W.S.

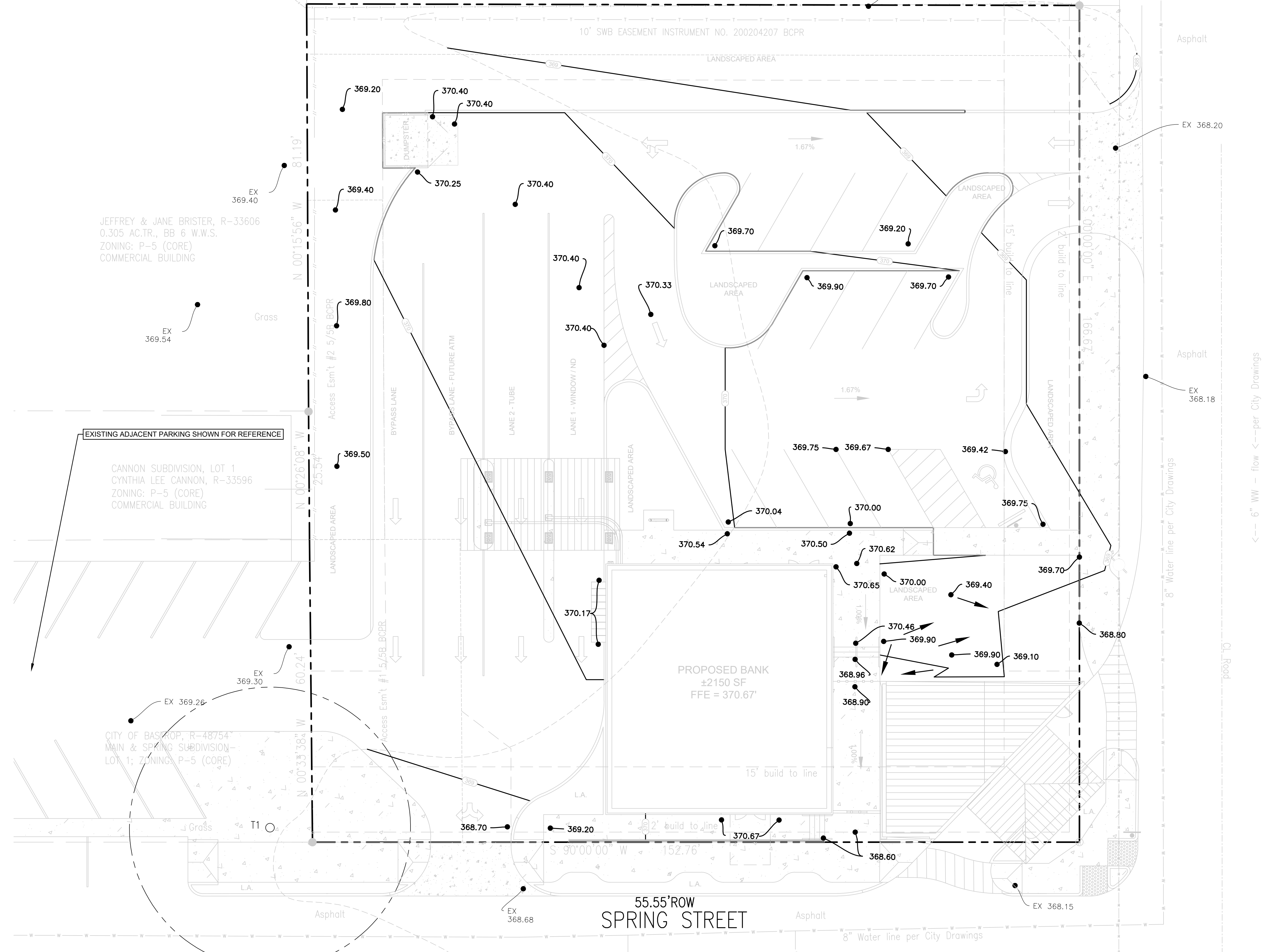


- LEGEND**
- - - 700 - - - EXISTING CONTOURS
  - - - 700 - - - PROPOSED CONTOURS
  - 700.00 ● SPOT ELEVATION

**NOTES:**

- 1) ALL ELEVATIONS SHOWN ARE MEASURED AT FINAL GRADE. AFTER TOPSOIL PLACEMENT AND/OR REVEGETATION REQUIREMENTS PER CITY OF BASTROP STANDARD SPECIFICATIONS.

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EXISTING ADJACENT PARKING SHOWN FOR REFERENCE

CANNON SUBDIVISION, LOT 1  
CYNTHIA LEE CANNON, R-33596  
ZONING: P-5 (CORE)  
COMMERCIAL BUILDING

CITY OF BASTROP, R-48754  
MAIN & SPRING SUBDIVISION  
LOT 1; ZONING: P-5 (CORE)

NO.	REVISION	DATE

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TBPE NO. F-1909  
www.swengineers.com

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**WARNING**  
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DRAWN BY: LS

CHECKED BY: PV

GRADING PLAN

**FIRST NATIONAL BANK OF BASTROP**  
714 SPRING STREET, BASTROP, TX 78602

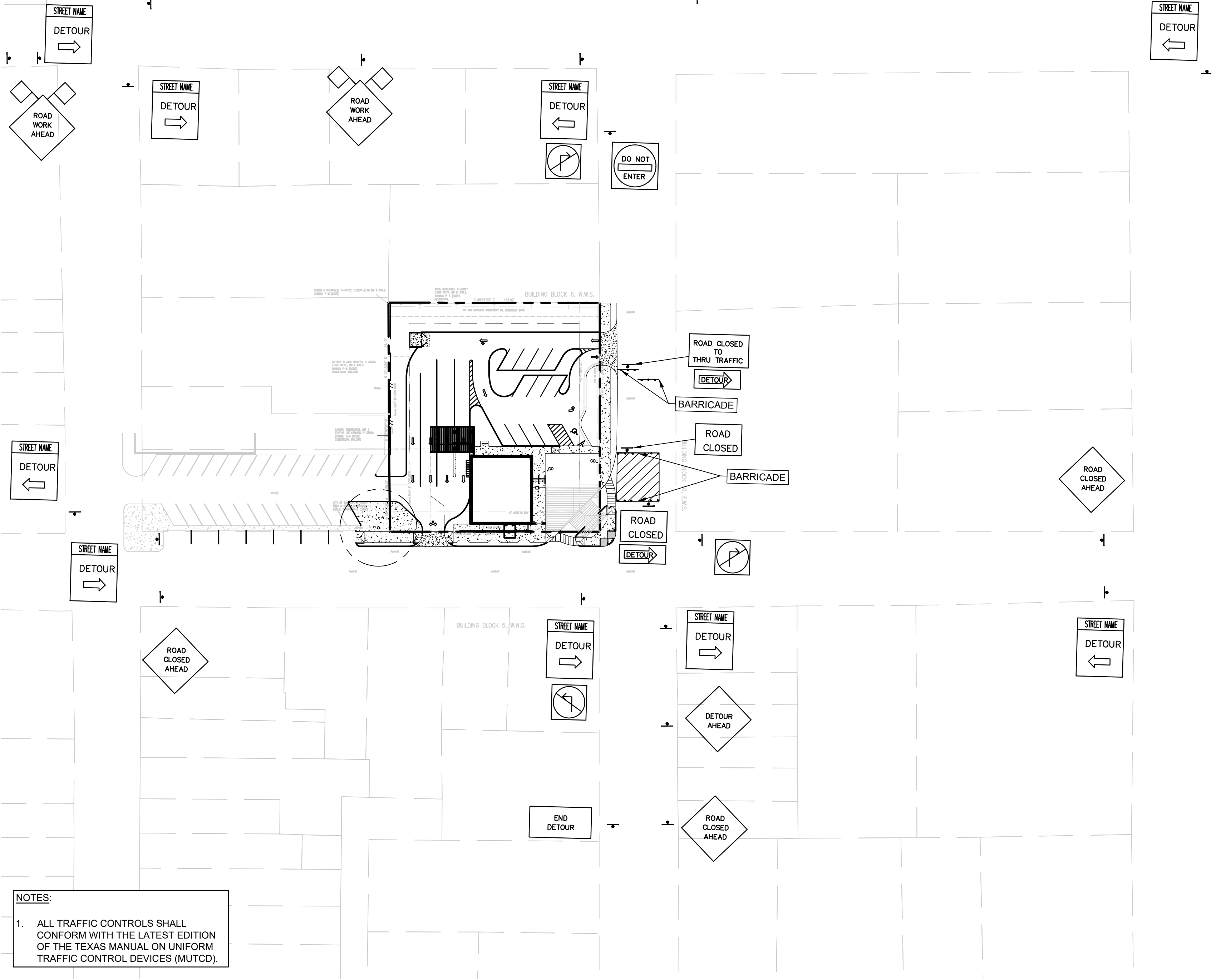
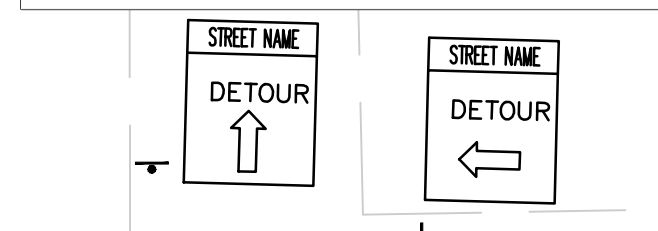
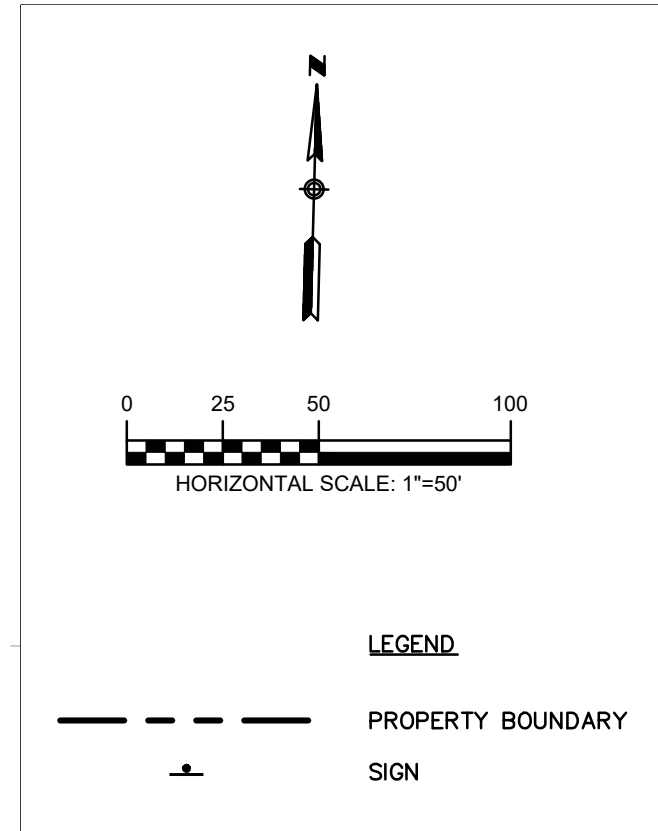
PROJECT NO. 0930-001-20

DRAWING NO. \_\_\_\_\_

SHEET 10 OF 23

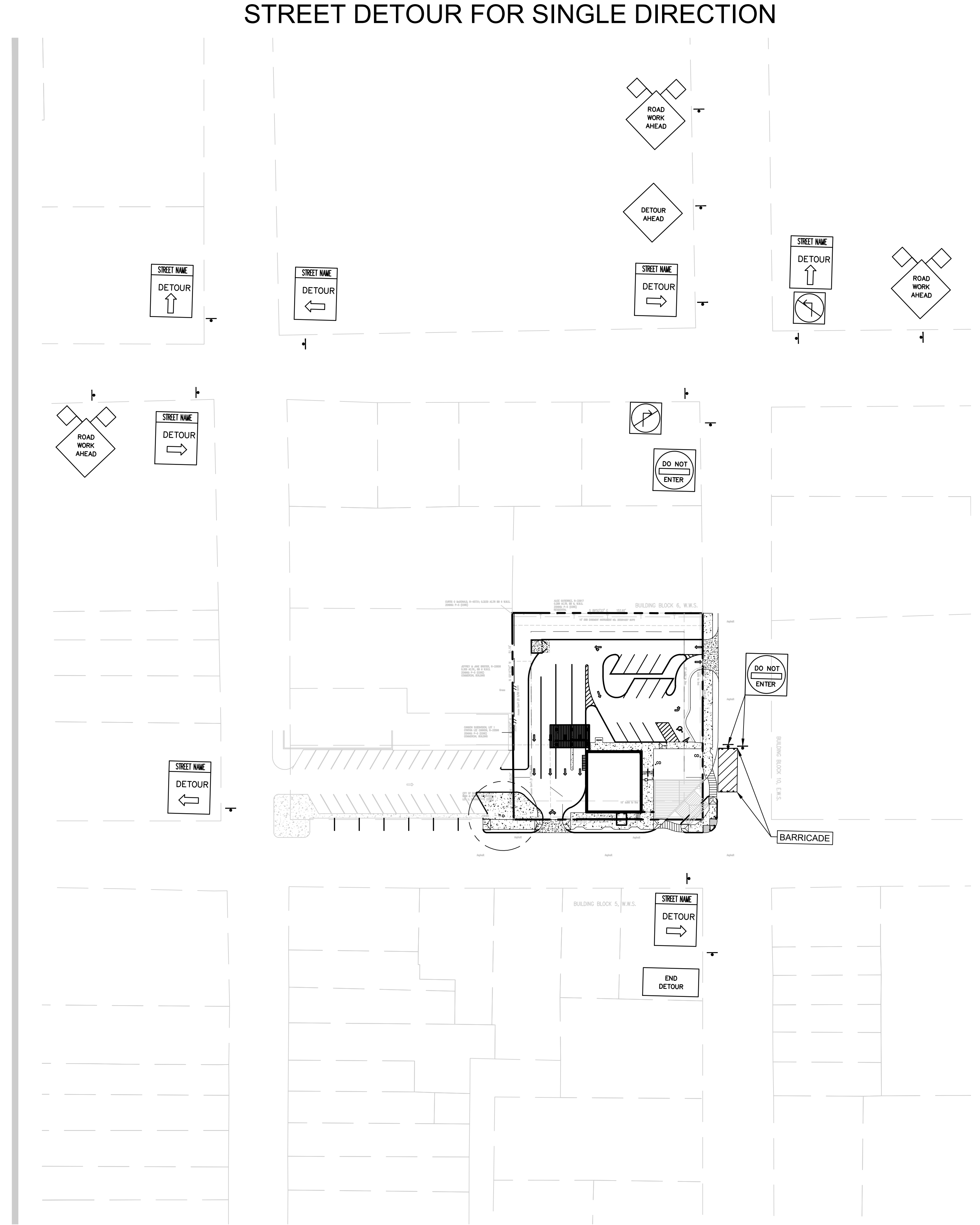
# STREET DETOUR FOR BOTH DIRECTIONS

# STREET DETOUR FOR SINGLE DIRECTION



**NOTES:**

1. ALL TRAFFIC CONTROLS SHALL CONFORM WITH THE LATEST EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).



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NO.	REVISION	DATE

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**Southwest Engineers**  
 TBPE NO. F-1909  
 www.swengineers.com

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 P: 830.672.7546 F: 830.672.2034

**CENTRAL TEXAS**  
 205 Cimarron Park Loop, Ste. B, Buda TX 78610  
 P: 512.312.4330

**WARNING**  
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CHECKED BY: PV

TRAFFIC CONTROL PLAN

**FIRST NATIONAL BANK OF BASTROP**  
 714 SPRING STREET, BASTROP, TX 78602

PROJECT NO. 0930-001-20

DRAWING NO. \_\_\_\_\_

SHEET 11 OF 23

NO.	REVISION	DATE

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04/19/2021

**Southwest Engineers**

HPBE No. F-1909  
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**FIRST NATIONAL BANK OF BASTROP**

714 SPRING STREET, BASTROP, TX 78602

SITE DETAILS

PROJECT NO. 0930-001-20

DRAWING NO. \_\_\_\_\_

SHEET 12 OF 23

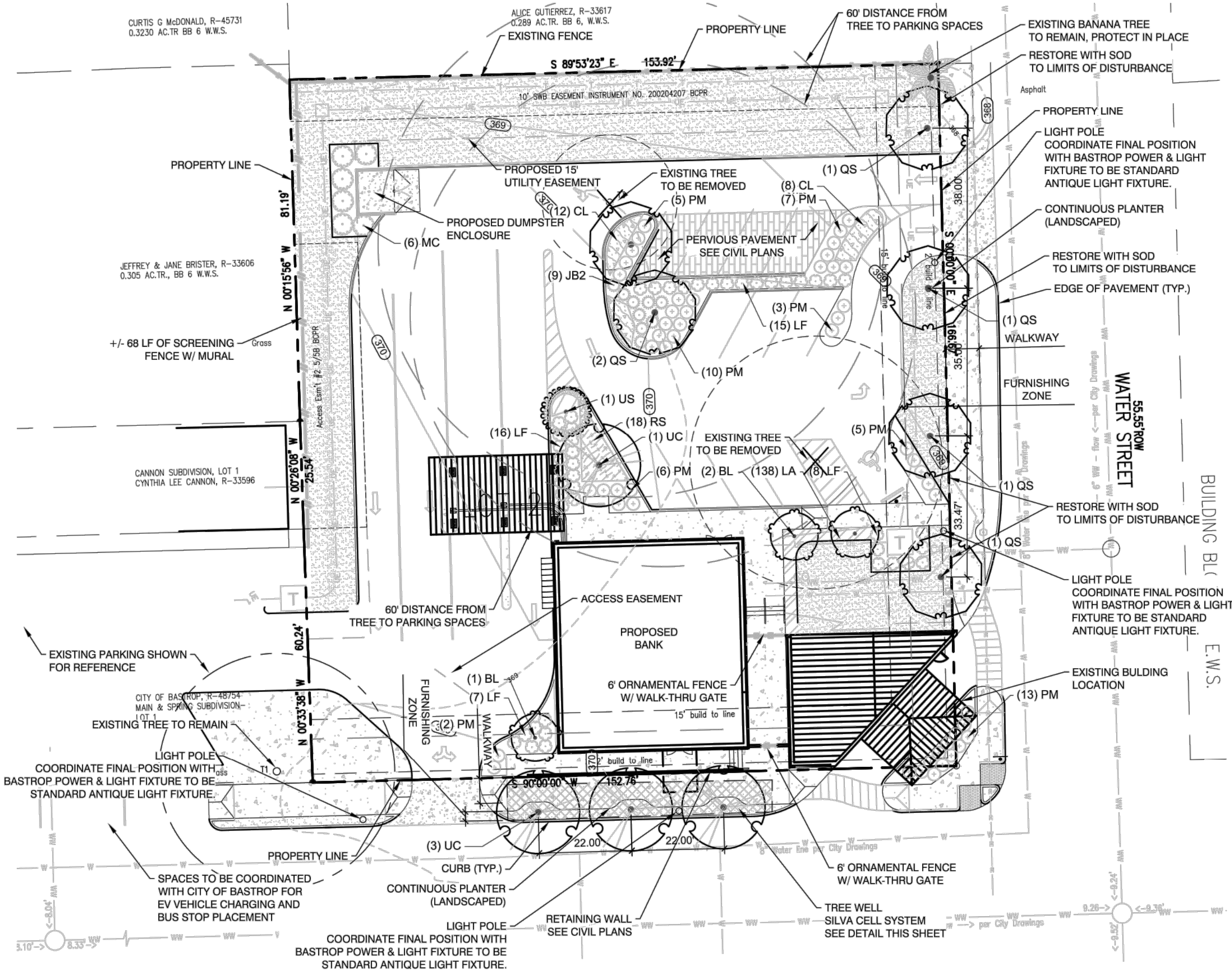
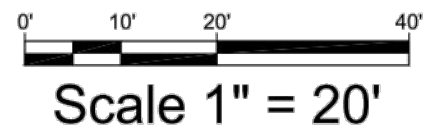
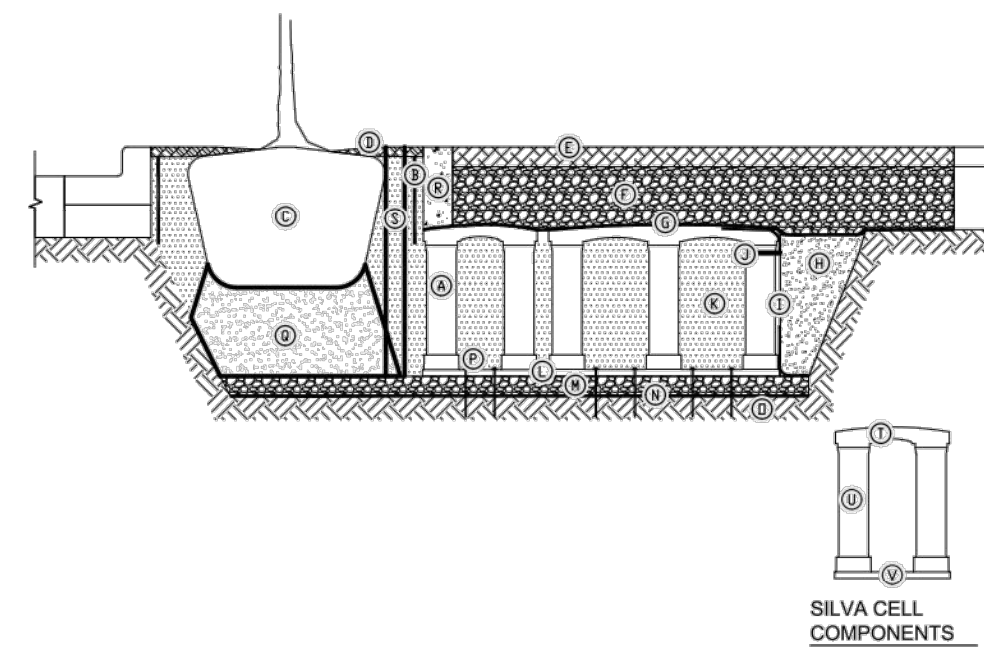
**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CALIPER	CONTAINER	SIZE
	BL	3	Baunhia lunarioides Anacacho Orchid Tree	2" Cal.	Cont.	6'-8" HT
	QS	6	Quercus shumardii Shumard Red Oak	3" Cal.	Cont.	12'-14" HT
	UC	4	Ulmus crassifolia Cedar Elm	3" Cal.	Cont.	12'-14" HT
UNDERSTORY TREES	CODE	QTY	BOTANICAL / COMMON NAME	CALIPER	CONTAINER	SIZE
	US	1	Ungnadia speciosa Mexican Buckeye	2" Cal.	Cont.	6'-8" HT
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE
	JB2	9	Juniperus horizontalis 'Blue Chip' Blue Chip Juniper	3 gal	36" OC	24" MIN
	LF	46	Leucophyllum frutescens Texas Sage	5 GAL	36" OC	24" MIN
	MC	6	Myrica cerifera Wax Myrtle	5 GAL	5" OC	24" MIN
	PM	51	Pittosporum tobira variegata Variegated Pittosporum	3 GAL	36" OC	24" MIN
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	CL	20	Callistemon citrinus 'Little John' Dwarf Bottle Brush	7 gal	15-18"	36" OC
	RS	18	Raphiolepis indica 'Snow White' Snow White Indian Hawthorn	3 GAL	15-18"	30" OC
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	LA	163	Liriope muscari 'Aztec' Aztec Lily Turf	1 GAL		12" OC
SOD/SEED	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	CDS	959 sf	Cynodon dactylon 'Tif 419' Bermuda Grass Sod	SOD		

**LANDSCAPE CALCULATIONS**

TOTAL SITE AREA:	25,579 SF
STREET YARD AREA:	314 SF (ALONG WATER STREET)
LANDSCAPE AREA REQUIRED:	47 SF (15% OF STREET YARD)
LANDSCAPE AREA PROVIDED:	629 SF (PROVIDED IN ROW DUE TO SITE CONSTRAINT)
<b>STREET TREES</b>	
SPRING STREET:	152 LF
STREET TREES REQUIRED:	4 TREES (1 PER 40 LF OF FRONTAGE)
STREET TREES PROVIDED:	4 TREES
<b>WATER STREET:</b>	
STREET TREES REQUIRED:	166 LF
STREET TREES PROVIDED:	4 TREES (1 PER 40 LF OF FRONTAGE) 3 TREES DUE TO PROPOSE UTILITY POLE CONFLICT
<b>PARKING TREES</b>	
TREES REQUIRED IN PARKING AREAS:	2 TREES (1 PER 10 SPACES, 12 SPACES TOTAL)
TREES PROVIDED IN PARKING AREAS:	2 TREES
TREES AT TERMINOUS OF ISLANDS:	PROVIDED
ALL SPACES WITHIN 60' OF A TREE:	PROVIDED

- KEY PLAN**
- ① SILVA CELL SYSTEM (BASE, AND POTS)
  - ② DEEPROOF ROOT BARRIER (DEPTH PER PROJECT SPECIFICATIONS), PREVENTS ROOTS FROM DISTURBING PAVEMENT.
  - ③ TREE ROOT PACKAGE, SIZE VARIES
  - ④ 1" MULCH, PLACED IN TREE OPENING
  - ⑤ SURFACE TREATMENT, PER PROJECT
  - ⑥ AGGREGATE BASE COURSE, DEPTH VARIES PER PROJECT
  - ⑦ GEOTEXTILE TO KEEP AGGREGATE FROM MIGRATING DOWN THROUGH CELL DECK
  - ⑧ GEOSORB, PER PROJECT SPECIFICATIONS
  - ⑨ GEOSORB TO PROVIDE FOR VERTICAL SEPARATION BETWEEN PLANTING BOLS AND BACKFILL WHILE ALLOWING ROOT PENETRATION INTO ADJACENT BOLS. IF TIE EXTENDING FROM BASE AND IF EXCEEDS OVER TOP OF SOIL.
  - ⑩ CABLE TIE, ATTACHING GEOSORB TO SILVA CELL AT BASE OF UPPER POST FLARE
  - ⑪ PLANTING SOIL, PER PROJECT SPECIFICATIONS, COMPACTED TO 95% PROCTOR
  - ⑫ 1" # 4 IRPPING BETWEEN SILVA CELLS AT BASE
  - ⑬ 4" MIN AGGREGATE SUB BASE, COMPACTED TO 95% PROCTOR
  - ⑭ GEOTEXTILE TO PROVIDE SEPARATION BETWEEN SUBGRADE AND AGGREGATE BASE
  - ⑮ SUBGRADE, COMPACTED TO 95% PROCTOR
  - ⑯ FIN, PER SILVA CELL SPECIFICATIONS, TO KEEP CELLS IN PLACE DURING CONSTRUCTION
  - ⑰ PLANTING SOIL BELOW TREE ROOT PACKAGE, COMPACTED TO 95% PROCTOR
  - ⑱ CONCRETE EDGE RESTRAINT TO STABILIZE EDGE AND PREVENT AGGREGATE MIGRATION INTO TREE OPENING.
  - ⑳ INSPECTION RISER TO PROVIDE FOR MONITORING OF SOIL MOISTURE (OPTIONAL)
  - ㉑ SILVA CELL DECK
  - ㉒ SILVA CELL POST
  - ㉓ SILVA CELL BASE



**GENERAL GRADING AND PLANTING NOTES**

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH GRADE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH GRADE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES, PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUPINGS/PATTERNS) SHALL TAKE PRECEDENCE.
  - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (BY PROPER CHANNELS).
  - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
  - THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
  - SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

**ROOT BARRIERS**

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCLOSE THE ROOTBALL.

**MULCHES**

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

**NOTES:**

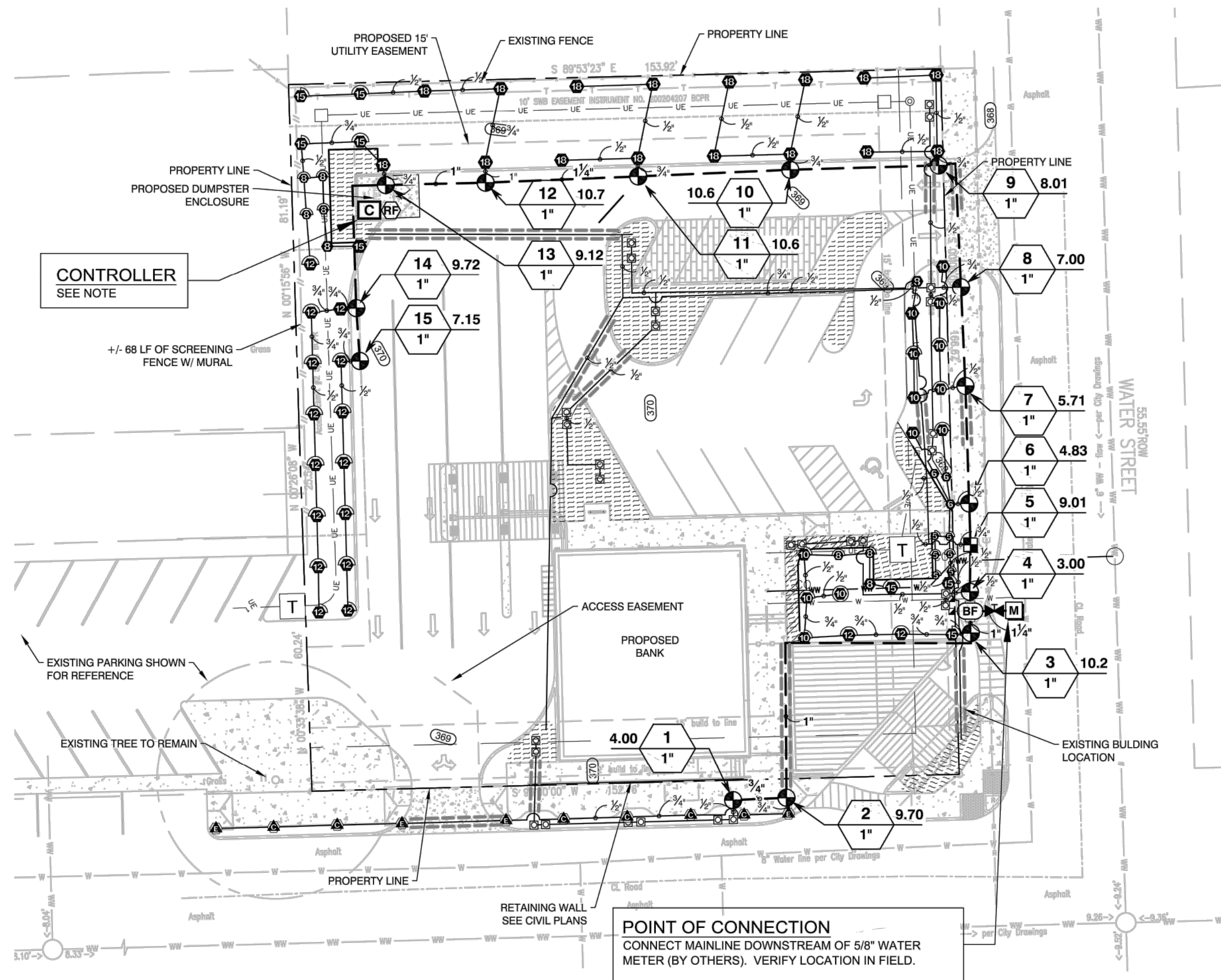
IRRIGATION PLANS REQUIRE SEPARATE PERMITS - APPROVAL OF SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY INCLUDED IRRIGATION PLANS OR ELEMENTS OF THE LANDSCAPE PLAN

**IRRIGATION CONCEPT**

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.







**SLEEVING / WIRING NOTES:**

IN ADDITION TO PROVIDING SLEEVES FOR ALL PIPING UNDER ROADWAYS AND WALKWAYS, THE IRRIGATION CONTRACTOR SHALL PROVIDE AND INSTALL SCH. 40 PVC SLEEVES FOR ALL CONTROLLER WIRES OCCURRING UNDER ALL ROADWAYS AND WALKWAYS. SLEEVES FOR CONTROLLER WIRES SHALL BE 2" DIA. AND CONTAIN NO MORE THAN 25 WIRES.

**IRRIGATION DISCLAIMER**

THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS INDICATED ON PLAN. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE IRRIGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION, OR IRRIGATION CONTRACTOR MAY BE REQUIRED TO MOVE SUCH ITEMS AT HIS OWN COST.

IRRIGATION CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FINAL QUANTITIES PER DRAWINGS AND SPECIFICATIONS. ANY QUANTITIES PROVIDED ARE PROVIDED AS A CONVENIENCE TO THE CONTRACTOR ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE.

**CONTROLLER NOTE**

LOCATE CONTROLLER AT LOCATION SHOWN ON PLAN. VERIFY LOCATION IN FIELD WITH OWNER'S REPRESENTATIVE.

120 VAC POWER TO CONTROLLER LOCATION IS NOT WITHIN THE IRRIGATION CONTRACTOR'S SCOPE OF WORK, AND SHALL BE PROVIDED BY OTHERS. HOOK-UP OF CONTROLLER TO 120 VAC SHALL BE PERFORMED BY THE IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR SHALL COORDINATE LOCATION OF WIRE SLEEVE PENETRATIONS THROUGH BUILDING WITH OWNER AND GENERAL CONTRACTOR. STATION RUN ORDER SHALL MATCH PLANS.

**IRRIGATION SCHEDULE**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
EST LCS RCS CST SST	Rain Bird 1806 15 Strip Series Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	10	30
Q H F	Rain Bird 1806 5 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	6	30
Q T H F	Rain Bird 1806 8 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	6	30
Q T H F	Rain Bird 1806 10 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	9	30
Q T H TU F	Rain Bird 1806 12 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	16	30
Q T H TU F	Rain Bird 1806 15 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	7	30
AV BV TV	Rain Bird 1806 ADJ Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	19	30
BE-VAN DE-VAN	Rain Bird 1806 HE-VAN Series Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	9	30
1401 1402 1404 1406	Rain Bird 1806-1400 Flood 1401 Flood Bubbler 6.0" pop-up	28	30

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
■	Rain Bird XCZ-100-PRB-COM Wide Flow Drip Control Kit for Commercial Applications. 1" Ball Valve with 1" PESB Valve and 1" Pressure Regulating 40psi Quick-Check Basket Filter. 0.3gpm to 20gpm.	1
■	Area to Receive Dripline Rain Bird XFS-06-18 (18) XFS Sub-Surface Pressure Compensating Dripline w/Copper Shield Technology. 0.6GPH emitters at 18.0" O.C. Laterals spaced at 18.0" apart, with emitters offset for triangular pattern. UV Resistant. Specify XF insert fittings.	1,917 s.f.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
⊕	Rain Bird PEB 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	14
⊗	Nibco Ball Valve - Brass, Two Piece, Full Port, NPT x NPT, T-FP-600A	1
BF	Febco 825Y 3/4" Reduced Pressure Backflow Preventer	1
C	Rain Bird ESP12LXMEF with (01) ESPLXMSM12 24 Station Commercial Controller. Plastic Wall Mount. Flow Sensing.	1
RF	Rain Bird WR2-RFC Wireless Rain and Freeze Sensor Combo, includes 1 receiver and 1 rain/freeze sensor transmitter.	1
M	Water Meter 5/8"	1
—	Irrigation Lateral Line: PVC Class 200 SDR 21	1,612 l.f.
---	Irrigation Mainline: PVC Schedule 40	400.4 l.f.
----	Pipe Sleeve: PVC Schedule 40	229.0 l.f.

**VALVE SCHEDULE**

NUMBER	MODEL	SIZE	TYPE	GPM	PSI	PSI @ POC	PRECIP
1	Rain Bird PEB	1"	Bubbler	4.00	32.55		2.11 in/h
2	Rain Bird PEB	1"	Turf Spray	9.70	35.87		1.91 in/h
3	Rain Bird PEB	1"	Turf Spray	10.17	34.35		1.44 in/h
4	Rain Bird PEB	1"	Bubbler	3.00	31.99		2.16 in/h
5	Rain Bird XCZ-100-PRB-COM	1"	Area for Dripline	9.01	40.74		0.45 in/h
6	Rain Bird PEB	1"	Turf Spray	4.83	31.98		1.02 in/h
7	Rain Bird PEB	1"	Turf Spray	5.71	32.35		1.37 in/h
8	Rain Bird PEB	1"	Bubbler	7.00	34.72		2.03 in/h
9	Rain Bird PEB	1"	Turf Spray	8.01	32.87		1.06 in/h
10	Rain Bird PEB	1"	Turf Spray	10.60	33.41		0.94 in/h
11	Rain Bird PEB	1"	Turf Spray	10.60	33.56		0.95 in/h
12	Rain Bird PEB	1"	Turf Spray	10.75	34.04		0.89 in/h
13	Rain Bird PEB	1"	Turf Spray	9.12	33.08		0.95 in/h
14	Rain Bird PEB	1"	Turf Spray	9.72	34.38		0.94 in/h
15	Rain Bird PEB	1"	Turf Spray	7.15	33.63		0.85 in/h

**CRITICAL ANALYSIS**

Generated: 2021-03-01 10:02  
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 Water Source Information:  
 FLOW AVAILABLE  
 Water Meter Size: 5/8"  
 Flow Available: 12.06 gpm  
 PRESSURE AVAILABLE  
 Static Pressure at POC: 60.00 psi  
 Elevation Change: 5.00 ft  
 Service Line Size: 3/4"  
 Length of Service Line: 10.00 ft  
 Pressure Available: 57.00 psi  
 DESIGN ANALYSIS  
 Maximum Station Flow: 10.75 gpm  
 Flow Available at POC: 12.06 gpm  
 Residual Flow Available: 1.31 gpm  
 Critical Station: 5  
 Design Pressure: 30.00 psi  
 Friction Loss: 3.73 psi  
 Fittings Loss: 0.37 psi  
 Elevation Loss: 0.00 psi  
 Loss through Valve: 6.65 psi  
 Pressure Req. at Critical Station: 40.17 psi  
 Loss for Fittings: 0.01 psi  
 Loss for Main Line: 0.14 psi  
 Loss for POC to Valve Elevation: 0.00 psi  
 Loss for Backflow: 12.40 psi  
 Loss for Water Meter: 2.85 psi  
 Critical Station Pressure at POC: 55.57 psi  
 Pressure Available: 57.00 psi  
 Residual Pressure Available: 1.43 psi



Owner  
**FIRST NATIONAL BANK**

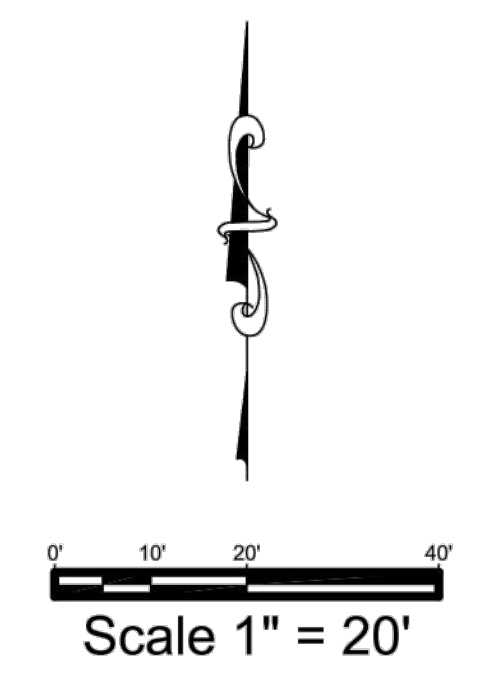
Project Name  
**FNB BASTROP - DOWNTOWN BRANCH**  
**605 SPRING STREET BASTROP TX 78602**

**LANDSCAPE IRRIGATION**

Date	Comment

Project Number  
 Date: 11/17/2020  
 Drawn By: EMS  
 Checked By: EMS/RM

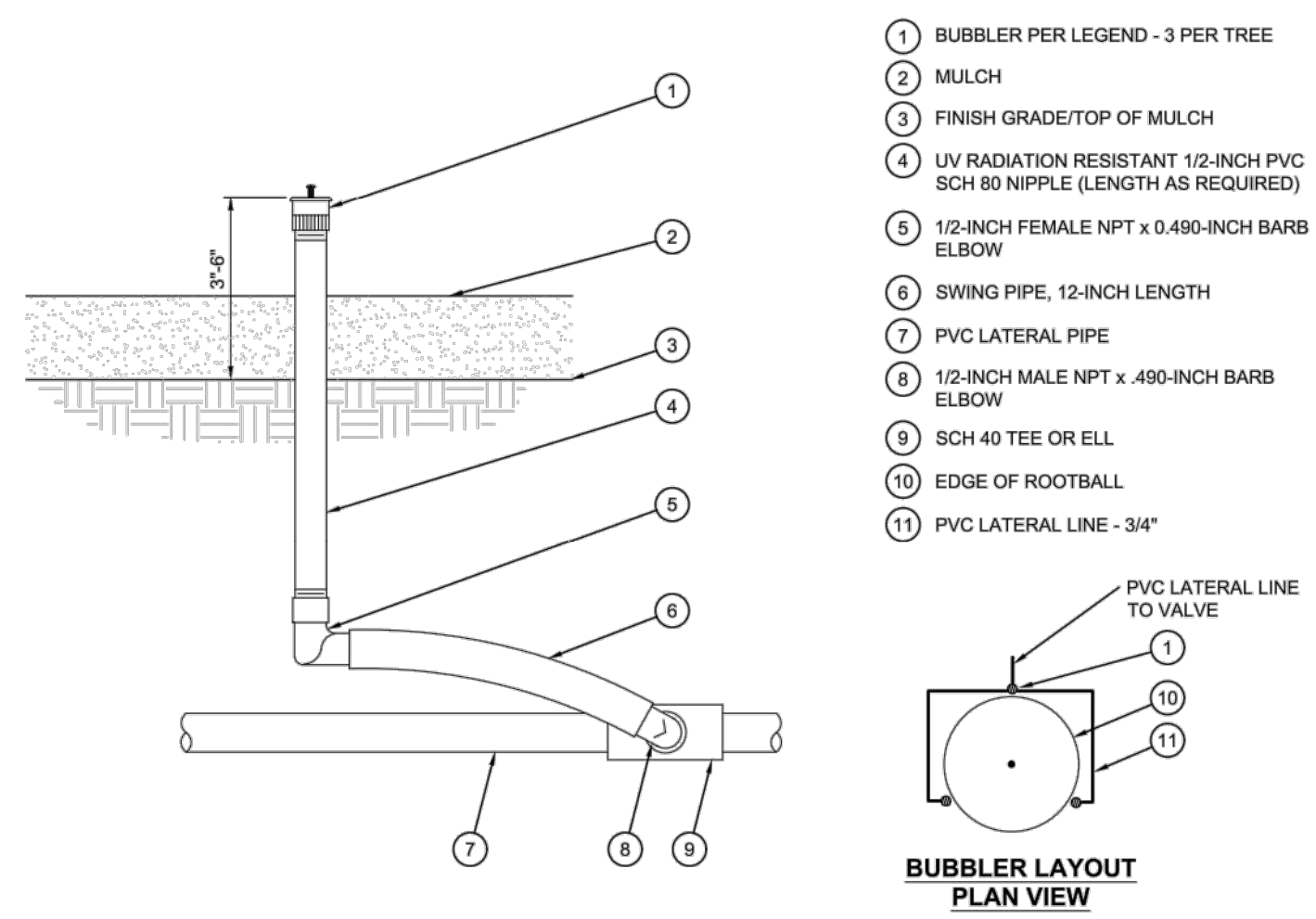
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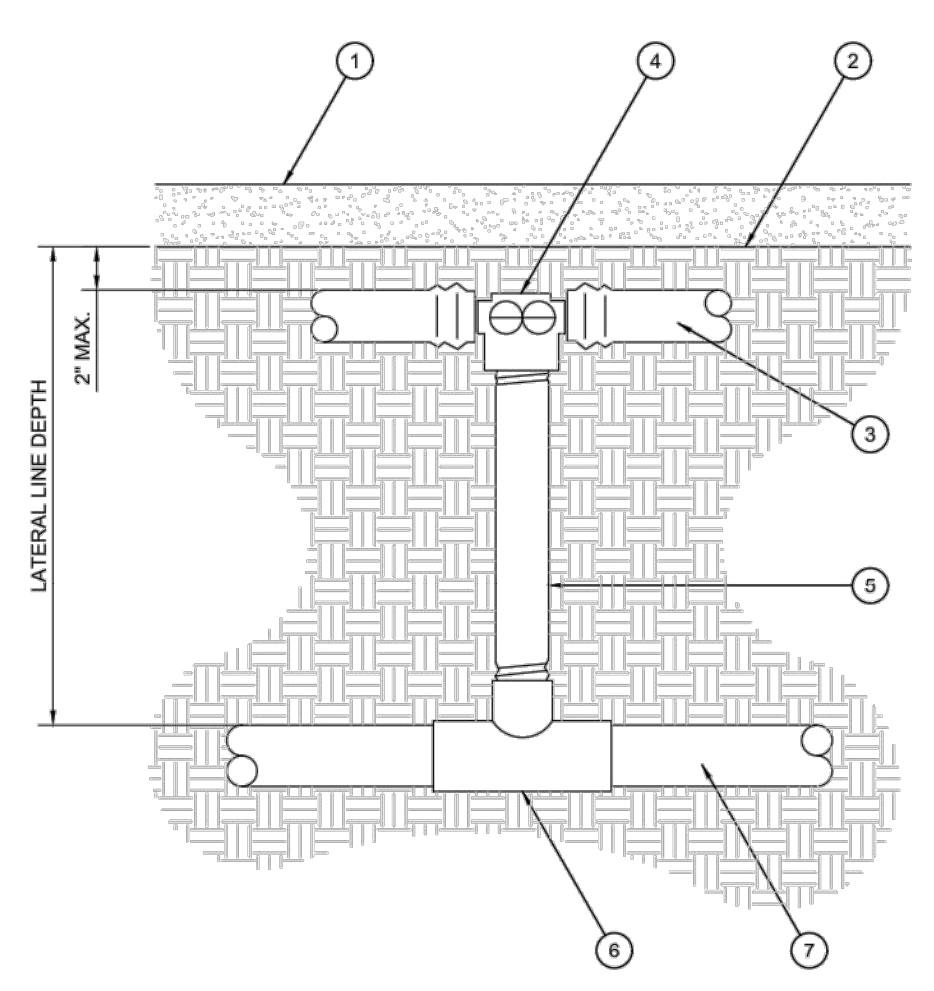
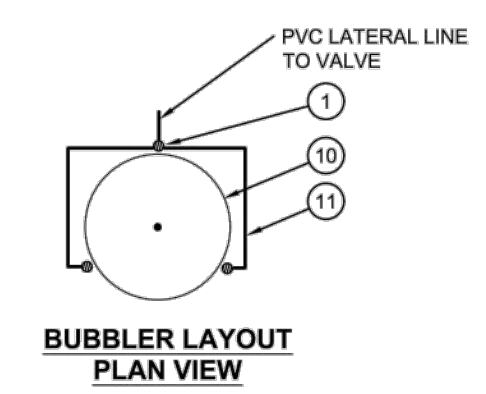
Date	Comment

Project Number	
Date	11/17/2020
Drawn By	EMS
Checked By	EMS/RM



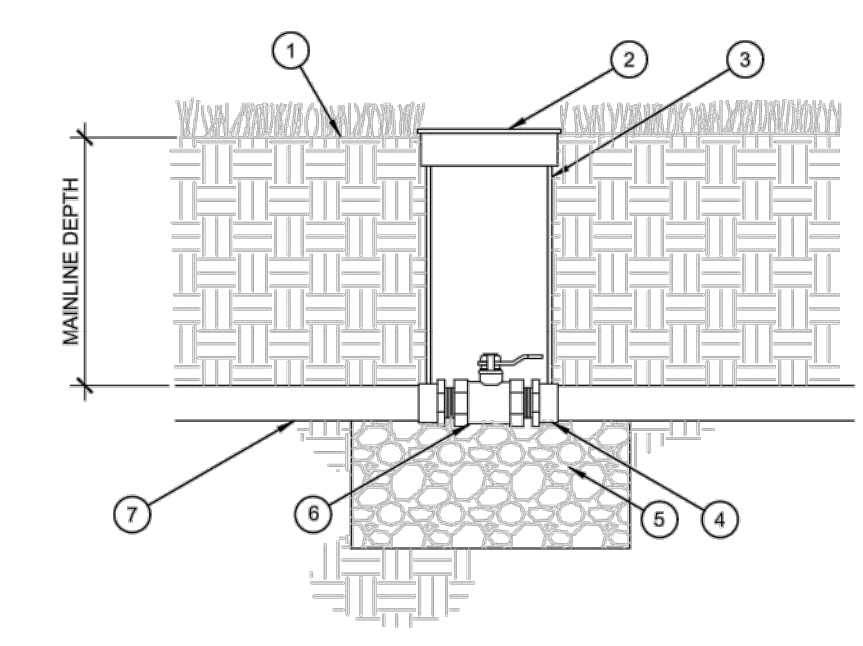
**L BUBBLER**  
SCALE: NTS

- 1 BUBBLER PER LEGEND - 3 PER TREE
- 2 MULCH
- 3 FINISH GRADE/TOP OF MULCH
- 4 UV RADIATION RESISTANT 1/2-INCH PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 5 1/2-INCH FEMALE NPT x 0.490-INCH BARB ELBOW
- 6 SWING PIPE, 12-INCH LENGTH
- 7 PVC LATERAL PIPE
- 8 1/2-INCH MALE NPT x .490-INCH BARB ELBOW
- 9 SCH 40 TEE OR ELL
- 10 EDGE OF ROOTBALL
- 11 PVC LATERAL LINE - 3/4"



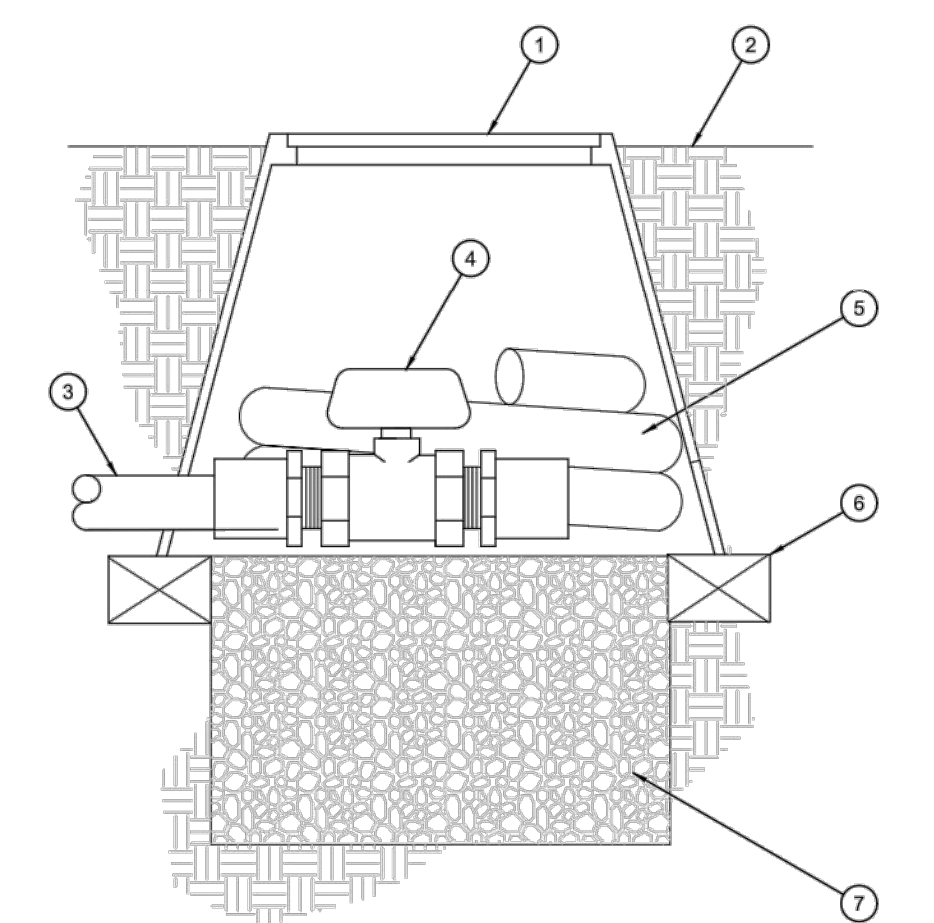
**I SUBSURFACE DRIPLINE CONNECTION**  
SCALE: NOT TO SCALE

- 1 TOP OF MULCH
- 2 FINISH GRADE
- 3 DRIPLINE PER PLAN
- 4 INSERT TEE OR ELBOW
- 5 SCH. 80 PVC NIPPLE (LINE SIZE)
- 6 SCH. 40 PVC TEE (SST)
- 7 SCH. 40 PVC SUPPLY HEADER (SIZE PER PLAN)



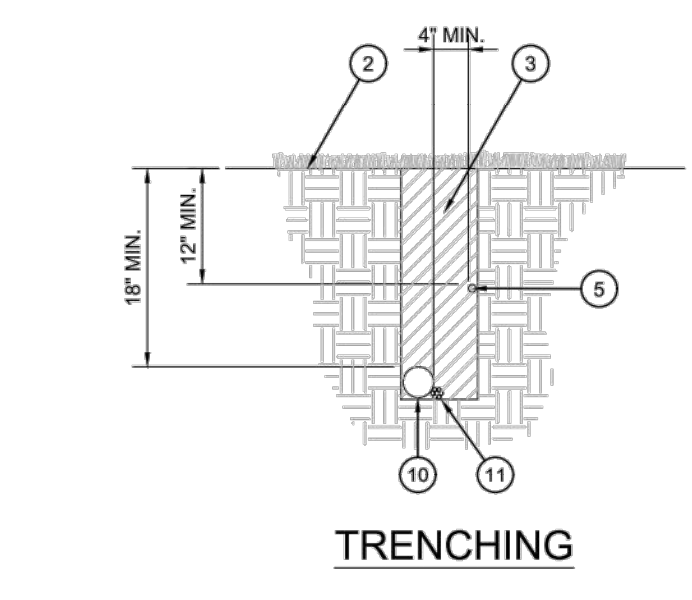
**F BRASS BALL VALVE**  
SCALE: NTS

- 1 FINISH GRADE AT 1" BELOW TOP OF BOX IN TURF AREAS; 2" BELOW TOP OF BOX IN SHRUB/GROUNDCOVER AREAS
- 2 9" ROUND VALVE BOX WITH LOCKABLE LID
- 3 EXTENSION SECTION AS NECESSARY TO MEET GRADE
- 4 PVC MALE ADAPTER
- 5 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- 6 BRASS BALL VALVE (SIZED PER MAINLINE)
- 7 IRRIGATION MAINLINE



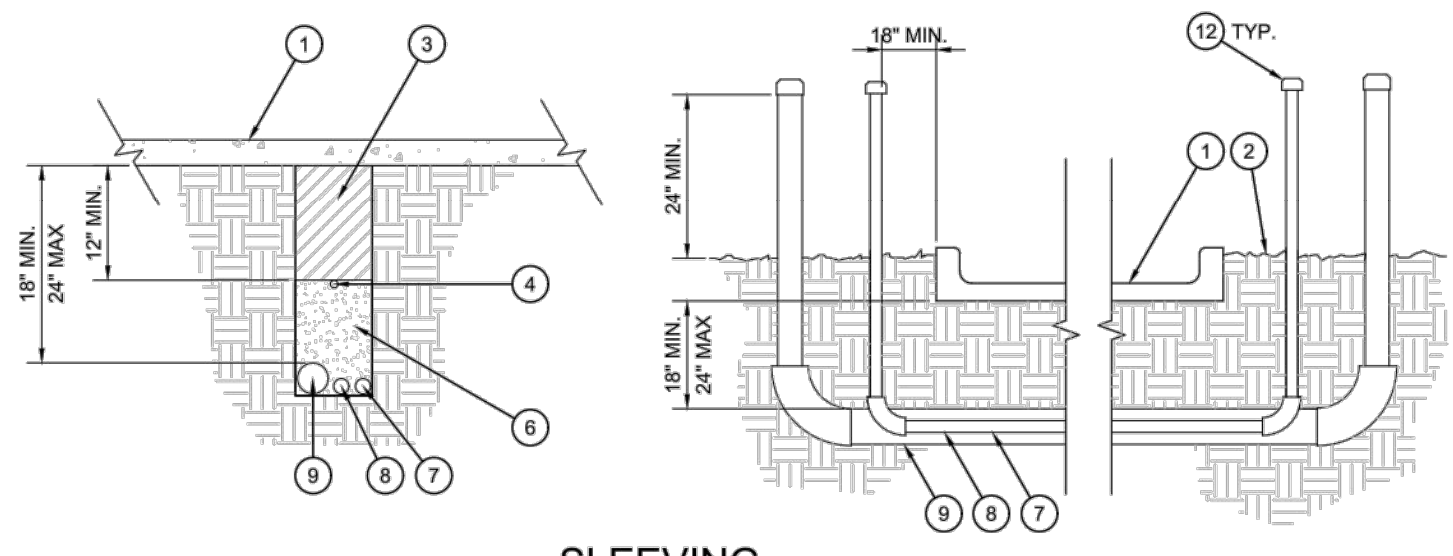
**J FLUSH VALVE**  
SCALE: NTS

- 1 10" ROUND PLASTIC VALVE BOX WITH LOCKABLE LID, "CARSON" OR APPROVED EQUAL
- 2 FINISH GRADE - TOP OF VALVE BOX TO BE 2" ABOVE FINISH GRADE IN PLANTER AREAS
- 3 DRIP EXHAUST HEADER
- 4 BALL VALVE, LINE SIZE
- 5 3' COILED LENGTH OF LINE SIZE FLEX HOSE - SOLVENT WELD TO VALVE
- 6 RED BRICK TYPICAL, 3 REQUIRED
- 7 6" DEEP LAYER OF PEA GRAVEL



**G PIPE AND SLEEVE INSTALLATION**  
SCALE: NTS

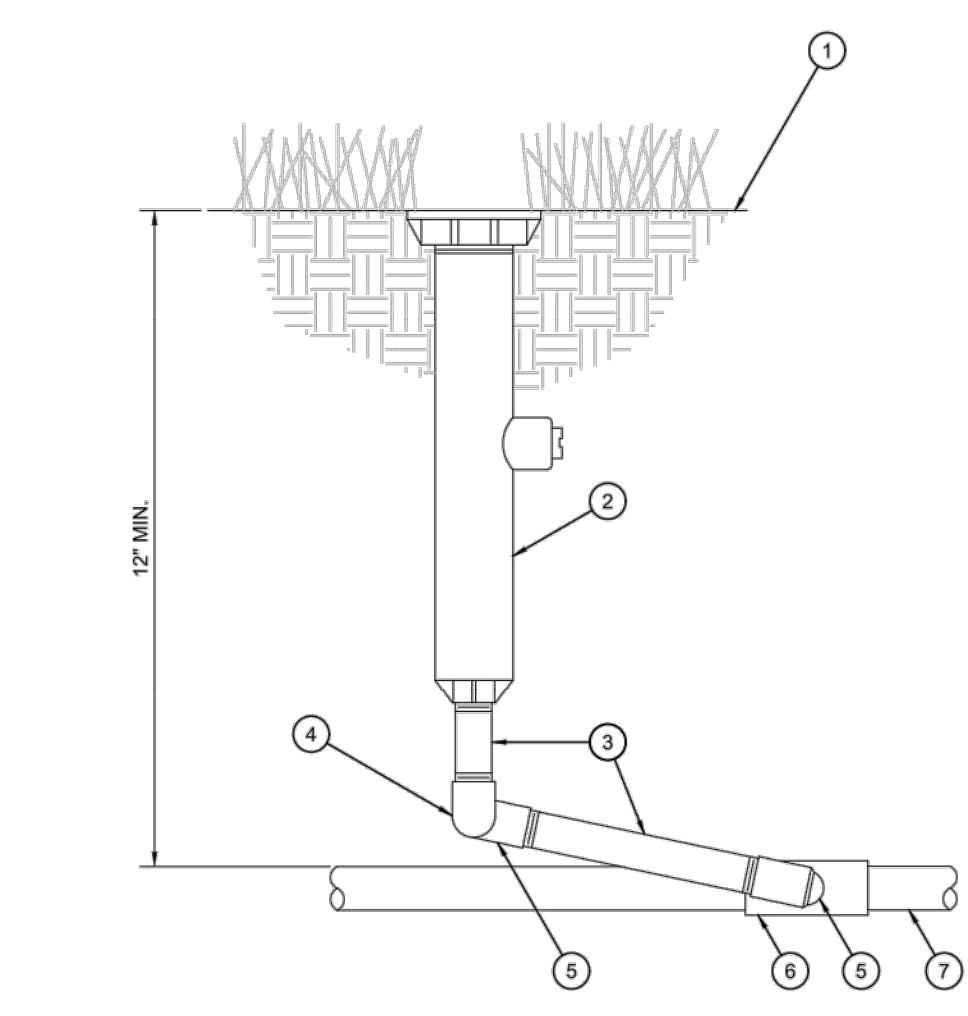
- 1 PAVEMENT SURFACE
- 2 FINISH GRADE
- 3 TRENCH BACKFILL
- 4 LOCATOR WIRE W/BURIED CAUTION TAPE
- 5 PVC IRRIGATION LATERAL
- 6 SAND BACKFILL
- 7 SCH. 40 PVC LATERAL SLEEVE - SEE PLANS FOR SIZE
- 8 SCH. 40 PVC WIRE SLEEVE FOR CONTROL WIRES, MIN. 2" DIA.
- 9 SCH. 40 PVC MAINLINE SLEEVE - SEE PLANS FOR SIZE
- 10 PVC IRRIGATION MAINLINE
- 11 CONTROL WIRES - TAPE TO MAINLINE AT 10' INTERVALS
- 12 PVC CAP, SOLVENT WELDED



**H SUBSURFACE DRIPLINE LAYOUT**  
SCALE: NOT TO SCALE

- 1 FLUSH VALVE
- 2 SCH. 40 PVC EXHAUST HEADER
- 3 SCH. 40 PVC TEE OR ELL
- 4 COMPRESSION ADAPTER
- 5 DRIPLINE
- 6 AIR RELIEF VALVE AT HIGH POINT OF SYSTEM (WHEN INDICATED ON PLANS)
- 7 SCH. 40 PVC SUPPLY HEADER
- 8 CONTROL VALVE
- 9 TREE ROOT BALL (WHERE OCCURS IN DRIPLINE AREA)
- 10 RAINBIRD PC-07 EMITTERS (3) OR EQUAL, WITH DIFFUSER CAPS, INSERTED IN DRIPLINE AND GENERALLY SPACED EVENLY AROUND TREE NEAR EDGES OF ROOT BALL (WHERE OCCURS)

NOTE: SET DRIPLINES 3'-6" AWAY FROM HARDSCAPE



**K POP-UP SPRAY HEAD**  
SCALE: NTS

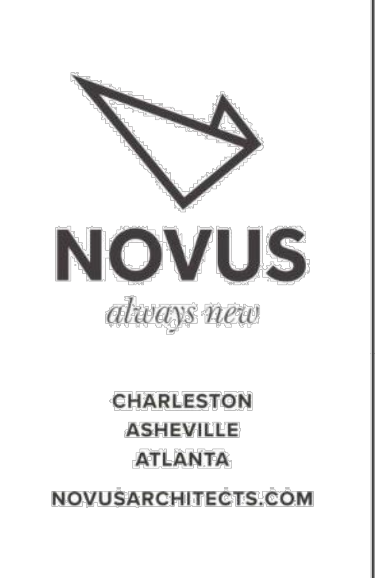
- 1 FINISH GRADE
- 2 POP-UP SPRAY HEAD
- 3 SCH. 80 PVC NIPPLE (LENGTH AS REQUIRED)
- 4 SCH. 40 PVC ELL
- 5 SCH. 40 PVC STREET ELL
- 6 SCH. 40 PVC TEE OR ELL
- 7 PVC LATERAL PIPE



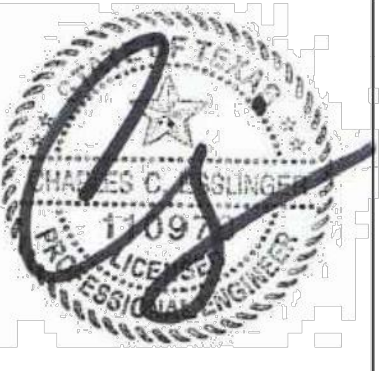
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 CE # 2014



**LEVEL**  
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 2018 POWERS FERRY ROAD, SE  
 SUITE 750  
 ATLANTA, GA 30339-7208  
 (404) 761-0038  
 FAX (404) 538-2850



**FNB BASTROP - DOWNTOWN  
 BRANCH**  
 605 SPRING STREET BASTROP TX 78602

REVISIONS: $\triangle$		
No.	Description	Date

DRAWN BY: JER  
 CHECKED BY: CCE  
 DATE: 12/01/20  
 NOVUS JOB NUMBER  
**2016-5100.41**

SHEET NUMBER  
**E101**

CONSTRUCTION DRAWINGS

**GENERAL NOTES:**

- REPLACEMENT LIGHT BULBS, AT CASH STATION, CANNOT EXCEED 3000K IN TEMPERATURE.

**KEYNOTES:**

- APPROXIMATE LOCATION OF PAD MOUNTED TRANSFORMER. COORDINATE LOCATION WITH CIVIL/LOCAL UTILITY COMPANY PRIOR TO ROUGH-IN.
- SECONDARY CONDUIT AND WIRING PER POWER RISER DIAGRAM, 1/E001.
- APPROXIMATE LOCATION OF ELECTRICAL DISCONNECT.
- PROVIDE (2) 4°C AND (1) 2°C FOR TELEPHONE/CATV SERVICE. COORDINATE EXACT REQUIREMENTS WITH UTILITIES.
- NOT USED
- APPROXIMATE LOCATION OF IT ROOM.
- APPROXIMATE LOCATION OF EXISTING ELECTRICAL DISCONNECT.
- REFER TO POWER RISER DIAGRAM, 1/E001.
- PROVIDE (3) 4" SCHEDULE 40 PVC CONDUITS 42" BFG MINIMUM WITH 36" RADIUS ELLS AT TRANSFORMER PAD. COORDINATE EXACT REQUIREMENTS WITH UTILITY.



**Specifications**

EPA: 0.95 ft<sup>2</sup> (0.088)  
 Length: 26" (0.660)  
 Width: 13" (0.330)  
 Height: 3" (0.076)  
 Height H1: 7" (0.178)  
 Height H2: 1.6 lbs (0.726)  
 Weight (max): 0.231 lbs

**Ordering Information** EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

Series	LEDs	Color temperature	Distribution	Voltage	Mounting
DSX0 LED	<b>Forward optics</b>	30K 3000K	T15 Type II short	120V	SPA Square pole mounting
	P1 P5	40K 4000K	T25 Type II short	120V	SPA Square pole mounting
	P2 P6	50K 5000K	T25 Type II medium	120V	SPA Square pole mounting
	P3 P7		T35 Type II short	120V	SPA Square pole mounting
	P4		T35 Type II medium	120V	SPA Square pole universal mounting adapter
	<b>Rotated optics</b>	T40 Type II medium	T40 Type II medium	120V	SPA Square pole universal mounting adapter
	P10 P12		T50 Type V easy-shoot	120V	SPA Square pole universal mounting adapter
	P11 P13		T50 Type V easy-shoot	120V	SPA Square pole universal mounting adapter
			T55 Type V easy-shoot	120V	SPA Square pole universal mounting adapter
			T55 Type V easy-shoot	120V	SPA Square pole universal mounting adapter
			T55 Type V easy-shoot	120V	SPA Square pole universal mounting adapter
			T55 Type V easy-shoot	120V	SPA Square pole universal mounting adapter

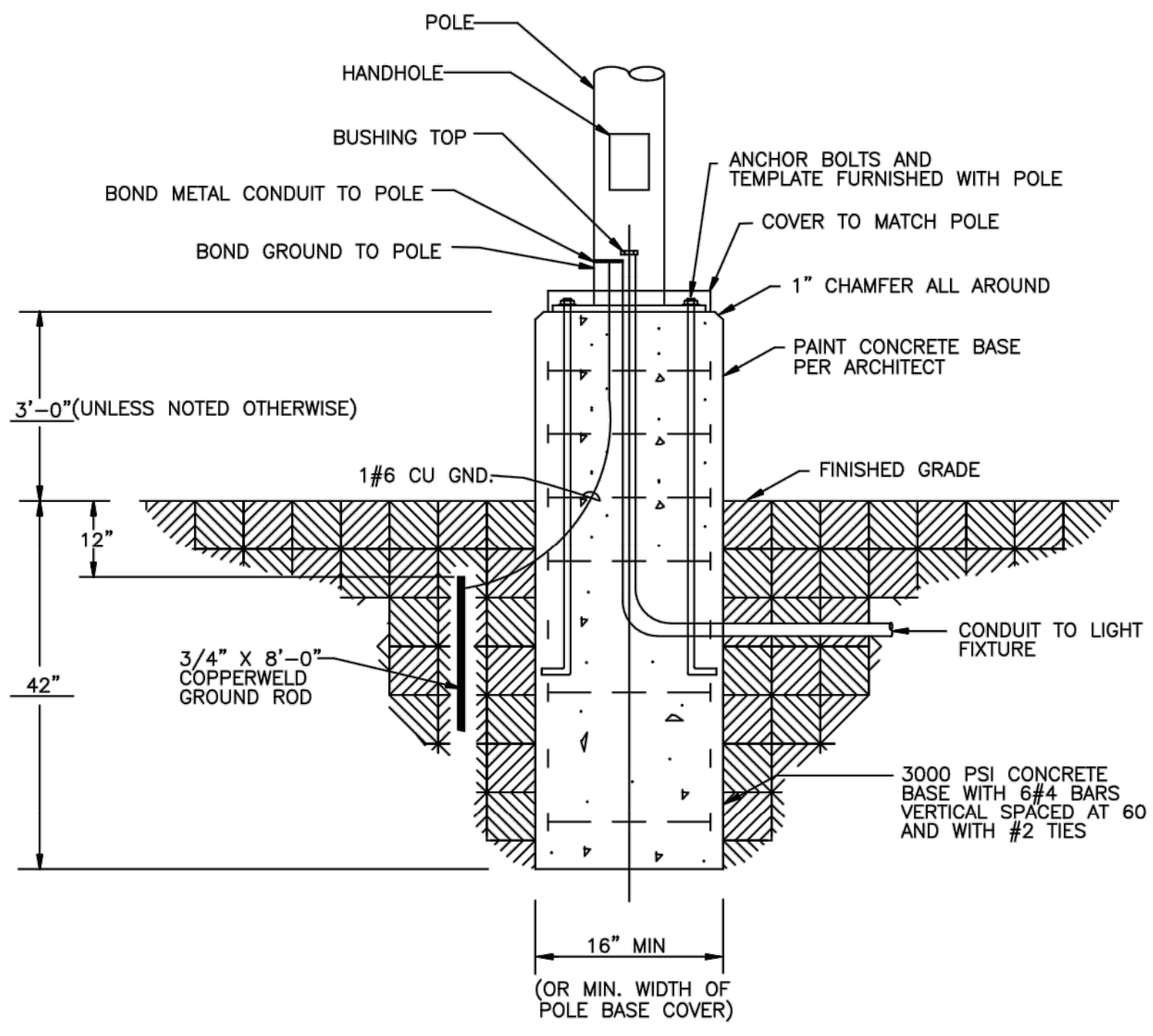


**Specifications**

EPA: 1.91 ft<sup>2</sup> (0.176)  
 Length: 33" (0.841)  
 Width: 13" (0.330)  
 Height H1: 7-1/2" (0.190)  
 Height H2: 3-1/2" (0.091)  
 Weight (max): 2.7 lbs (1.225)

**Ordering Information** EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

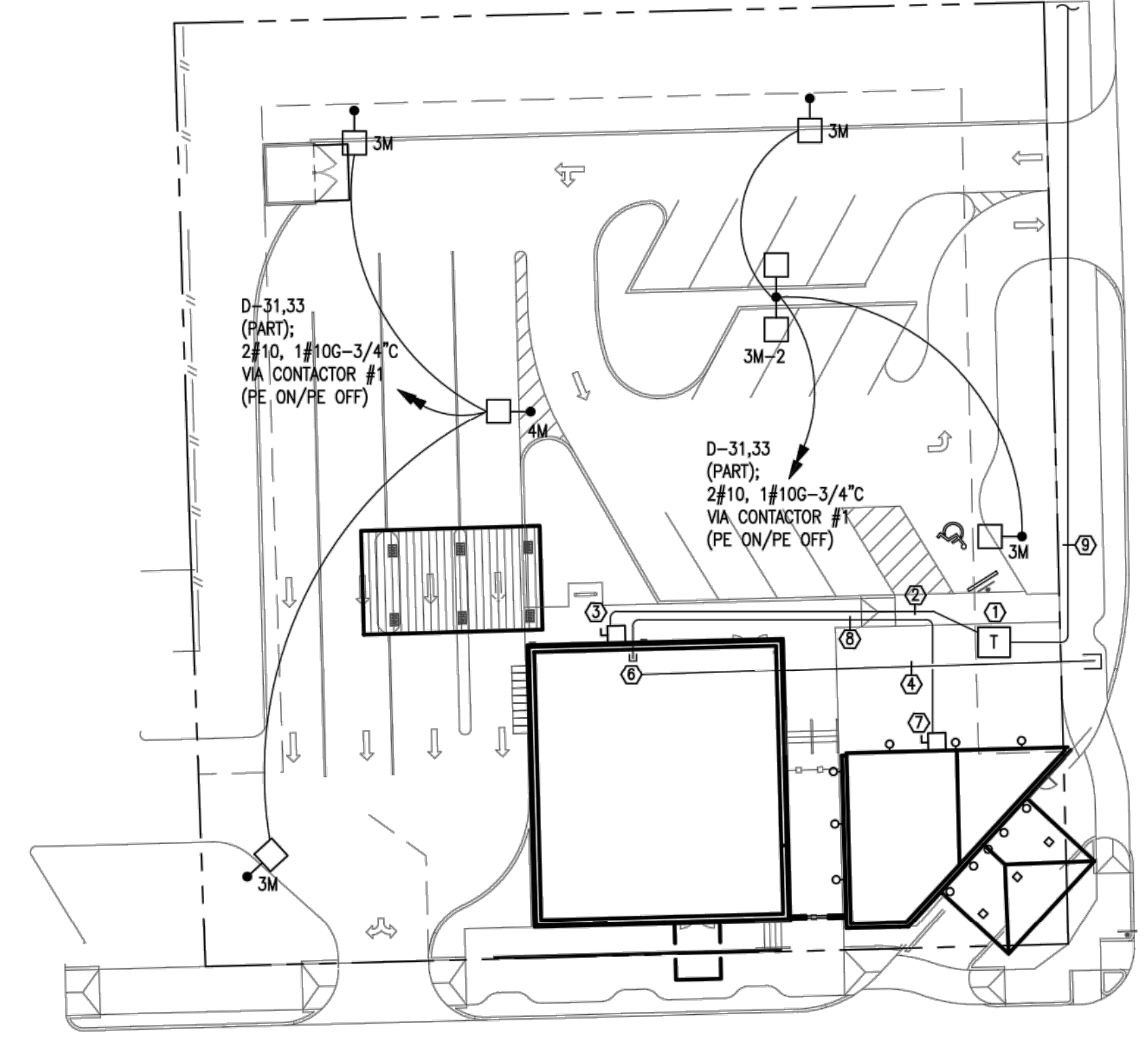
Select	LEDs	Color temperature	Distribution	Voltage	Mounting
DSX1 LED	<b>Forward optics</b>	30K 3000K	T15 Type II short	120V	SPA Square pole mounting
	P1 P4 P7	40K 4000K	T15 Type II short	120V	SPA Square pole mounting
	P2 P5 P8	50K 5000K	T15 Type II short	120V	SPA Square pole mounting
	P3 P6 P9		T15 Type II medium	120V	SPA Square pole mounting
	<b>Rotated optics</b>	T20 Type II short	T20 Type II short	120V	SPA Square pole universal mounting adapter
	P10 P12		T30 Type II medium	120V	SPA Square pole universal mounting adapter
	P11 P13		T30 Type II medium	120V	SPA Square pole universal mounting adapter
			T35 Type II short	120V	SPA Square pole universal mounting adapter
			T35 Type II medium	120V	SPA Square pole universal mounting adapter
			T35 Type II medium	120V	SPA Square pole universal mounting adapter
			T35 Type II medium	120V	SPA Square pole universal mounting adapter
			T35 Type II medium	120V	SPA Square pole universal mounting adapter



2 SITE POLE BASE DETAIL  
 E100 N.T.S.

LIGHTING FIXTURE SCHEDULE								
TYPE	DESCRIPTION	MOUNT	VOLTAGE	LAMP QTY	LAMP WATTAGE/TYPE	MANUFACTURER	CATALOG NUMBER	NOTES
3M	SITE POLE LIGHTING; SINGLE HEAD, TYPE 3M DISTRIBUTION WITH HOUSE SHIELD.	POLE 20'-0" AFG	208		70W LED 3000K	LITHONIA LIGHTING	DSX1 LED-P2-30K-T3M-MVOLT-HS	1
3M1	SITE POLE LIGHTING; SINGLE HEAD, TYPE 3M DISTRIBUTION WITH HOUSE SHIELD.	POLE 20'-0" AFG	208		70W LED 3000K	LITHONIA LIGHTING	DSX0 LED-P1-30K-T3M-MVOLT-HS	1
3M-2	SITE POLE LIGHTING; TWIN HEAD, TYPE 3M DISTRIBUTION	POLE 20'-0" AFG	208		108W LED 3000K	LITHONIA LIGHTING	DSX0 LED-P1-30K-T3M-MVOLT	1
4M	SITE POLE LIGHTING; SINGLE HEAD, TYPE 4M DISTRIBUTION	POLE 20'-0" AFG	208		125W LED 3000K	LITHONIA LIGHTING	DSX1 LED-P4-30K-T4M-MVOLT	1

NOTES:  
 1. REFER TO POLE MOUNTED DETAIL, THIS SHEET



1 SITE PLAN  
 E100 1" = 20'-0"

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G  
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CE # 201714

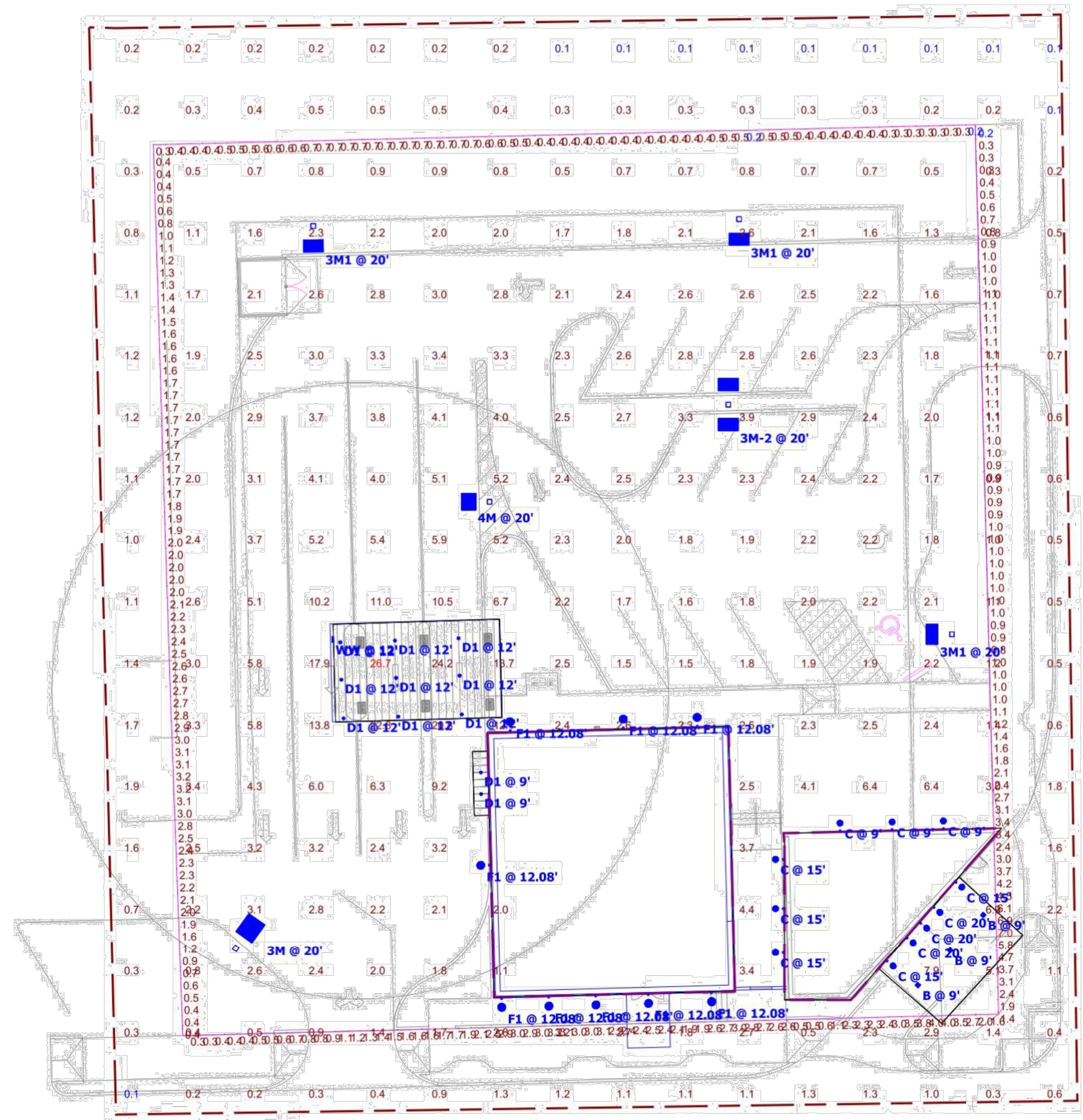
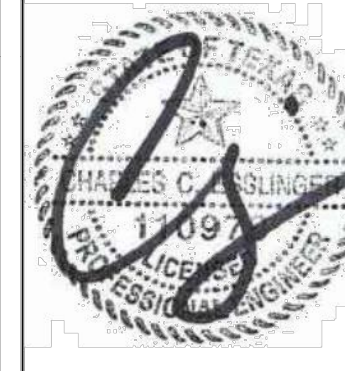


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2018 POWERS FERRY ROAD, SE  
SUITE 750  
ATLANTA, GA 30339-7208  
(404) 761-0038  
FAX (770) 538-2850



Plan View  
Scale: 1" = 20ft.

1 SITE - PHOTOMETRICS PLAN  
E101 1" = 20'-0"

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #4	+	2.6 fc	26.7 fc	0.1 fc	267.0:1	26.0:1
Property Line	+	1.5 fc	7.0 fc	0.2 fc	35.0:1	7.5:1

FIXTURE	QUANTITY	LUMENS	TOTAL	NOTE
D1	0	1,805	0	1
3M	0	6,500	0	1
3M-2	1	3,448	3,448	
4M	0	13,164	0	1
F1	9	1,044	9,396	
WW	1	7,172	7,172	
B	0	5,000	0	1
C	3	5,000	15,000	
C	0	5,000	0	1
3M1	3	3,442	10,326	
Total Outdoor Light Output			45,342	

NOTE:  
1. Fixture excluded from Total Outdoor Light Output calculations per Texas Finance Code Sec. 59.307 (Standards for Lighting).  
2. 77,112 Lumens/acre

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
	D1	11	PRESCOLITE	LF6SL-6LFSL20L30K8 DL	LiteFrame - Diffuse Lens	36 - Philips 3000K LEDs	1	1805	1	21.4
	3M	1	Lithonia Lighting	DSX1 LED P2 30K T3M MVOLT HS	DSX1 LED P2 30K T3M MVOLT with houseside shield	LED	1	6500	1	70
	3M-2	1	Lithonia Lighting	DSX0 LED P1 30K T3M MVOLT	DSX0 LED P1 30K T3M MVOLT	LED	1	4248	1	76
	4M	1	Lithonia Lighting	DSX1 LED P4 30K T4M MVOLT	DSX1 LED P4 30K T4M MVOLT	LED	1	13164	1	125
	F1	9	ARCHITECTURAL AREA LIGHTING	UCS-STR-12LED-WW	UNIVERSAL - STRAIGHT HOOD, STRAIGHT SPUN ALUMINUM HOOD, COATED LENS.	12 DIODES, 3000K	1	1044	1	26.9
	WW	1	Lithonia Lighting	DSXW2 LED 20C 1000 30K T3M MVOLT	DSXW2 LED WITH 2 LIGHT ENGINES, 20 LED's, 1000mA DRIVER, 3000K LED, TYPE 3 MEDIUM OPTIC	LED	1	7172	1	73
	B	3	RAB LIGHTING - VANDALPROOF				1	5000	1	35
	C	11	ARCHITECTURAL AREA LIGHTING				1	5000	1	35
	3M1	3	Lithonia Lighting	DSX0 LED P1 30K T3M MVOLT HS	DSX0 LED P1 30K T3M MVOLT with houseside shield	LED	1	3442	1	38

FNB BASTROP - DOWNTOWN  
BRANCH  
605 SPRING STREET BASTROP TX 78602

SITE PHOTOMETRICS

REVISIONS:		
No.	Description	Date

DRAWN BY: JER  
CHECKED BY: CCE  
DATE: 12/01/20

NOVUS JOB NUMBER  
2016-5100.41

SHEET NUMBER  
E102

CONSTRUCTION DRAWINGS

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### GENERAL ELEVATION NOTES

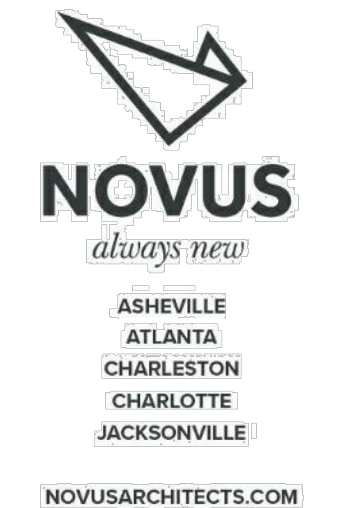
- REFER TO A421 FOR DETAILS
- 1" CLEAR INSULATED GLASS
- SPANDREL PANEL
- 1/4" CLEAR GLASS
- TEMPERED GLASS (SHOWN ON A601 ONLY)

### KEYNOTES - ELEVATION

- | #  | DESCRIPTION  |
|----|--|
| 1  | PARAPET CAP - REFER TO DETAILS ON A421. FINISH TO BE M-3   |
| 2  | SOLDIER BRICK COURSE, B-1. REFER TO DETAILS ON A611/A612 FOR PROTRUSION DISTANCE.  |
| 3  | HEADER BRICK COURSE, B-1. REFER TO DETAILS ON A611/A612 FOR PROTRUSION DISTANCE.   |
| 4  | STRETCHER BOND BRICK, B-1  |
| 5  | EXTERIOR LIGHT FIXTURE - REFER TO A121 FOR MOUNTING HEIGHT AND ELECTRICAL SHEETS FOR SPECIFICATIONS  |
| 6A | TYPICAL BRICK PILASTER - REFER TO DETAILS ON A412 & A421   |
| 6B | TALL BRICK PILASTER - REFER TO DETAILS ON A412 & A421  |
| 6C | SHORT BRICK PILASTER - REFER TO DETAILS ON A412 & A421   |
| 7  | FLEMISH BOND BRICK, B-1  |
| 8  | EXTERIOR SIGNAGE LIGHT - REFER TO ELEVATION FOR MOUNTING HEIGHT & ELECTRICAL SHEETS FOR SPECIFICATIONS   |
| 9  | BUILDING SIGNAGE, APPROX. 15 SF  |
| 10 | PREFABRICATED METAL CANOPY, BASIS OF DESIGN - MASA ARCHITECTURAL CANOPIES, EXTRUDECK, HANGER ROD SUPPORTED, IND H (2P) EDGE PROFILE, INTEGRAL DOWNSPOUT, AND RECESSED LIGHTING PER A121 AND ELECTRICAL SHEETS. FINISH TO BE M-2. REFER TO A201 FOR DIMENSIONS. |
| 11 | CAST STONE LINTEL, ST-1  |
| 12 | EXTERIOR SCONCE, CENTERED ON BRICK PILASTER. REFER TO A121 FOR MOUNTING HEIGHT AND ELECTRICAL SHEETS FOR SPECIFICATIONS.   |
| 13 | STAIRS WITH RAILING PER CIVIL  |
| 14 | MECHANICAL LOUVER - REFER TO MECHANICAL SHEETS FOR SPECIFICATIONS. FINISH TO BE M-1.   |
| 15 | NIGHT DEPOSIT - REFER TO A103 FOR TYPE. COMPLY WITH MFR'S RECOMMENDED CLEARANCES.  |
| 16 | TRANSACTION WINDOW - REFER TO A601 FOR DIMENSIONS. COMPLY WITH MFR'S RECOMMENDED CLEARANCES.   |
| 17 | DEAL DRAWER. COMPLY WITH MFR'S RECOMMENDED CLEARANCES.   |
| 18 | 5'W x 4'H OVERFLOW SCUPPER. FINISH TO BE M-1. REFER TO A201/A211 FOR DETAILS.  |
| 19 | LEADERHEAD (BASIS OF DESIGN - K&M SHEET METAL, COMMERCIAL CONDUCTOR HEAD, SKU CHCM) WITH 4"x5" NON-CORRUGATED DOWNSPOUT. BOTH TO BE FINISHED M-1. REFER TO A201/A211 FOR DETAILS. COORDINATE ROUTING WITH CIVIL.   |
| 20 | ALUMINUM FASCIA. FINISH TO BE M-1  |
| 21 | DEIFS PAINTED EP-2   |
| 22 | EXTERIOR WALL PACK - REFER TO ELECTRICAL SHEETS FOR SPECIFICATIONS   |
| 23 | ROUND STEEL COLUMNS PER STRUCTURAL. PAINT EP-1.  |
| 24 | LOCATION OF FUTURE ATM   |
| 25 | EXTERIOR PNEUMATIC TUBE SYSTEM - COMPLY WITH MFR'S RECOMMENDED CLEARANCES, REFER TO AS101 FOR LOCATIONS.   |
| 26 | 5'W x 4'H GUTTER. FINISH TO BE M-1. REFER TO A201/A211 FOR DETAILS.  |
| 27 | 3" DIAMETER ROUND DOWNSPOUT. FINISH TO BE M-1. REFER TO A201/A211 FOR DETAILS.   |
| 28 | SURFACE MOUNTED KNOXBOX - REFER TO MFR'S RECOMMENDATIONS FOR MOUNTING HEIGHT.  |
| 29 | 8" TALL CONCRETE CAP. REFER TO DETAILS ON AS101.   |
| 30 | BRICK ARCH TO BE THE SAME SIZE AS ADJACENT ARCH AT SF-10.  |
| 31 | GABLE LOUVER (INSTALL ON BOTH EAST AND WEST FACES OF DRIVE-THROUGH), APPROX SIZE 15'H, 12'W. ENSURE TOTAL NFA FROM THE 2 LOUVERS IS GREATER THAN 264 SQ IN. PAINT TO MATCH ADJACENT DEIFS.   |
| 32 | 4" DIAMETER BOLLARD WITH PLASTIC SLEEVE. LOCATION PER PNEUMATIC TUBE MFR'S RECOMMENDATIONS. SLEEVE FINISH TO COORDINATE WITH M-1.  |

### EXTERIOR FINISH SELECTIONS

- CLADDING**
- B-1 BRICK FINISH, BASIS OF DESIGN: TBD IN A MODULAR SIZE
  - BM-1 MORTAR, BASIS OF DESIGN: WORKRITE MASONRY CEMENT, COLOR TBD
  - ST-1 8" TALL CAST STONE LINTEL, BASIS OF DESIGN: ROCKCAST BA-100, COLOR BUFFSTONE
- EXTERIOR PAINT**
- EP-1 SHERWIN WILLIAMS, SW7020 COLOR: BLACK FOX, FINISH: SEMI-GLOSS (EXTERIOR DOOR & STEEL COLUMNS)
  - EP-2 SHERWIN WILLIAMS, COLOR TBD TO COORDINATE WITH BRICK FINISH, FINISH: FLAT (DEIFS)
  - EP-3 SHERWIN WILLIAMS, SW7025 COLOR: HIGH REFLECTIVE WHITE, FINISH: FLAT (UNDERSIDE OF DRIVE THROUGH CANOPY)
- METAL FINISH**
- M-1 DARK PREFINISHED METAL, BASIS OF DESIGN: KYNAR, COLOR: DARK BRONZE (AT STANDING SEAM ROOF, SCUPPERS, DOWNSPOUTS, AND GATE)
  - M-2 DARK PREFINISHED METAL, BASIS OF DESIGN: TIGER DRYLAC, COLOR: BRONZE MATTE METALLIC (AT NIGHT DEPOSIT & FRONT CANOPIES)
  - M-3 TAN PREFINISHED METAL, BASIS OF DESIGN: KYNAR, COLOR: ALMOND (AT PARAPET CAP)
- MISCELLANEOUS**
- S-1 SPANDREL PANEL, BASIS OF DESIGN: ICD HIGH PERFORMANCE COATINGS, OPACI-COAT-300 IN #6-0025 HARMONY BLUE



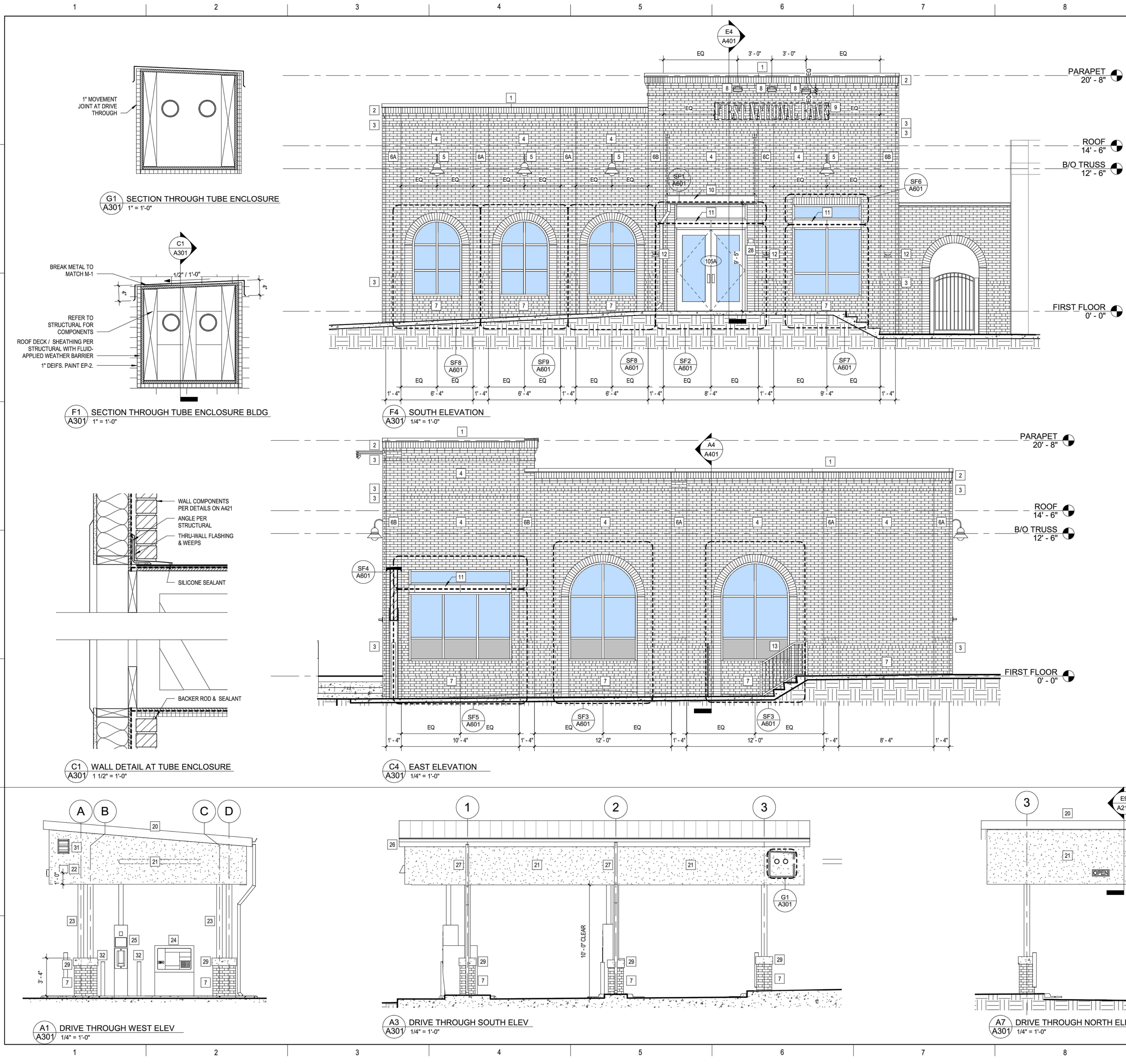
**FNB BASTROP - DOWNTOWN BRANCH**  
 605 SPRING STREET BASTROP TX 78602

No.	Description	Date
1	CR #1	12/17/20
2	CR #2	1/29/21

DRAWN BY: VBB  
 CHECKED BY: MDM  
 DATE: 12/1/20  
 NOVUS JOB NUMBER  
**2016-5100.41**

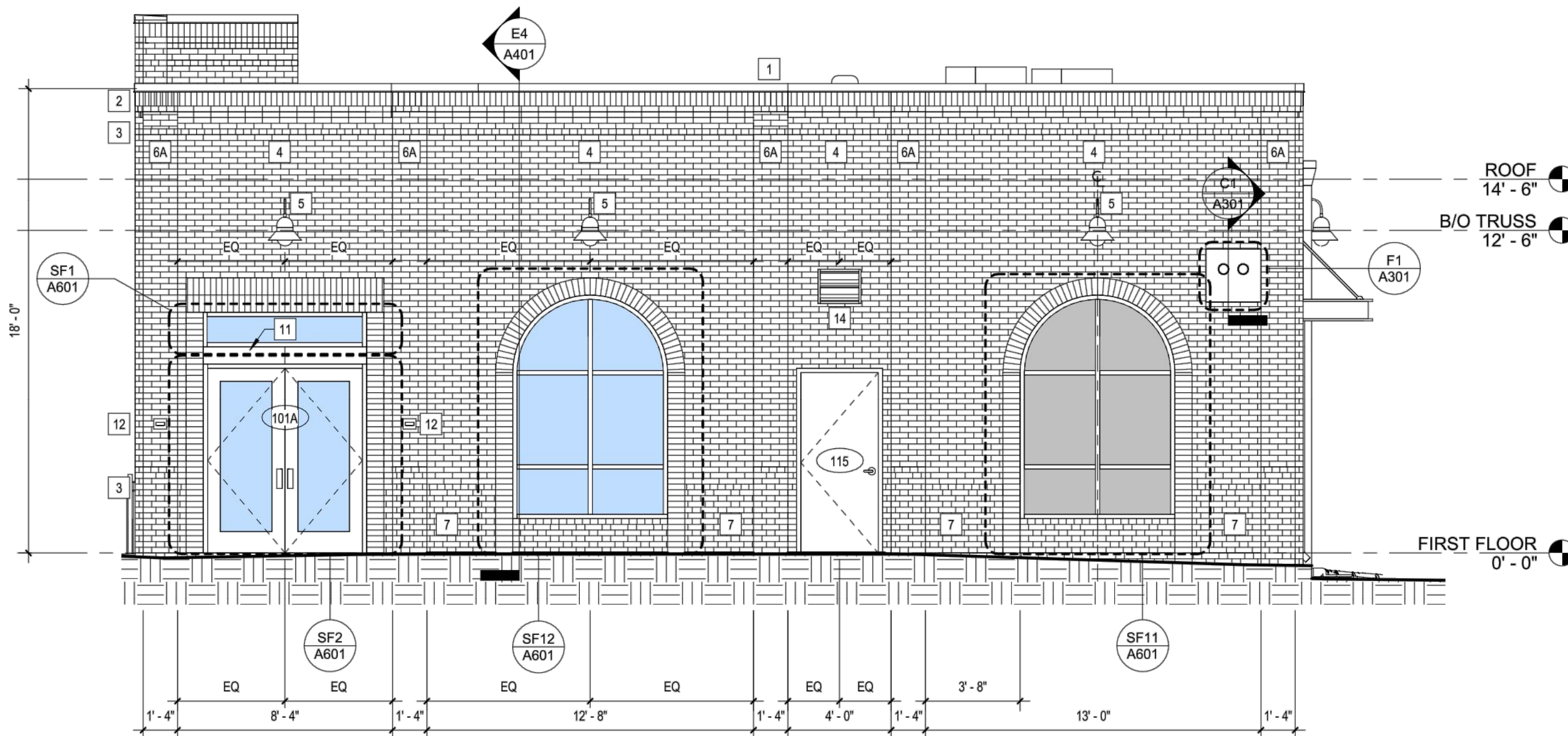
SHEET NUMBER  
**A301**

CONSTRUCTION DRAWINGS

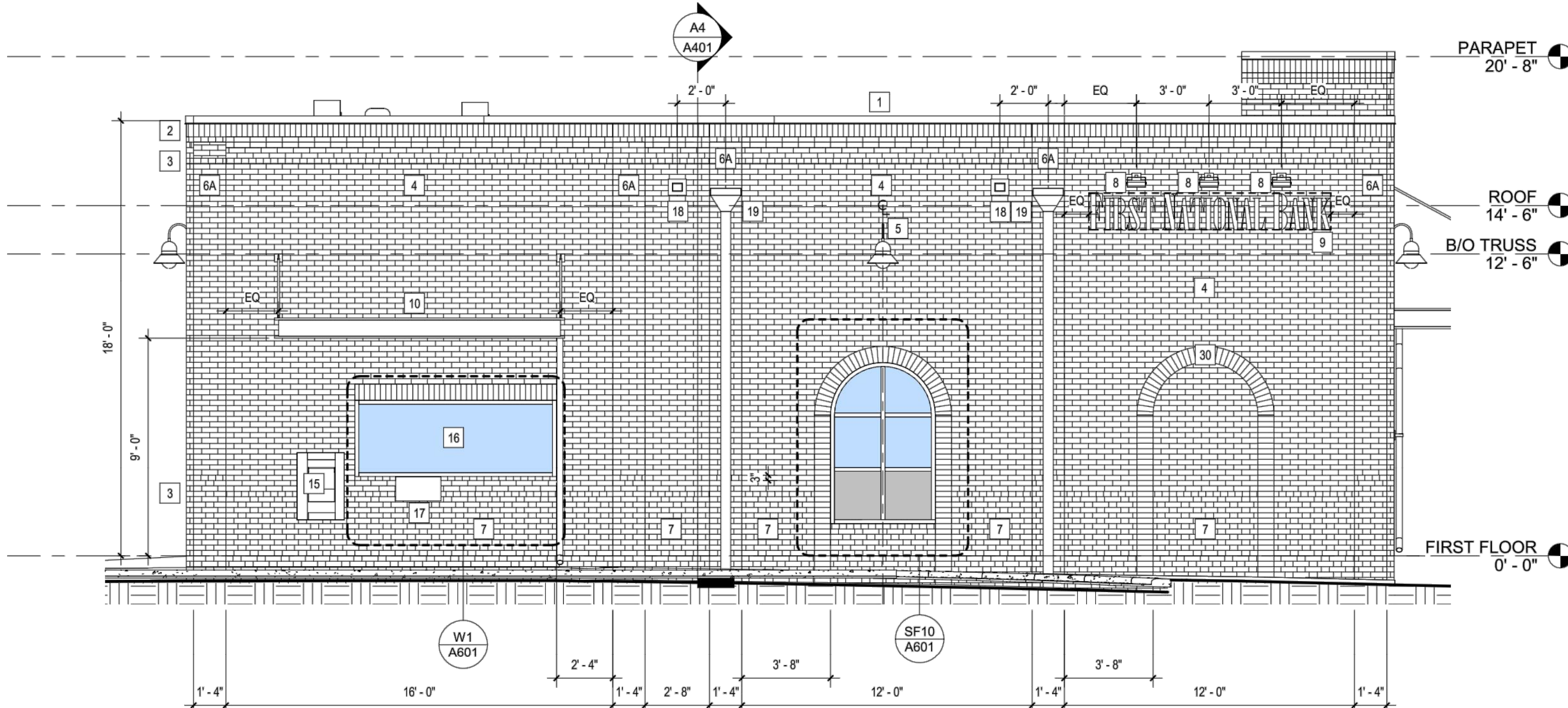




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**F4 NORTH ELEVATION**  
1/4" = 1'-0"



**C4 WEST ELEVATION**  
1/4" = 1'-0"

**GENERAL ELEVATION NOTES**

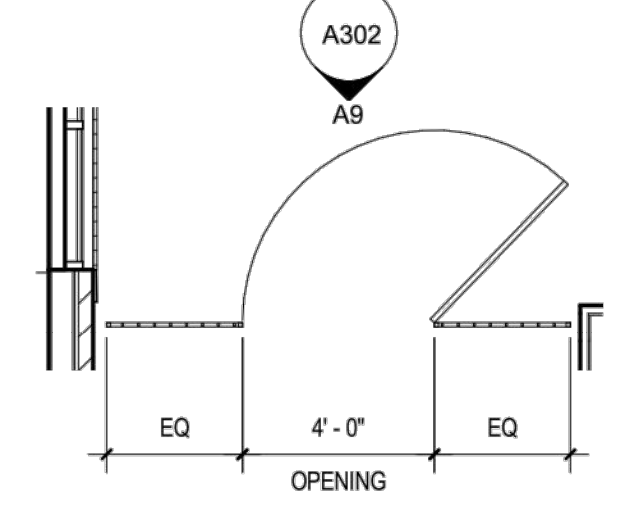
- REFER TO A421 FOR DETAILS
- 1" CLEAR INSULATED GLASS
- SPANDREL PANEL
- 1/4" CLEAR GLASS
- TEMPERED GLASS (SHOWN ON A801 ONLY)

**KEYNOTES - ELEVATION**

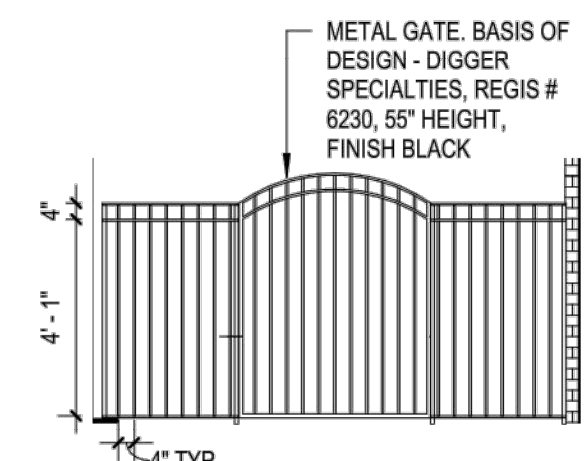
- 1 PARAPET CAP - REFER TO DETAILS ON A421. FINISH TO BE M-3.
- 2 SOLDIER BRICK COURSE, B-1. REFER TO DETAILS ON A611/A612 FOR PROTRUSION DISTANCE.
- 3 HEADER BRICK COURSE, B-1. REFER TO DETAILS ON A611/A612 FOR PROTRUSION DISTANCE.
- 4 STRETCHER BOND BRICK, B-1
- 5 EXTERIOR LIGHT FIXTURE - REFER TO A121 FOR MOUNTING HEIGHT AND ELECTRICAL SHEETS FOR SPECIFICATIONS
- 6A TYPICAL BRICK PILASTER - REFER TO DETAILS ON A412 & A421
- 6B TALL BRICK PILASTER - REFER TO DETAILS ON A412 & A421
- 6C SHORT BRICK PILASTER - REFER TO DETAILS ON A412 & A421
- 7 FLEMISH BOND BRICK, B-1
- 8 EXTERIOR SIGNAGE LIGHT - REFER TO ELEVATION FOR MOUNTING HEIGHT & ELECTRICAL SHEETS FOR SPECIFICATIONS
- 9 BUILDING SIGNAGE, APPROX. 15 SF
- 10 PREFABRICATED METAL CANOPY, BASIS OF DESIGN - MASA ARCHITECTURAL CANOPIES, EXTRUDECK, HANGER ROD SUPPORTED, IND H (27) EDGE PROFILE, INTEGRAL DOWNSPOUT, AND RECESSED LIGHTING PER A121 AND ELECTRICAL SHEETS. FINISH TO BE M-2. REFER TO A201 FOR DIMENSIONS.
- 11 CAST STONE LINTEL, ST-1
- 12 EXTERIOR SCONCE, CENTERED ON BRICK PILASTER. REFER TO A121 FOR MOUNTING HEIGHT AND ELECTRICAL SHEETS FOR SPECIFICATIONS.
- 13 STAIRS WITH RAILING PER CIVIL
- 14 MECHANICAL LOUVER - REFER TO MECHANICAL SHEETS FOR SPECIFICATIONS. FINISH TO BE M-1.
- 15 NIGHT DEPOSIT - REFER TO A103 FOR TYPE. COMPLY WITH MFR'S RECOMMENDED CLEARANCES.
- 16 TRANSACTION WINDOW - REFER TO A601 FOR DIMENSIONS. COMPLY WITH MFR'S RECOMMENDED CLEARANCES.
- 17 DEAL DRAWER. COMPLY WITH MFR'S RECOMMENDED CLEARANCES.
- 18 5"W x 4"H OVERFLOW SCUPPER. FINISH TO BE M-1. REFER TO A201/A211 FOR DETAILS.
- 19 LEADER-HEAD (BASIS OF DESIGN - K&M SHEET METAL, COMMERCIAL CONDUCTOR HEAD, SKU CHCM) WITH 4"x6" NON-CORRUGATED DOWNSPOUT. BOTH TO BE FINISHED M-1. REFER TO A201/A211 FOR DETAILS. COORDINATE ROUTING WITH CIVIL.
- 20 ALUMINUM FASCIA. FINISH TO BE M-1
- 21 DEIF'S PAINTED EP-2
- 22 EXTERIOR WALL PACK - REFER TO ELECTRICAL SHEETS FOR SPECIFICATIONS
- 23 ROUND STEEL COLUMNS PER STRUCTURAL. PAINT EP-1.
- 24 LOCATION OF FUTURE ATM
- 25 EXTERIOR PNEUMATIC TUBE SYSTEM - COMPLY WITH MFR'S RECOMMENDED CLEARANCES, REFER TO A5101 FOR LOCATIONS.
- 26 5"W x 4"H GUTTER. FINISH TO BE M-1. REFER TO A201/A211 FOR DETAILS.
- 27 3" DIAMETER ROUND DOWNSPOUT. FINISH TO BE M-1. REFER TO A201/A211 FOR DETAILS.
- 28 SURFACE MOUNTED KNOXBOX - REFER TO MFR'S RECOMMENDATIONS FOR MOUNTING HEIGHT.
- 29 8" TALL CONCRETE CAP. REFER TO DETAILS ON A5101.
- 30 BRICK ARCH TO BE THE SAME SIZE AS ADJACENT ARCH AT SF-10.
- 31 GABLE LOUVER (INSTALL ON BOTH EAST AND WEST FACES OF DRIVE-THROUGH), APPROX SIZE 15'H, 12"W. ENSURE TOTAL NFA FROM THE 2 LOUVERS IS GREATER THAN 264 SQ IN. PAINT TO MATCH ADJACENT DEIFS.
- 32 4" DIAMETER BOLLARD WITH PLASTIC SLEEVE. LOCATION PER PNEUMATIC TUBE MFR'S RECOMMENDATIONS. SLEEVE FINISH TO COORDINATE WITH M-1.

**EXTERIOR FINISH SELECTIONS**

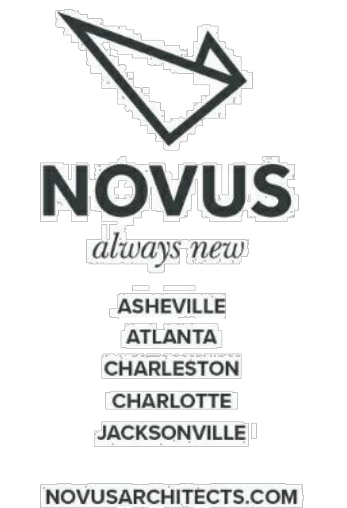
- CLADDING**
- B-1 BRICK FINISH, BASIS OF DESIGN: TBD IN A MODULAR SIZE
  - BW-1 MORTAR, BASIS OF DESIGN: WORKRITE MASONRY CEMENT, COLOR TBD
  - ST-1 8" TALL CAST STONE LINTEL, BASIS OF DESIGN: ROCKCAST BA-100, COLOR BUFFSTONE
- EXTERIOR PAINT**
- EP-1 SHERWIN WILLIAMS. SW7020 COLOR: BLACK FOX, FINISH: SEMI-GLOSS (EXTERIOR DOOR & STEEL COLUMNS)
  - EP-2 SHERWIN WILLIAMS. COLOR TBD TO COORDINATE WITH BRICK FINISH, FINISH: FLAT (DEIFS)
  - EP-3 SHERWIN WILLIAMS. SW7025 COLOR: HIGH REFLECTIVE WHITE, FINISH: FLAT (UNDERSIDE OF DRIVE THROUGH CANOPY)
- METAL FINISH**
- M-1 DARK PREFINISHED METAL, BASIS OF DESIGN: KYNAR, COLOR: DARK BRONZE (AT STANDING SEAM ROOF, SCUPPERS, DOWNSPOUTS, AND GATE)
  - M-2 DARK PREFINISHED METAL, BASIS OF DESIGN: TIGER DRYLAC, COLOR: BRONZE MATTE METALLIC (AT NIGHT DEPOSIT & FRONT CANOPIES)
  - M-3 TAN PREFINISHED METAL, BASIS OF DESIGN: KYNAR, COLOR: ALMOND (AT PARAPET CAP)
- MISCELLANEOUS**
- S-1 SPANDREL PANEL, BASIS OF DESIGN: ICD HIGH PERFORMANCE COATINGS, OPACI-COAT-300 IN #6-0025 HARMONY BLUE



**B9 METAL GATE PLAN**  
1/4" = 1'-0"



**A9 METAL GATE ELEVATION**  
1/4" = 1'-0"



2018 POWERS FERRY ROAD, SE SUITE 750  
ATLANTA, GA 30339-7208  
(404) 761-0008  
FAX (678) 539-2850



**FNB BASTROP - DOWNTOWN BRANCH**  
605 SPRING STREET BASTROP TX 78602

EXTERIOR ELEVATIONS

REVISIONS:

No.	Description	Date
1	CR #1	12/17/20
2	CR #2	1/29/21

DRAWN BY: VBB  
CHECKED BY: MDM  
DATE: 12/1/20

NOVUS JOB NUMBER  
**2016-5100.41**

SHEET NUMBER  
**A302**

CONSTRUCTION DRAWINGS

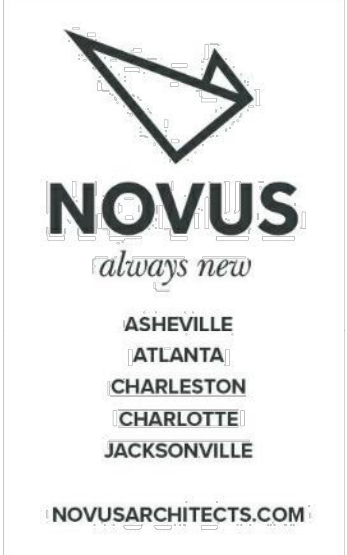
ALL DESIGNS, DRAWINGS, AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF NOVUS ARCHITECTS INC. COPYRIGHT © 2020 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS



D1 FRONTAGE ELEVATION  
A303 1/4" = 1'-0"

BRICK 77%	CAST STONE 1%	GLAZING CLEAR 6.5%	GLAZING CLEAR FROSTED 6.5%	PARAPET CAP 1.5%	DOWNSPOUTS, CANOPY, IRON GATE 3.5%	STOREFRONT METAL 4%

CERTIFICATE OF APPROPRIATENESS APPROVED FOR 13%  
GLAZING (6.5% CLEAR, 6.5% FROSTED ) ON MARCH 17, 2021 BY THE  
HISTORIC LANDMARK COMMISSION



2018 POWERS FERRY ROAD, SE  
SUITE 750  
ATLANTA, GA 30339-7208  
(404) 761-0308  
FAX (478) 538-2850



FNB BASTROP - DOWNTOWN  
BRANCH  
605 SPRING STREET BASTROP TX 78602

EXTERIOR ELEVATIONS

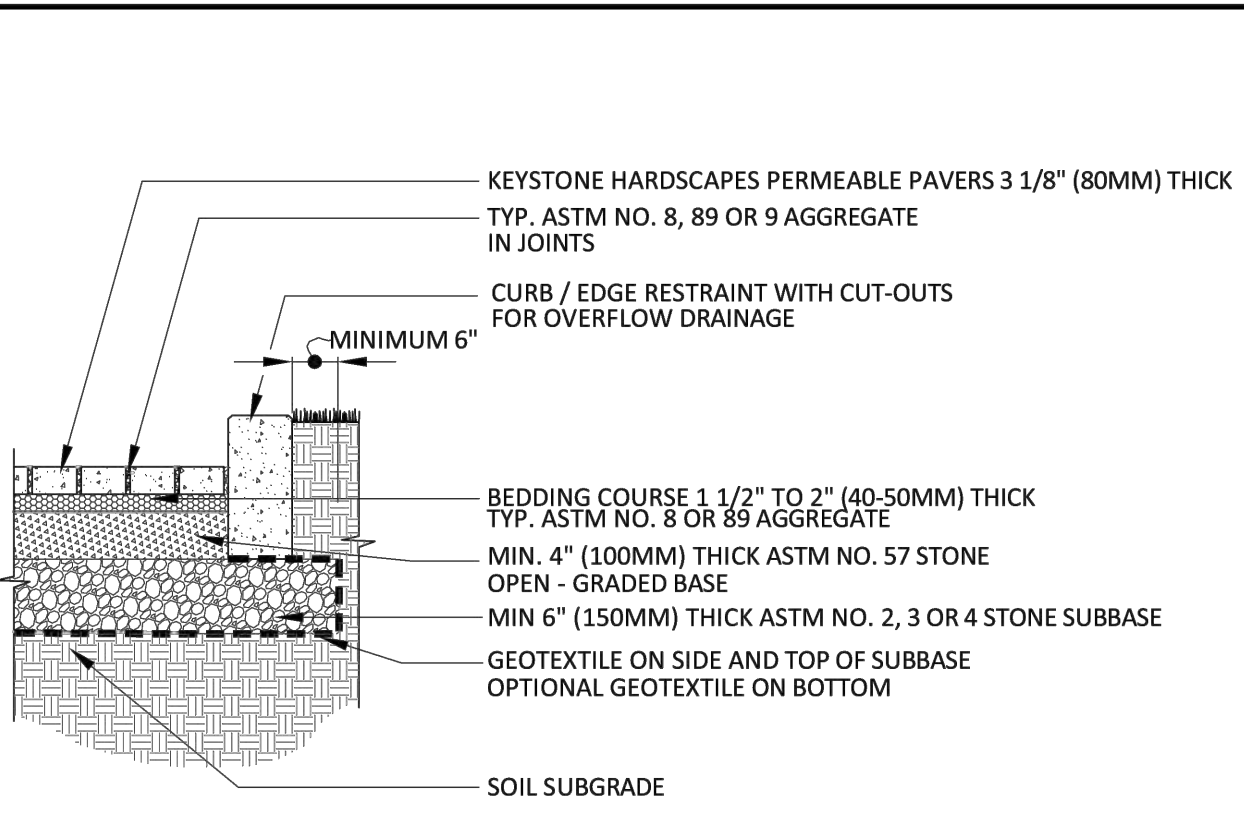
REVISIONS:

No.	Description	Date

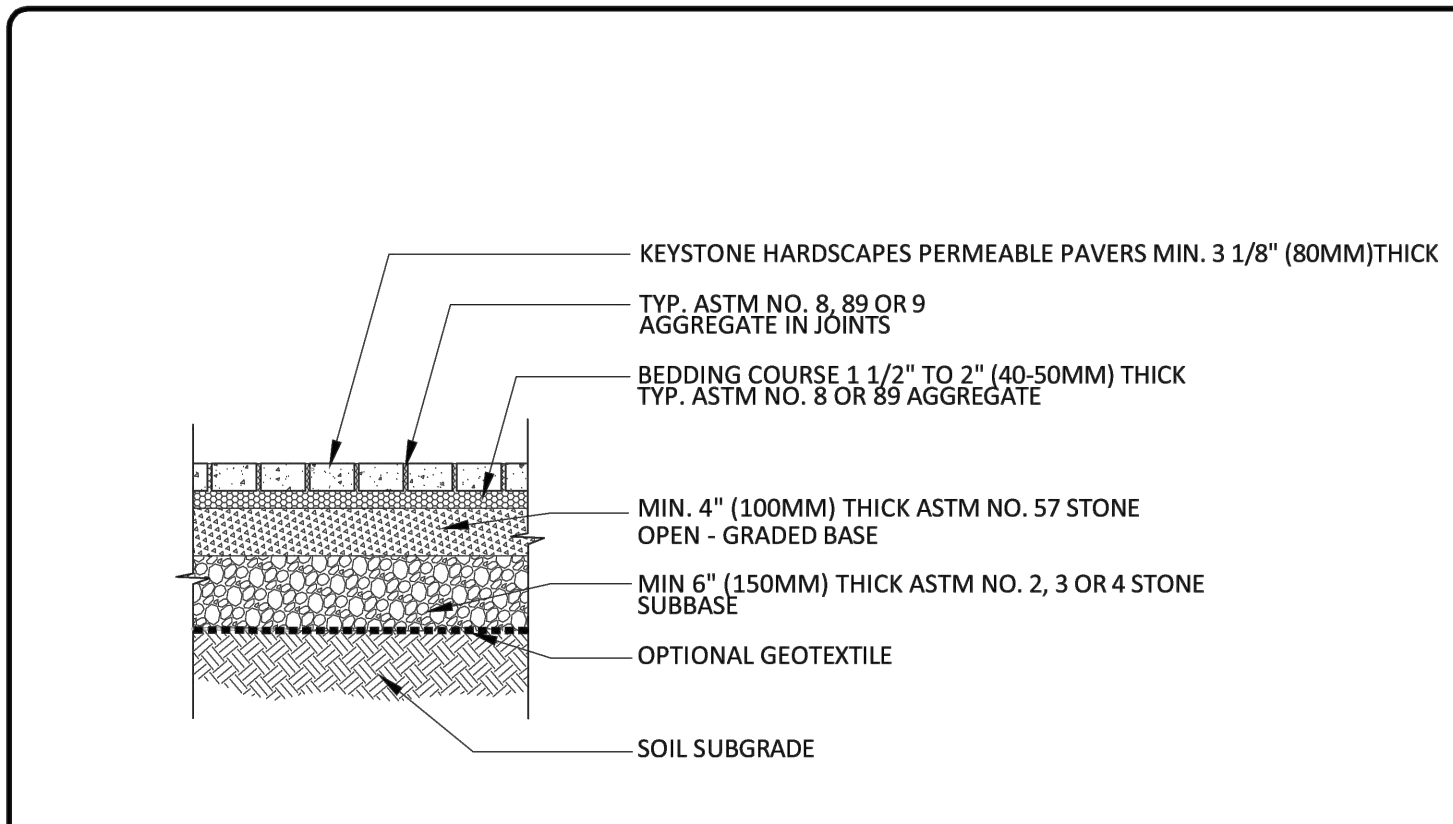
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CHECKED BY: MDM  
DATE: 12/1/20

NOVUS JOB NUMBER  
2016-5100.41

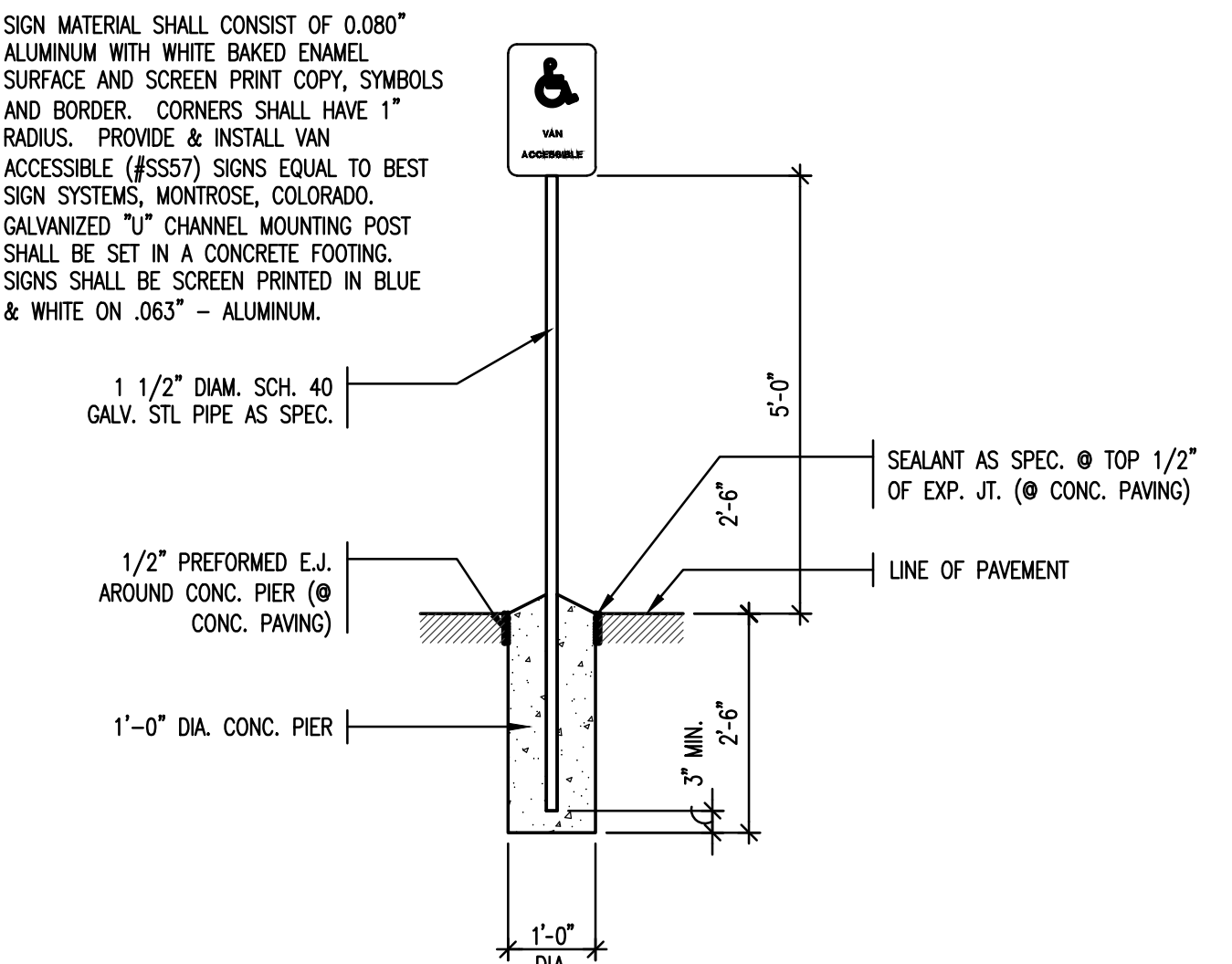
SHEET NUMBER  
A303



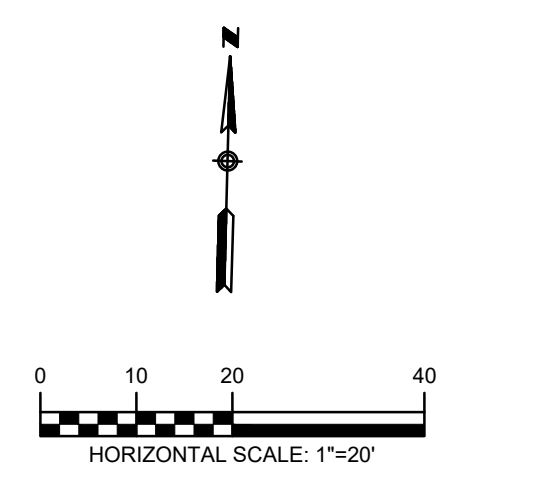
NOTES:  
 1. CONTACT KEYSTONE HARDSCAPES REPRESENTATIVE FOR DESIGN ASSISTANCE.  
 2. 2 3/8" (60mm) THICK PAVERS MAY BE USED IN PEDESTRIAN APPLICATIONS.  
 3. NO. 2, 3 OR 4 SUBBASE THICKNESS VARIES WITH DESIGN.



NOTES:  
 1. CONTACT KEYSTONE HARDSCAPES REPRESENTATIVE FOR DESIGN ASSISTANCE.  
 2. 2 3/8" (60mm) THICK PAVERS MAY BE USED IN PEDESTRIAN APPLICATIONS.  
 3. NO. 2, 3 OR 4 SUBBASE THICKNESS VARIES WITH DESIGN.



TYP. VAN ACCESSIBLE SIGNS  
 N.T.S.

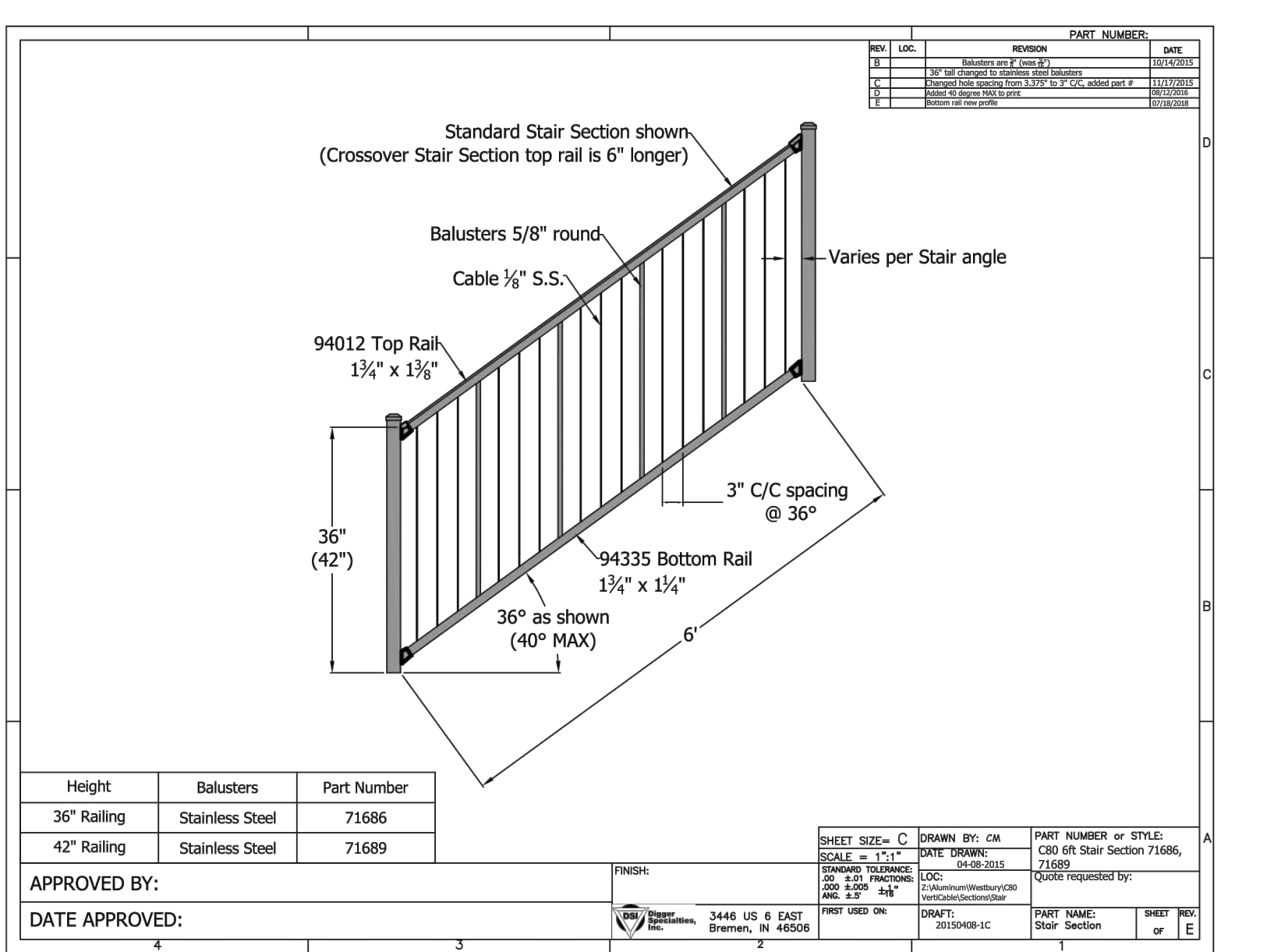
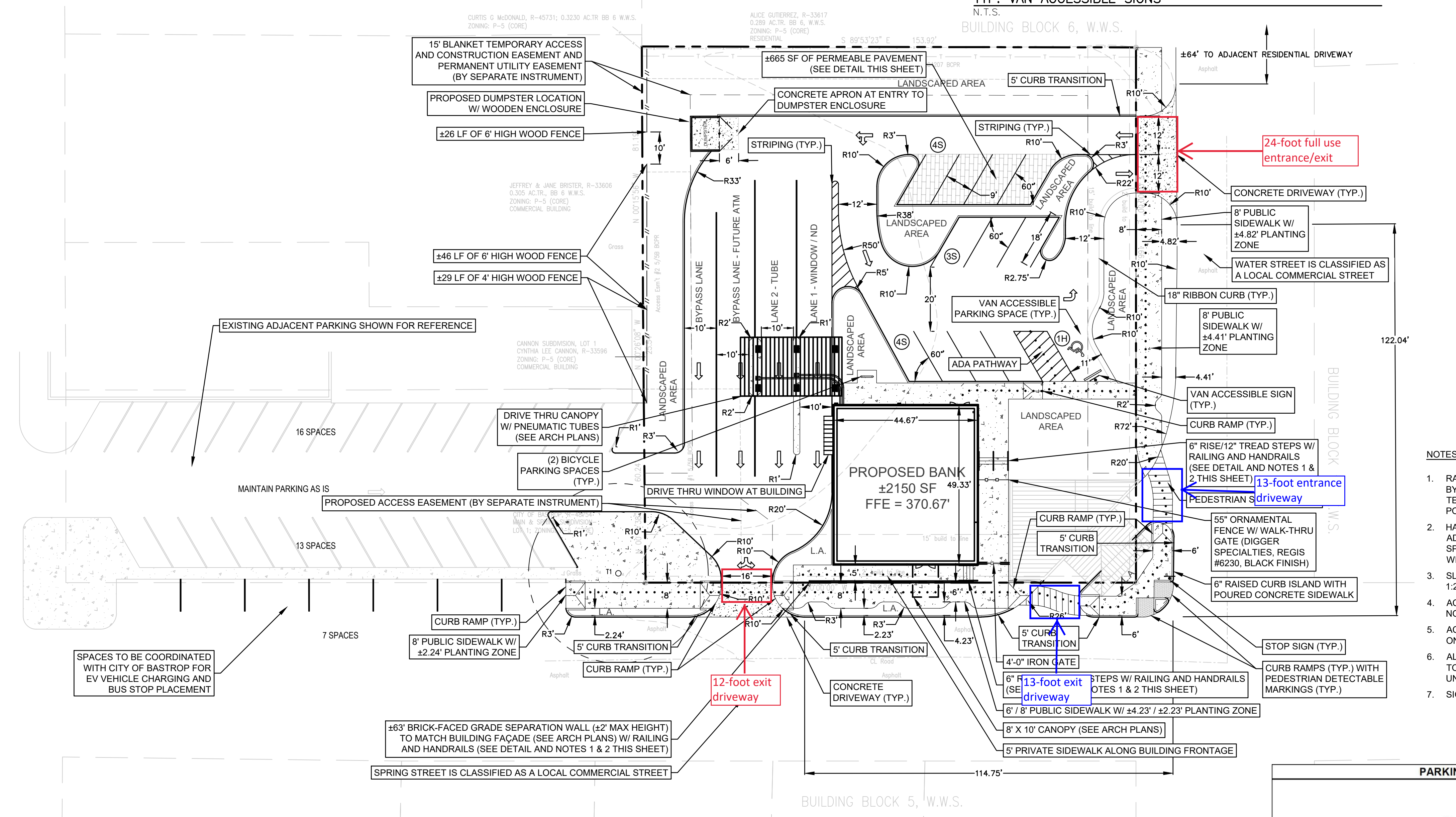


LEGEND

- PROPERTY BOUNDARY
- - - - - EASEMENT LINE
- ==== FIRE LANE
- ==== CURB AND GUTTER
- ==== LIMITS OF CONSTRUCTION
- ..... ACCESSIBLE ROUTE
- ▲ SIGN

System No:	CDT	Title:	Permeable Pavement with Full Infiltration to Soil Subgrade	Date:	4/20/20
Drawing No:	PKCP-1	Project:	Keystone Hardscapes Permeable Pavement Details	Author:	

System No:	CDT	Title:	Permeable Pavement with Full Infiltration without Edge Restraint	Date:	4/20/20
Drawing No:	PKCP-2	Project:	Keystone Hardscapes Permeable Pavement Details	Author:	



- NOTES:
- RAILING IS TO BE VERTICAL ALUMINUM RAILING BY DIGGER SPECIALTIES INC. WITH BLACK FINE TEXTURE FINISH AND UTILIZE 2" RESIDENTIAL POSTS WITH PROPER FITTINGS AND ATTACHMENTS.
  - HANDRAILS ARE TO BE WESTBURY® ALUMINUM ADA CONTINUOUS HANDRAILS BY DIGGER SPECIALTIES INC. OF BLACK FINE TEXTURE FINISH WITH PROPER FITTINGS AND ATTACHMENTS.
  - SLOPES ON ACCESSIBLE ROUTES MAY NOT EXCEED 1:20 UNLESS DESIGNED AS A RAMP.
  - ACCESSIBLE ROUTES MUST HAVE A CROSS-SLOPE NO GREATER THAN 1:50.
  - ACCESSIBLE PARKING SPACES MUST BE LOCATED ON A SURFACE WITH A SLOPE NOT EXCEEDING 1:50.
  - ALL PARKING AND PAVED SURFACE COURSES ARE TO BE HOT MIX ASPHALT CONCRETE (HMAC) UNLESS NOTED OTHERWISE.
  - SIGNAGE WILL REQUIRE SEPARATE SIGN PERMIT.

PARKING PROVIDED	
Standard:	11
Compact:	0
Car Share:	0
(Charging Station) Electric Vehicle:	0
Accessible:	1
<b>Total:</b>	<b>12</b>
<b>Accessible Spaces Required:</b>	<b>1</b>
<b>Bicycle Spaces Provided:</b>	<b>2</b>

First National Bank of Bastrop	Lot Area (ac.)	Zoning	Open Space Area		Civic Space Prop. (sf, %)	Building Height		Bldg. Area (sf.)	Impervious Cover	
			Prop. (sf)	Prop. (%)		Prop. (ft)	Prop. (stories)		Ex. (%)	Prop. (%)
Commercial - Bank	0.588	P-5 (CORE)	7,470	29%	N/A	20.67'	1	2,150	8%	69%

NO.	REVISION	DATE



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY PAUL VIKTORIN, P.E. # 66879 ON THE DATE INDICATED. ANY ALTERATIONS OF THIS SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

**Southwest Engineers**  
 TBPE NO. F-1909  
 www.swengineers.com

HEADQUARTERS  
 307 Saint Lawrence Street, Gonzales TX 78609  
 P: 830.672.7546 F: 830.672.2034

CENTRAL TEXAS  
 205 Cimarron Park Loop, Ste. B, Bastrop TX 78610  
 P: 512.312.4330

WARNING  
 IF THIS BAR DOES NOT MEASURE 1" THE DRAWING IS NOT TO SCALE

DRAWN BY: LS

CHECKED BY: PV

**SITE & DIMENSION CONTROL PLAN**

**FIRST NATIONAL BANK OF BASTROP**  
 714 SPRING STREET, BASTROP, TX 78602

PROJECT NO.	0930-001-20
DRAWING NO.	
SHEET	8 OF 23

C:\Users\jvictorin\OneDrive\Documents\0930-001-20\_bastrop\_sitd\Architects\0930-001-SITD.dwg - Layer: "SITE" - Mon, Apr 19, 2021, 2:24pm, By: C:\Users\jvictorin

# First National Bank of Bastrop

## City of Bastrop Planning & Zoning Commission Request

April 29, 2021

### Background

For several years, branch bank transactions have been declining due to direct deposit, internet and mobile banking, mobile deposit, and a move to more of a cashless society.

The pandemic has hastened the decline of in-branch transactions, but there has been a resurgence in the popularity of bank drive-in lanes.

First National Bank currently operates two staffed facilities in downtown Bastrop:

One at 1021 Main Street:



And a three-lane drive through facility with a mini lobby on Spring Street:



Operating two fully staffed facilities is inefficient and has become cost prohibitive as transaction volumes have declined.

## Our Options

- 1) close one or both staffed facilities downtown or
- 2) combine the two facilities into a new branch facility located next to the Cash Station.

Closing the Main Street location while keeping the drive-in located at the corner of Spring and Church open for business would be the easiest option. However, the existing drive-through is an aging facility (built 1975) with many problems that make it difficult to bring up to today's standards.

Instead, our preferred option is to move the Spring Street branch from its current location west of Main Street to the east side of Main Street.



## Proposed New Branch





The proposed new location would reduce traffic congestion and increase pedestrian safety around the Calvary Episcopal School, the Post Office “wrong-side-of-the-road Mail Box dilemma”, and the Alley A “zig-zag” at Spring Street by eliminating the current drive-thru traffic at that intersection:



## Design Process

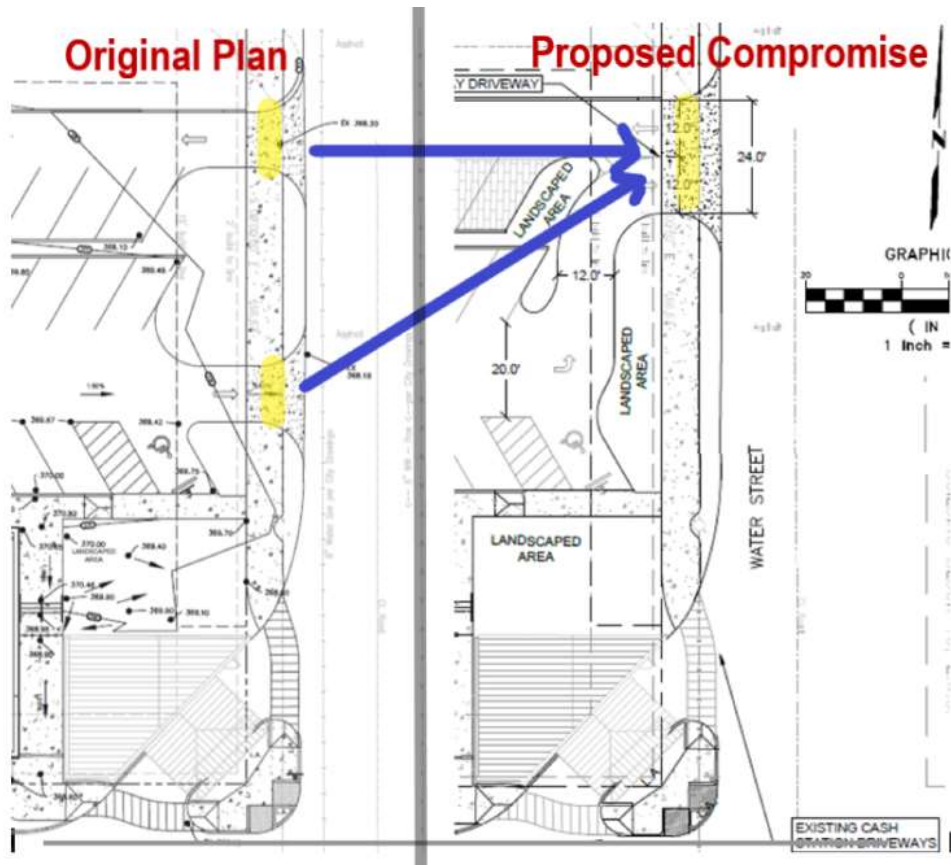
Our Design/build team has worked with the City of Bastrop staff for several months now. The drainage plan has been approved. The Historical Commission has approved the design as conforming to the Historical flavor of the downtown district. Cost of the new branch bank will exceed \$2,000,000 and provide a positive economic impact to the downtown area.

While being respectful to the new and untried B<sup>3</sup> Code and Pattern Book, we are trying to build a functional facility in a nearly 200-year-old community. Conflicts with the new code that were assumed that could be remedied through the warrant process were denied and the project was referred to the Planning and Zoning Commission for review and approval. Planning Department Staff could not administratively recommend approval of the warrants on the site design because some items conflicted with the existing code.

The Planning & Zoning Commission tabled a decision on the site approval at the March 25<sup>th</sup> meeting to allow First National Bank to consult with the Design/Build team and Planning Staff for requested compromises. Following the action taken at the meeting the Design/Build team has redesigned the site as a proposed compromise to improve pedestrian safety and traffic flow.

Code and Planning Issue: A second new driveway on Water Street was a major point of contention because of the close proximity to the Cash Station Driveway and the resulting pedestrian and vehicle conflicts.

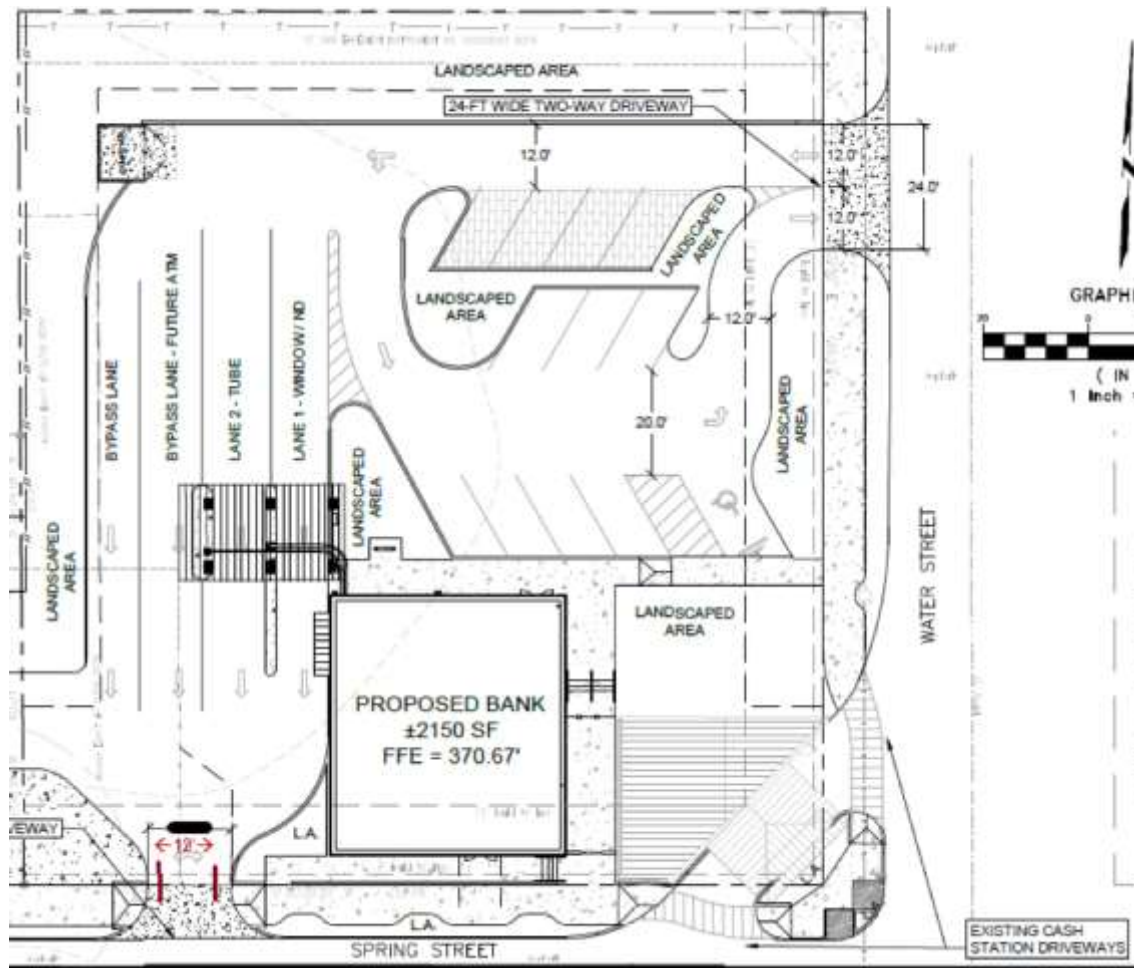
Proposed Compromise: First National Bank is going to eliminate the second new driveway to Water Street and instead propose one 24' wide driveway opening at the North end of the property.



Traffic from the Lobby parking area will exit directly to Water Street while the drive thru traffic will exit to Spring Street as previously indicated. This is a good compromise, providing more separation from the Cash Station ATM entrance driveway while maintaining a cohesive and logical site traffic flow, maintaining the number of parking spaces needed for the branch lobby and not directing all lobby and drive thru bank traffic to one exit driveway on Spring Street that is also a common exit for the City owned parking lot to the West.

Code and Planning Issue: We had designed a 24' driveway exit to Spring Street to help relieve congestion at the exit from the Bank and City owned parking lot traffic.

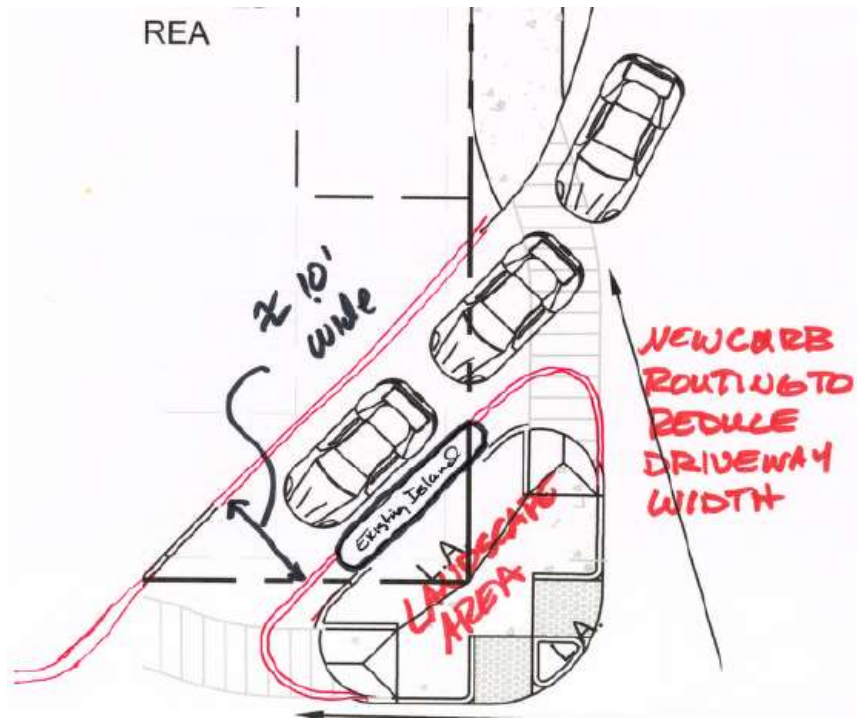
Proposed Compromise: While there is support for a 24' exit driveway from adjacent business owners, we will agree to a 12' driveway per the code as a means to minimize pedestrian and vehicle conflicts.



Code and Planning Issue: The Planning & Zoning Commission appears to indicate that approval of the project is predicated on the existing Cash Station drive-thru ATM lane being closed permanently or if the ATM is converted to a walk-up ATM.

Proposed Compromise: We are proposing to widen the island and extend the curbs on the southeast corner, which will reduce the length of the pedestrian/vehicle conflict for the ATM drive-through. The corner area would also be nicely landscaped per City requirements to improve the appearance of the intersection of Spring and Water Streets which is currently all concrete and asphalt without any curbing.





Transaction numbers and car traffic flow was analyzed on Friday March 26. Based on security camera views, there were a very few instances with more than 2 cars in the queue for the drive thru:

	Noon to 4 PM	4 PM to 8 PM
Vehicular Transactions	55	67
Average Transaction Time (min)	2.1	2.1
# of Times There Were More than 2 Cars in Queue	4	7
% of Time There Were More than 2 cars in Queue	3.5%	6.1%

We would NOT be agreeable to closing the drive-thru ATM or converting it to a walk-up ATM due to the following reasons:

- Our customers prefer Drive-up ATMs
- Our customers feel safer at Drive-up ATMs
- There is no parking in the immediate vicinity of the corner Cash Station should it be converted to a Walk-up ATM, adding to security concern for customers.
- In the 26 years we have operated the drive-thru ATM at Cash Station, there have been no pedestrian/vehicle accidents reported.
- Moving the drive-up ATM to one of the new bank drive-thru lanes reduces the number of lanes already in use at our current location. There is no room to add additional lanes without negatively impacting drainage or landscape buffers. The outside lane is designed for a future ATM, should an additional ATM be needed, and branch transactions continue to decline.
- The Cash Station has proved to be a popular attraction for residents and visitors alike and a great repurposing of a historic structure.
- It is Authentic Bastrop...that First National Bank is striving to conserve in useful manner.



**FIRST NATIONAL BANK**  
*Bastrop County's Bank...Since 1889*  
Member FDIC

as  
**HISTORIC**  
as  
**DOWNTOWN**  
**BASTROP**





# STAFF REPORT

**MEETING DATE:** April 29, 2021

**AGENDA ITEM:** 3C

**TITLE:**

Consider action to approve The Colony MUD 1F, Section 1 Preliminary Plat, being 11.948 acres out of the Jose Manuel Bangs Survey, Abstract No. 5, located west of FM 969, within the Voluntary Extra-Territorial Jurisdiction of Bastrop, Texas, as shown in Exhibit A.

**STAFF REPRESENTATIVE:**

Jennifer C. Bills, AICP, LEED AP, Assistant Planning Director  
Allison Land, Planner II

**ITEM DETAILS:**

Site Address: West of FM 969 (Attachment 1)  
Total Acreage: 11.948 acres  
Legal Description: 11.948 acres of the Jose Manuel Bangs Survey, Abstract 5  
Property Owner: Rick Neff/Hunt Communities Bastrop, L.L.C.  
Agent Contact: Matt Synatschk, Carlson, Brigrance, and Doering, Inc.  
Existing Use: Vacant/Undeveloped  
Existing Zoning: None. Extra-Territorial Jurisdiction, The Colony MUD  
Adopted Plan: Third Amendment to the Colony MUD Consent Agreement, Approved March 4, 2020  
Future Land Use: None.

**BACKGROUND/HISTORY:**

The applicant has submitted an application for a Preliminary Plat for The Colony MUD 1F, Section 1 (Exhibit A). The plat includes 35 residential lots and 3 non-residential lots (Attachment 1). The proposed single-family lots follow the lot standards adopted in the Consent Agreement, as amended.

Traffic Impact and Streets

The Preliminary Plat connects to the extension Eight Oaks Drive, an arterial street, which exits onto Stephen F Austin Blvd, which feeds to FM 1209 to the north and SH 71 to the south, providing the main access into the development. Local streets connecting to Eight Oaks Drive will serve the proposed residential lots and provide access into the Colony neighborhoods to the south of the road. This section also has two residential connections: one to the east to a future 1F section, and one to the south to 1E Section 2B. The existing neighborhood trail system will be expanded.

A traffic impact analysis (TIA) for the overall development of The Colony MUD has been previously approved by the City, and the plat is consistent with the numbers for the impact to the existing roadways.

### Utilities

Water service (domestic and fire) will be provided by The Colony MUD via water line extensions from existing infrastructure located near Eight Oaks Drive. These lines will be designed according to the City's construction standards, as well as the Texas Commission on Environmental Quality's (TCEQ) requirements. A Preliminary Infrastructure Plan has been reviewed and approved by the City Engineer.

Wastewater collection and treatment will also be provided by The Colony MUD. A Preliminary Infrastructure Plan has been reviewed and approved by the City Engineer.

### Drainage

Stormwater runoff generated within the property will be routed through an underground storm sewer network, which will then flow into an existing detention pond to the southeast in MUD 1D, which will then discharge at pre-developed rates further to the south. The drainage infrastructure was verified to have appropriate capacity using the updated rainfall totals of Atlas 14. Additionally, the residential lots will include maximum impervious coverage limit that is reflected in the system capacity. A Preliminary Drainage Plan has been reviewed and approved by the City Engineer.

### **POLICY EXPLANATION:**

Preliminary Plats are reviewed and approved by the Planning & Zoning Commission.

### Compliance with 2036 Comprehensive Plan:

Future Land Use Plan - Neighborhood Residential: The Neighborhood Residential character area is for single-family residential subdivision development, associated amenities such as parks, trails, open spaces and public uses such as schools, fire stations, and more.

*This plat is located outside of the Statutory ETJ to the north. The Future Land Use Plan does not extend past the Statutory ETJ, although it shows Neighborhood Residential just to the south of this area. The plat proposes residential lots, consistent with the surrounding property.*

Objective 2.1.2: Exercise greater influence on development patterns and character in the Bastrop ETJ.

*The City of Bastrop has a Consent Agreement with The Colony Municipal Utility District that allows the city to agree to specific land uses and development standards, even though the development is not within the city limits. This allows the city to ensure the quality of development and future sustainability.*

Goal 4.1.1 Provide a greater diversity of housing options in Bastrop while protecting the character of the City's existing neighborhoods.

*Through the Consent Agreement, The Colony MUD development includes four different single-family lot standards and two multi-family standards. This plat will create single-family lots.*

## Local Government Code

### Sec. 212.002. Rules.

After a public hearing on the matter, the governing body of a municipality may adopt rules governing plats and subdivisions of land within the municipality's jurisdiction to promote the health, safety, morals, or general welfare of the municipality and the safe, orderly, and healthful development of the municipality.

*Bastrop adopted subdivision regulations in 1981. The B<sup>3</sup> Code, Chapter 1: Subdivision outlines the process and requirements for plats within the Bastrop city limits and Extra Territorial Jurisdiction (ETJ).*

### Section 212.004 Plat Required

- (a) The owner of a tract of land located within the limits or in the extraterritorial jurisdiction of a municipality who divides the tract in two or more parts to lay out a subdivision of the tract, including an addition to a municipality, to lay out suburban, building, or other lots, or to lay out streets, alleys, squares, parks, or other parts of the tract intended to be dedicated to public use or for the use of purchasers or owners of lots fronting on or adjacent to the streets, alleys, squares, parks, or other parts must have a plat of the subdivision prepared.

*The applicant has proposed subdividing an undeveloped 11.948-acre tract into 35 residential lots and 3 non-residential lots. Public improvements within the subdivision (streets, drainage, and other utilities) will be dedicated to The Colony Municipal Utility District upon their completion.*

### Sec. 212.010. Standards for Approval

- (a) The municipal authority responsible for approving plats shall approve a plat if:
- (1) it conforms to the general plan of the municipality and its current and future streets, alleys, parks, playgrounds, and public utility facilities;

*This plat is located outside of the Statutory ETJ to the north. The Future Land Use Plan does not extend past the Statutory ETJ, although it shows Neighborhood Residential just to the south of this area. The plat proposes residential lots, consistent with the surrounding property.*

- (2) it conforms to the general plan for the extension of the municipality and its roads, streets, and public highways within the municipality and in its extraterritorial jurisdiction, taking into account access to and extension of sewer and water mains and the instrumentalities of public utilities;

*A traffic impact analysis (TIA) for the overall development of The Colony Subdivision has been previously approved by the City, and the plat is consistent with the recommendations of that analysis.*

- (3) a bond required under Section 212.0106, if applicable, is filed with the municipality; and

*A fiscal guarantee will be provided for the construction and maintenance of the street improvements before any final plats can be recorded.*

- (4) it conforms to any rules adopted under Section 212.002.

*The preliminary plat complies with the requirements of the adopted B<sup>3</sup> Code and Consent Agreement.*

**B<sup>3</sup> Code – Chapter 1: Subdivisions**

- Section 1.3.001 Standard Procedure - Platting  
*Any subdivision requiring the extension of public infrastructure or of more than four lots require the approval of a Preliminary Plat, Public Improvement Plan, and a Final Plat.*

- Section 1.3.002 Preliminary Plat  
*The Preliminary Drainage Plan to determine drainage requirements was approved by the City Engineer on December 8, 2020.*

*The Preliminary Infrastructure Plan for the feasibility of the construction of the subdivision improvements was approved by the City Engineer on December 8, 2020.*

- Section 1.3.004 Plat Requirements  
*The Development Review Committee reviewed the Preliminary Plat for The Colony MUD 1F, Section 1 for compliance with subdivision, utility standards, and Consent Agreement on March 18, 2021 and deemed the plat administratively complete. The Planning Director recommends approval.*

**RECOMMENDATION:**

Consider action to approve The Colony MUD 1F, Section 1 Preliminary Plat, being 11.948 acres out of the Jose Manuel Bangs Survey, Abstract No. 5, located west of FM 969, within the Voluntary Extra-Territorial Jurisdiction of Bastrop, Texas, as shown in Exhibit A.

**ATTACHMENTS:**

- Exhibit A: The Colony MUD 1F, Section 1 Preliminary Plat
- Attachment 1: Location Map
- Attachment 2: The Colony MUD Land Use Plan and Section 1F Layout



# Attachment 1 Location Map

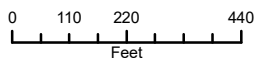


Date: 4/23/2021

The accuracy and precision of this cartographic data is limited and should be used for information /planning purposes only. This data does not replace surveys conducted by registered Texas land surveyors nor does it constitute an "official" verification of zoning, land use classification, or other classification set forth in local, state, or federal regulatory processes. The City of Bastrop, nor any of its employees, do not make any warranty of merchantability and fitness for particular purpose, or assumes any legal liability or responsibility for the accuracy, completeness or usefulness of any such information, nor does it represent that its use would not infringe upon privately owned rights.



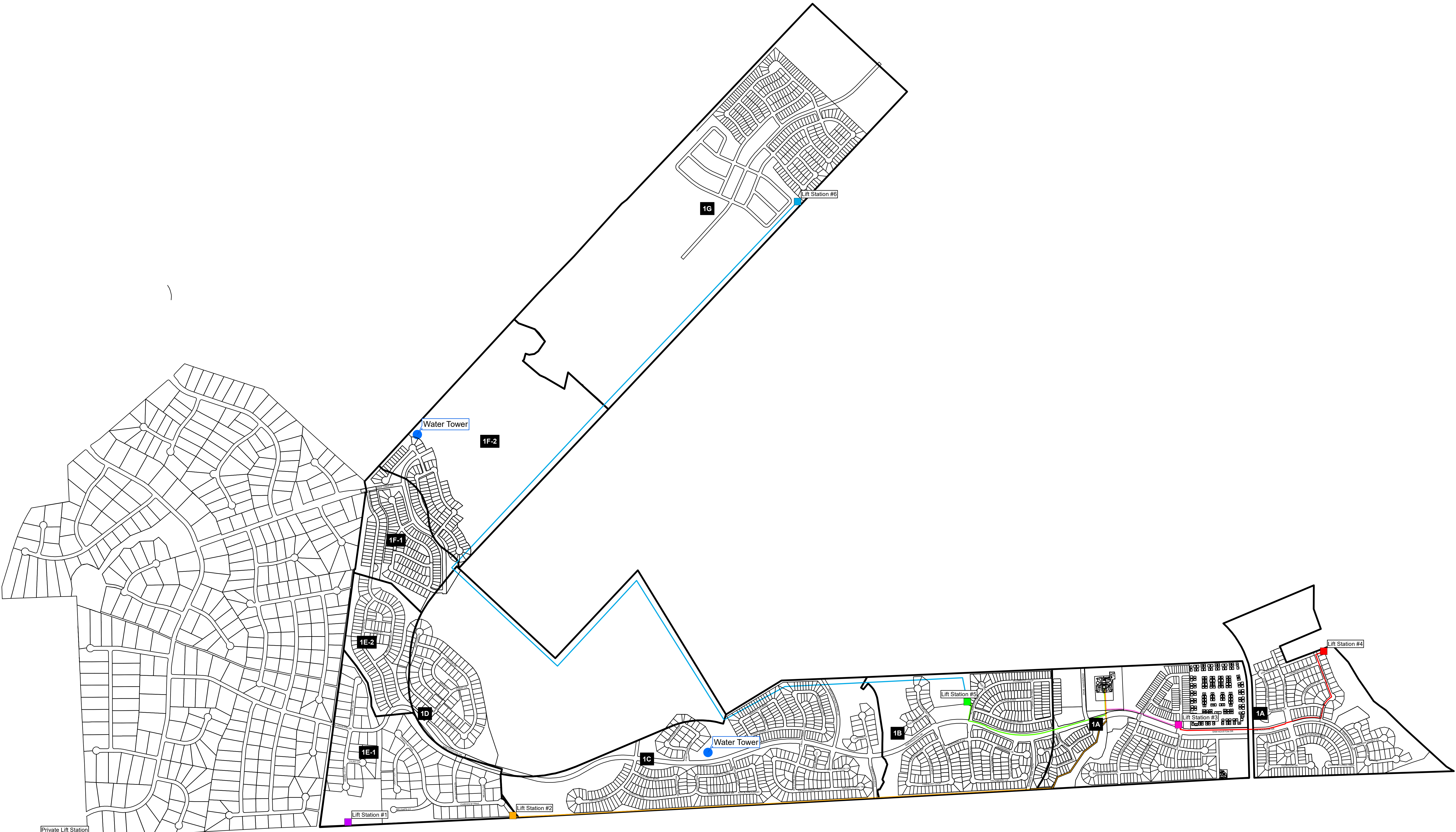
## Preliminary Plat The Colony MUD 1F Section 1



1 inch = 369 feet



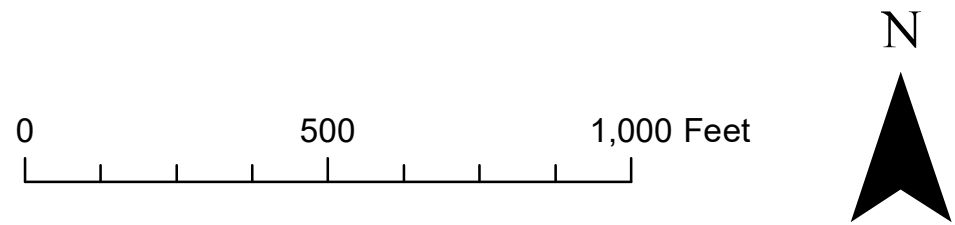




**The Colony - Facilities Exhibit**  
 Bastrop County, Texas

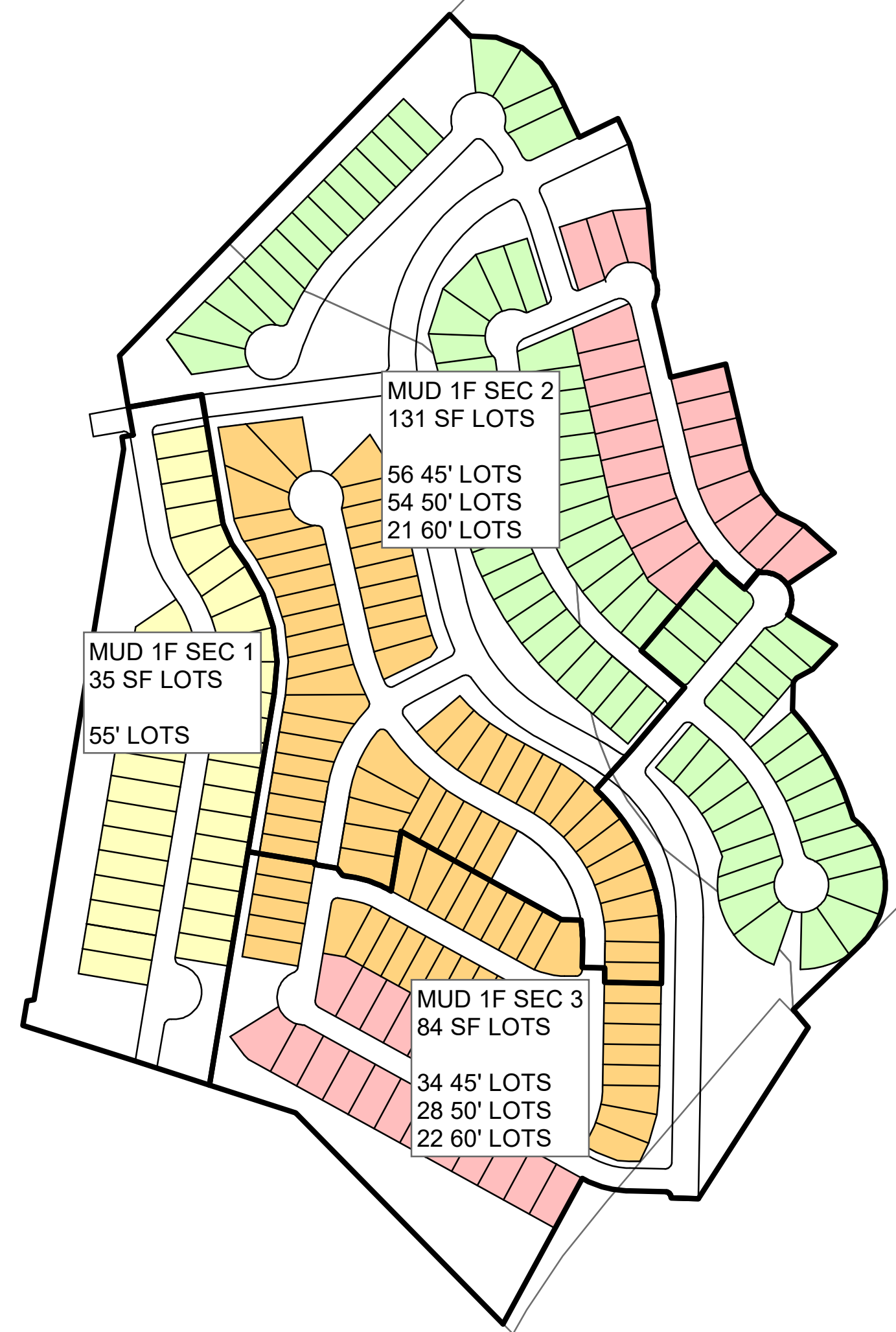


LOT SIZE	COUNT
60'	43
55'	35
50'	82
45'	90
TOTAL MUD 1F = 250	




 Carlson, Brigrance & Doering, Inc.  
 Civil Engineering ♦ Surveying

UNPLANNED



MUD 1F SEC 1  
 35 SF LOTS  
 55' LOTS

MUD 1F SEC 2  
 131 SF LOTS  
 56 45' LOTS  
 54 50' LOTS  
 21 60' LOTS

MUD 1F SEC 3  
 84 SF LOTS  
 34 45' LOTS  
 28 50' LOTS  
 22 60' LOTS



# STAFF REPORT

**MEETING DATE:** April 29, 2021

**AGENDA ITEM:** 3D

**TITLE:**

Consider action on the appeal of the administrative denial of the Majestic Pines Neighborhood Regulating Plan and Warrant for Block Size, located on Pine Forest Unit 6, Phase II, Lot Reserve A – Fraction (15.409 acres), within the City of Bastrop Texas as attached in the Neighborhood Regulating Plan with Exhibits A & B.

**STAFF REPRESENTATIVE:**

Jennifer C. Bills, AICP, LEED AP, Assistant Planning Director

**ITEM DETAILS:**

Site Address:	3000 Block of East Bound State Highway 71 (Attachment 1)
Total Acreage:	15.409 acres
Legal Description:	Pine Forest Unit 6, Phase II, Lot Reserve A - Fraction
Property Owner:	Leslie Appelt
Agent Contact:	Elena Sanders, Kittle Properties Group, Inc.
Existing Use:	Vacant/Undeveloped
Existing Zoning:	P-5, Core
Character District:	Lost Pines
Future Land Use:	Professional Services

**BACKGROUND/HISTORY:**

The applicant has submitted an application for a Neighborhood Regulating Plan (Exhibit A & B) and two Warrant Requests a 15.409 acres site that is undeveloped to the west of the St. David's Hospital and the Lakeside Professional Building. The area is heavily wooded, with an existing pond and two creeks. The property has considerable topographic features with grade changes of over 40 feet.

If a property is seeking a rezoning, the applicant must apply for a Zoning Concept Scheme, which includes Place Type Zoning allocations, Development Pattern type, block layout, and street types to be determined. For unplatted land greater than 3.4 acres and not seeking a Place Type change, the applicant must establish a Neighborhood Regulating Plan (NRP) that includes the same elements but does not change the underlying zoning. The total site of the development is 15.409 acres, so the applicant has applied for a NRP with a base zoning Place Type 5. Neighborhood Regulating Plans that meet all the requirements of the B<sup>3</sup> Code are approved administratively by the Director of Planning. Some minor deviations can be approved administratively but required elements cannot be waived.

When the Director of Planning & Development cannot approve the Plan because of significant deviations or departures from the regulations, the applicant can appeal to the Planning & Zoning Commission for approval.

This NRP is showing a block size that not only exceeds the 330-foot block face requirements, but also exceeds the 720-foot farm lot of the Transportation Master Plan. Any development is

required to build the internal block structure, but also the half of any existing right-of-way that borders the property. The applicant has proposed that in lieu of building additional roads through their site, that in addition to the portion of Majestic Pines and Mauna Loa Lane required, they would build all the remainder of Majestic Pines and all Mauna Loa Lane from the west edge of their property to where it currently ends at Briar Forest Drive.

#### **REASONS FOR DENIAL:**

This property lies within the Lost Pines Character District, which allows for Village Center Development or Clustered Land Development. Village Center Development (Section 5.2.005) is defined as a series of small, walkable streets lined with buildings at the street edge creating a unique village style community. Primarily vehicular traffic is relegated to streets outside of this area. The minimum size for a VCD is 13.6 acres, which this site could be on its own at 15.4 acres. The proposed development does not match this development pattern. The development has not demonstrated the following:

- There is not an identified center within the development.
- The site is centered around vehicular traffic and parking areas, which is contrary to VCD.
- No plazas or dedicated civic spaces are shown. The total P1 and CS requirement is 40% of the total area. This site will need to dedicate civic space towards that amount.
- Buildings are not occupying 80-100% of the *primary frontage*, as required in P5 Core. *Applicant clarified that State Highway 71 is the primary frontage, but the building does not appear to occupy a minimum of 80% at the build-to-line.*

Street Type Park Drive (Section 7.3.010) is not allowed in P5 – Place Type zoning. Additionally, the property to the east is not a park. It is also designated as P5. *The applicant has provided an updated exhibit that shows this street to be Street Type Connector (Section 7.3.004) but the visual cross-sections is that of the Local Commercial (Section 7.3.007) (Attachment 2).*

Fiscal Sustainability – new development and redevelopment must be done with a focus on the intersection of the Public and Private Realms. This is the area where city and utility infrastructure are maintained in an efficient manner and the development creates a complete neighborhood.

- This project proposes limit the interaction between the Public and Private Realms and create a large block that limits pedestrian and multimodal access through the area.

Geographically Sensitive Developments - development will retain its natural form and visual character derived from the topography.

- This site includes a number of driveways and parking lots which will require grading and filling in of at least half the natural terrain. This is not geographically sensitive to the area. If the site is to be altered in order to put in private drive aisle and parking lots, the smaller block structure could be provided for with internal streets.
- The development should be constructed in a way to enhance and preserve the natural terrain and vegetation. The development proposes to grade the site and remove trees. This site is densely wooded, with considerable topography and natural waterways. There is a significant number of Protected and Heritage Trees, which the NRP proposes to clear 43% of the site trees.
- This building type does not seem appropriate given the site conditions. If apartments are desired, the code allows two additional stories that are not being utilized to meet the site constraints.

#### Perpetuation of Authentic Bastrop

The B<sup>3</sup> Code intent is to perpetuate the built form that has been predominate over the City's 189-year history. The recent trend of allowing parking and automobile traffic as the predominate

feature has created a pattern that is contrary to the historical building patterns of the City and creates sites/buildings that are not adaptable and sustainable in the long-term.

- While other sites in the area perpetuate this pattern, this site is a transitional commercial area between the highway and the adjacent neighborhood to the south and should create connectivity for automobile traffic from the highway into the neighborhood and public sidewalks/trails for pedestrians within the neighborhood.
- A Warrant for the street type for Mauna Loa Lane was approved by the Development Review Committee on April 15, 2021 to allow a Rural Street Type (Section 7.3.013).
- A Warrant for the block size was denied on April 15, 2021.

## **POLICY EXPLANATION:**

Compliance with the Bastrop Building Block (B<sup>3</sup>) Code:

### **SEC 3.2.002 NEIGHBORHOOD REGULATING PLAN**

- (a) All areas within the City of Bastrop more than 3.4 acres that do not require Place Type Zoning changes will require a Neighborhood Regulating Plan. Place Types shall be assigned through the creation of a Neighborhood Regulating Plan.

*This area is 15.409 acres, exceeding 3.4 acres.*

- (b) The process for creating a Neighborhood Regulating Plan is described in the B<sup>3</sup> Technical Manual Article 2.3 - Neighborhood Regulating Plan.

*The applicant submitted all items required for review of the NRP on March 29, 2021 and the two Warrant requests on April 6, 2021.*

- (c) Neighborhood Regulating Plans must provide the Street Types, location and sizes of proposed Streets consistent with the Mandatory Street Network, and the Block requirements of this Code. It must contain Place Type allocation as defined in Section 3.2.001.b and be reflective of Section 4.2.001 Character District Descriptions & additional Standards.

*The submitted NRP does not meet the block and street grid requirement (330-foot by 330-foot blocks or 720 by 720 street grid). The applicant submitted a Warrant Request for the Block Size which was reviewed and denied by the Development Review Committee on April 15, 2021 (Attachment 8).*

- (d) A Neighborhood Regulating Plan must adhere to the Pedestrian Shed Map, Sec. 3.3.001, and must be reviewed and comply with the percentages of 3.2.002(b).

*The applicant submitted a Pedestrian Shed exhibit as required for the Village Center Development Pattern in Section 5.2.006 VCD Standards.*

### **ARTICLE 3.3 PEDESTRIAN SHED**

- (a) In TND developments, every 1/4 mile radius or "Pedestrian Shed," i.e. approx. 80 acres or 6 Farm Lots, is to contain a mix/allocation of Place Types that reflect the Character District. Measuring Development by the Pedestrian Shed will ensure walkable neighborhoods are created.
- (b) The Pedestrian Shed is the area encompassed by the walking distance from a town or neighborhood center. They are often defined as the area covered by a 5-minute walk (about 0.25 miles or 1,320 feet) from the center.

- (c) Pedestrian Sheds in VCD or CLD Development Patterns vary in size and are prescribed in Article 5.2 Development Patterns Standards.

*The applicant provided a Pedestrian Shed showing an 80 acre linear shed required in Article 5.2. For the VCD Development Pattern, there is no discernable "center" within the development. The site is centered around vehicular traffic and parking areas, which is contrary to VCD. No plazas or dedicated civic spaces are shown. The total P1 and CS requirement is 40% of the total area. This site will need to dedicate civic space towards that amount.*

#### **SEC. 4.2.001 CHARACTER DISTRICTS DESCRIPTIONS & ADDITIONAL STANDARDS**

- (8) Lost Pines District - The Lost Pines has special geographic features, such as the stand of Loblolly Pines that is more than 100 miles from similar forests. Additionally, the towering trees and sandy soil in this district provides an optimal environment for the Houston Toad. The rolling hills provide breathtaking vistas and deep valleys that provide an opportunity for clustered developments that will preserve the natural environment while allowing urban neighborhoods to interact with nature.

A. Development must comply with the Standards and processes within the Lost

*The Cluster Land Development Pattern or Village Center Development Pattern are allowed within this Character District. Given the Houston Toad Habitat, Army Corp waterways and extensive grading required for this site and the lack of a "Center" for this development to serve, the Cluster Land Development Pattern would be a more appropriate development pattern.*

#### **SEC. 4.2.003 NEIGHBORHOOD REGULATING PLAN BY CHARACTER DISTRICT**

- (a) Multiple Place Type change requests submitted at one time within each Character District shall be reviewed collectively.

*This is the only request has been submitted for the Lost Pines District.*

- (b) Multiple Neighborhood Regulating Plans submitted at one time shall be reviewed collectively to evaluate phasing, infrastructure demands, public safety and Drainage impacts.

#### **Compliance with 2036 Comprehensive Plan:**

Future Land Use Plan – Professional Service Commercial: The Professional Services character area is for the development of offices and clinics of varying size and intensity. In older areas of Bastrop – including center city – Professional Services land uses may be small-scale or even located in buildings converted for business use. In newer areas, or in conjunction with the General Commercial character area, Professional Services land uses may be larger in scale and auto-oriented in character. Land uses in the professional services character area are often related to and support the public and quasi-public land uses supported by the Public & Institutional character area.

*The NRP does not complies with the Future Land Use Plan, as the block and street structure does not provide for a development pattern that can adapt with changing uses in the long-term.*

**RECOMMENDATION:**

Consider action to deny the appeal of the administrative denial of the Majestic Pines Neighborhood Regulating Plan and Warrant for Block Size, located on Pine Forest Unit 6, Phase II, Lot Reserve A – Fraction (15.409 acres), within the City of Bastrop Texas as attached in the Neighborhood Regulating Plan with Exhibits A & B.

**ATTACHMENTS:**

- Exhibit A: Majestic Pines Apartments Neighborhood Regulating Plan
- Exhibit B: Majestic Pines Apartments NRP Exhibits
- Attachment 1: Location Map
- Attachment 2: Updated Majestic Pines Street Design
- Attachment 3: TxDOT Spacing Requirement
- Attachment 4: Approved Warrant for Rural Street Type – Mauna Loa Lane, April 15, 2021
- Attachment 5: Denied Warrant for Block Size, April 15, 2021 with Applicant Request



# Neighborhood Regulating Plan Checklist

*Majestic Pines Apartments, Bastrop, TX*

1. Please see attached Legal Description

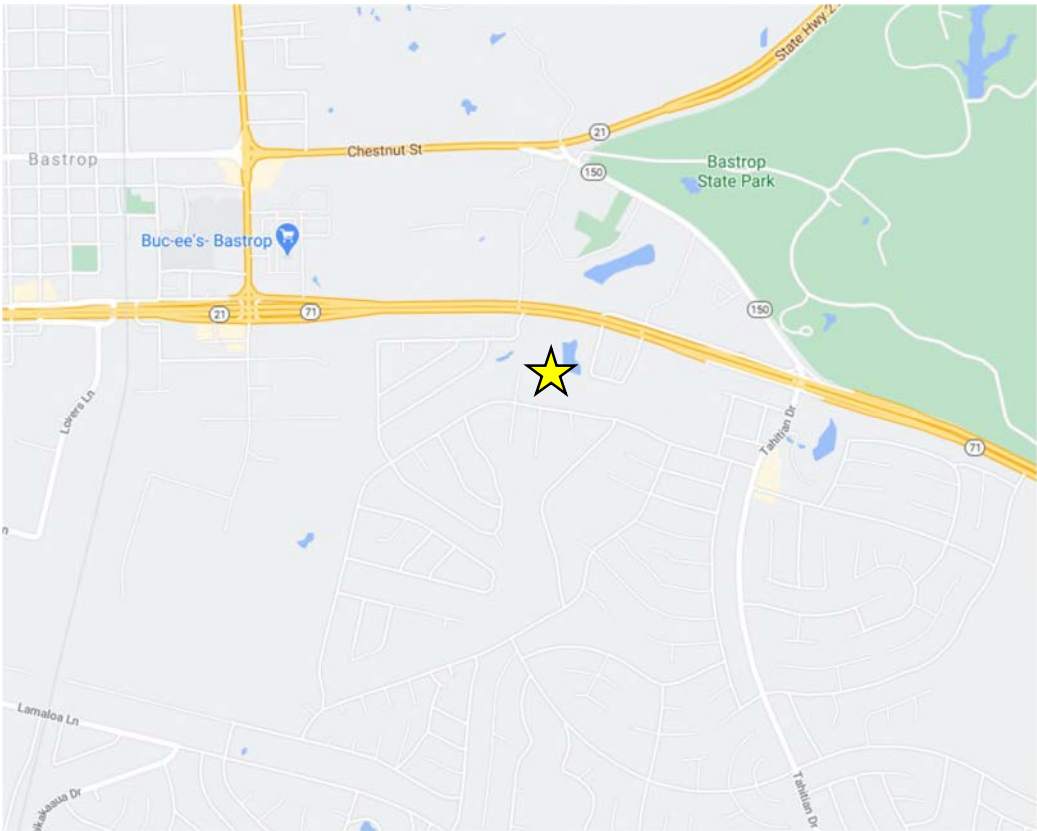
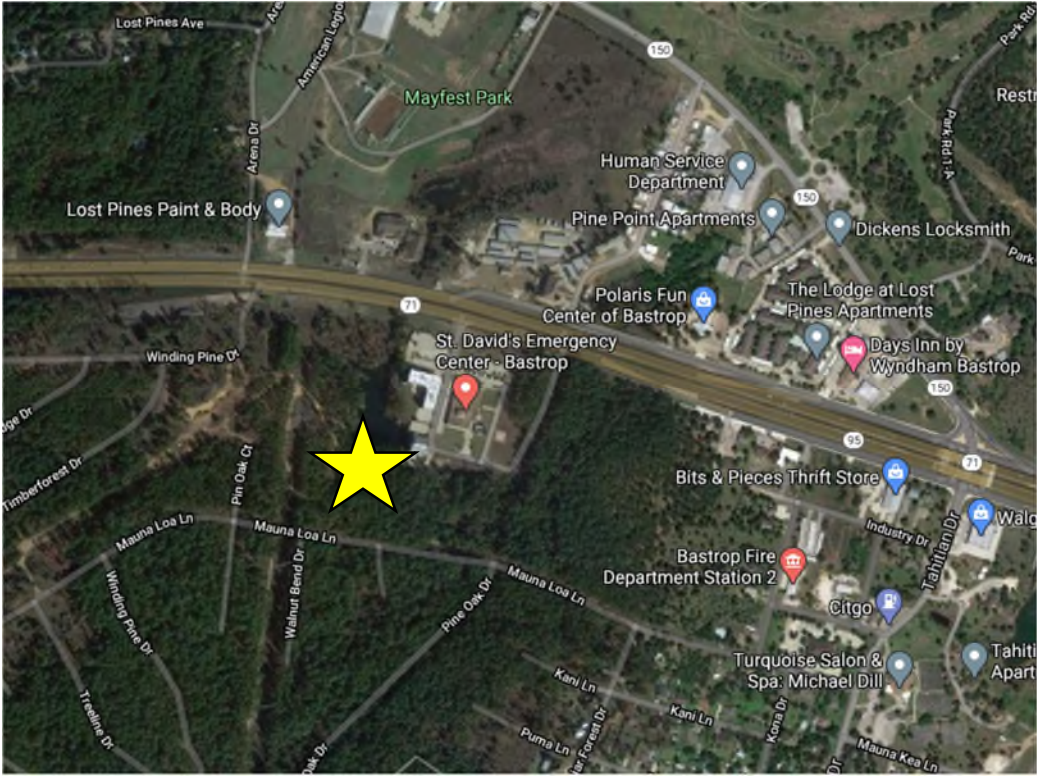
## Geographic Location Map

The development site consists of ~15.4 acres located to the South of Highway 95 near Majestic Pine Drive, as shown in the aerials and map below.

*Property ID: 72568; GEO ID: R72568*







## **2. Block and Place Type designation**

The development is within the Lost Pines Character district and has been designed with the Village Center Development pattern in mind. The development predominately consists of P5 Place Type with buildings serving residential uses in an L shape. The L shape, P5 – Core, surrounds the P1-Nature area which accommodates the geographically sensitive areas in and around the development, including the preservation of protected pines within the Lost Pines Habitat Conservation Plan. For exact block measurements please see page 6 of the Exhibit and for an exact breakdown of the place type designations and locations throughout the development please see pages 2,5, and 6 of the Exhibit.

## **3. Demonstrate the structure of the proposed neighborhood based on the standards associated with the property:**

- a. As the proposed neighborhood is over 3.4 acres there will be a variety of place types incorporated into the plan, those types include P1 and P5. However due to the nature of the P1 area the entire neighborhood regulating plan area faces many challenges. They are ecological and topographical in nature. The site is in the Lost Pines Habitat Conservation Plan, the USFWS defined habitat area for two endangered species, as well as being impacted by multiple USACE protected waterways. In order to keep the pond intact, as it could serve as a natural habitat for Bastrop's resident Houston Toad population, it would be impossible to create a block from North to South or East to West which meets the P5 maximum block size. The pond itself is more than 525 ft. long (North to South) and sits on the proposed development's eastern boundary. While the site plan does currently impact some of the trees on site, we have been able to rework the site in a way that saves 57% of the trees, many of which are the larger heritage of trees. Because of the importance of the Pines to Bastrop and the ecosystem we will be purchasing tree/habitat credits from the Griffith League Ranch to mitigate the removal of the impacted trees in addition to satisfying our proposed USFWS Conservation plan. See pages 3, 13, and 14 of the Exhibit for Tree Survey and proposed Tree Conservation Plan. Page 7 of the Exhibit provides the Cut and Fill Earthwork Analysis and the conceptual Site Grading. While we were not able to provide a standardized multiple block Courtyard Apartment layout, we did design a Village Cluster Development pattern around P1 Natural Open Spaces in a manner which allows for pedestrians to easily move about the development while doing everything we could to preserve and/or minimally impact the natural environment, the authentic Bastrop pines, and still creating a development that is fiscally feasible. Additionally, because we were not able to include the normal blocks within the development pattern, we are proposing to improve Mauna Loa Lane beyond the boundaries of our site further east to where the improved road currently meets Briar Forest Drive. This increases connectivity for the residents of the proposed development, as well as the visitors of the adjacent medical complex and Tahitian Village Neighborhood to the East.
- b. As mentioned previously there are many items which prohibit us from meeting the B<sup>3</sup> standard block requirements. Additional barriers to meeting these standards include an LCRA easement which runs more than the entire length of the western boundary of the

site preventing any roadway from running completely east to west across the neighborhood, a path additionally blocked by the pond. There are two protected USFWS Intermittent Streams running from the southern boundary of the pond, and from the direction of Majestic Pines Drive, past the southern boundary of the proposed development approximately mid-way through the site (east to west). See pages 2, 3, 6 and 7 of the Exhibit. To break up the block vertically would require an impact greater than would be allowed by the US Army Corp of Engineers and greater than is financially feasible.

#### **4. Street Network:**

- a. The street network plan must show existing streets and the transition Street Types into the proposed neighborhood.
  - i. The development will have entrances from Highway 71 and Majestic Pine Drive, however, will not introduce any new public streets. See pages 2, 6 and 8 of the Exhibit.
  - ii. In line with the B<sup>3</sup> Code, improvements will be made to both Majestic Pine Drive (to the east) and Mauna Loa Lane (to the south). Please see page 8 of the Exhibit for the location and measurement of those roadway improvements.
- b. A network of streets shall show connectivity to and through the development.

As the development will be composed of private drives instead of public streets you will see that page 8 of the Exhibit shows 711.9 feet of improvements to Mauna Loa Lane beyond the portion of the road adjacent to the proposed development. This is in lieu of public roadways through the development, providing connectivity for the residents of the neighborhood and surrounding areas. For example, the extension of Mauna Loa Lane will give the residents of Tahitian Village direct access to the St. David's Emergency Center without crossing Highway 71 twice. It will also afford the first responders at Bastrop's Fire Station #2 the same access to the proposed multifamily dwellings. This is contingent on the City receiving all necessary easements and permits during the development process, as Kittle Property Group is unable to secure these items without site control of that portion of land.

#### **5. Street Types:**

- a. Each Street Type is scaled proportional to the associated Place Types and Building Types.
  - i. Please see page 8 of the Exhibit for a map of the proposed improvements to both Majestic Pines Drive and Mauna Loa Lane, including the applicable street cross sections. Both cross sections are in line with the existing roadways for both Majestic Pine Drive and Mauna Loa Lane.
- b. Blocks with Street Types with wider than 55.5 feet of right-of-way can chose to create smaller blocks or propose to adjust the grid to accommodate the selected street network of Street Types.
  - i. Both Majestic Pines Drive and Mauna Loa Lane have existing 60 feet rights-of-way. This will not affect block sizes. Please see pages 8, 10, 11 and 12 of the Exhibit.

- c. Blocks with Street Types wider than 55.5 feet of right-of-way must also demonstrate the fiscal sustainability of the requested Place Types and Street Types.
  - i. Both Majestic Pines Drive and Mauna Loa Lane have existing 60 feet rights-of-way. Maintaining the threshold of 55.5 feet is not a question of fiscal sustainability but instead continuity with rights-of-way already in place. Should the city decide that a smaller ROW would be sufficient we would adjust accordingly. Please see pages 8, 10, 11 and 12 of the Exhibit.
- d. Blocks adjacent to undeveloped land, areas unsuitable for development, or pre-existing incomplete Blocks may be exempt from Block Face length and Block Perimeter requirements by Warrant.
  - i. As previously noted, this neighborhood plan does not meet the block length or area requirements as set out in the B<sup>3</sup> code for numerous reasons including preserving authentic Bastrop pines, fiscally feasible options, geological/ecological sustainability, and topographical challenges. It does, however, fit the delicate environment that it sits in and does not prohibit the connection of any future developments. To fit the B<sup>3</sup> Code the site would need two streets running East to West and one street running North to South. Kittle Property Group is unable to add the streets East to West as there is a pond running about two thirds of the length of the site on the East, and an LCRA easement preventing development the entire length of the site on the West. Running a road to split the lot North to South as defined by the B3 would also encounter the pond, additionally it would run the length of a protected US Army Core of Engineers (USACE) waterway. See pages 2, 3, 4, 5, 6, 8 and 9 of the Exhibit.

For this reason, in addition to superseding regulations from USFWS and US Army Corp of Engineers, we will be requesting a Warrant to be exempt from the Block Face length and Block Perimeter requirements. We hope that our proposal to increase connectivity outside the development in a manner that should prove to be more fiscally responsible for the city than anything done within the site, will help our endeavor to be granted the necessary Warrant.

**6. Refer to the Transportation Master Plan for street network requirements. Show how the Neighborhood Regulating Plan addresses those requirements.**

Per the Transportation Master Plan map, no standardized plans for additional roadways were set out, in order to allow for flexibility given the challenges related to the geographic terrain and USACE waterways. That flexibility is a must here as these challenges weigh heavily on what is or is not possible, however we believe that our proposed extension of Majestic Pines Drive and Mauna Loa Lane as shown in page 8 of the Exhibit would reach the Transportation Master's goal of connectivity throughout Bastrop, while still being suitable for the area given the Lost Pines Habitat Conservation Plan in place, and the presence Waterways of the U.S. See pages 2, 3, 4, 5, 6, 8 and 9 of the Exhibit.



# MAJESTIC PINES APARTMENTS - BASTROP, TEXAS

## Neighborhood Regulating Plan Submission



310 East 96th Street, Suite 400  
Indianapolis, IN 46240  
(317) 846-3111  
www.kittleproperties.com

### DEVELOPER

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### ARCHITECT

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Contact: David Gibson  
dgibson@kittleproperties.com

### CONTRACTOR

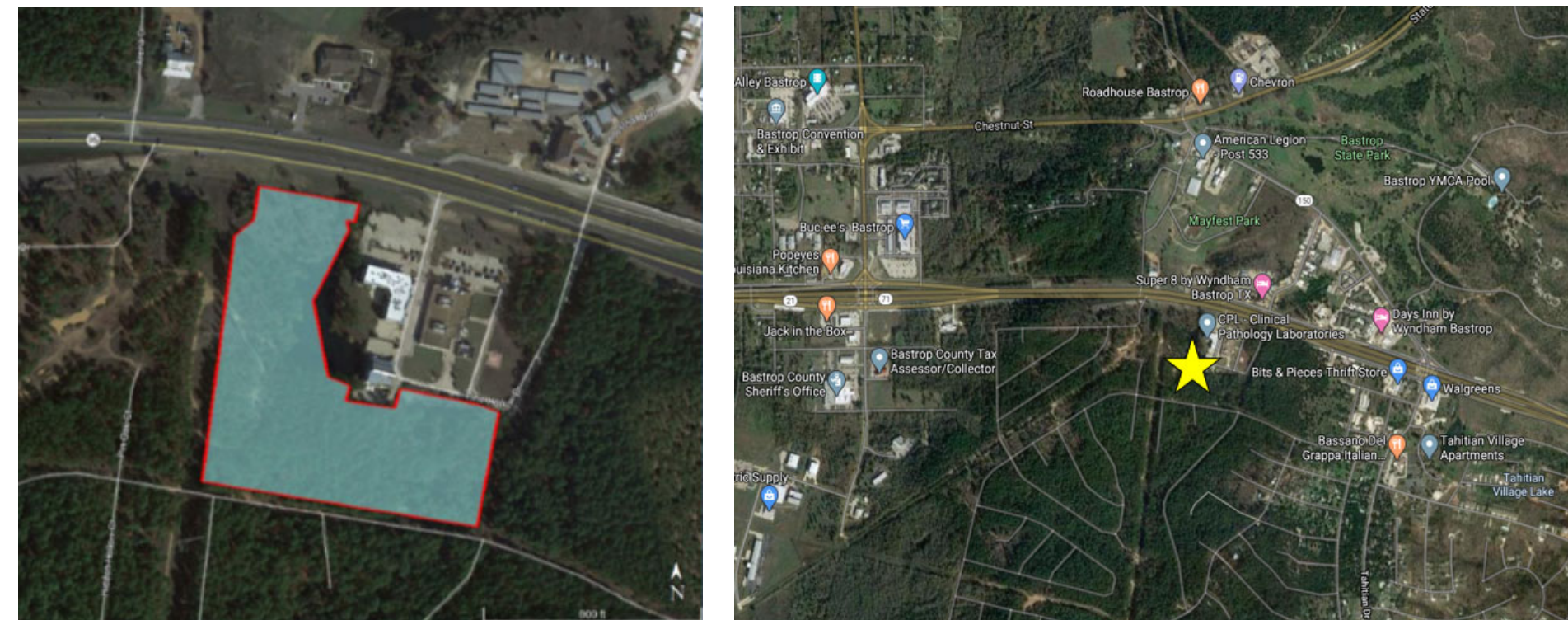
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SEAL



PAGE	SHEET TITLE
1	COVER SHEET
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4	SITE DIMENSION PLAN
5	PEDESTRIAN SHED
6	BLOCK LENGTH PLAN
7	CONCEPTUAL GRADING PLAN
8	STREET DESIGNATION & BLOCK FRONTAGE PLAN
9	TRANSPORTATION PLAN
10	SURVEY
11	SURVEY
12	SURVEY
13	TREE SURVEY
14	TREE SURVEY
15	BUILDING TABULATION
16	EXTERIOR ELEVATIONS
17	EXTERIOR ELEVATIONS
18	MAINTENANCE/POOLHOUSE FLOOR PLANS
19	CLUBHOUSE EXTERIOR ELEVATIONS
20	GARAGE FLOOR PLANS AND EXTERIOR ELEVATIONS
21	GARAGE FLOOR PLANS AND EXTERIOR ELEVATIONS
22	GARAGE FLOOR PLANS AND EXTERIOR ELEVATIONS

#### PROJECT TITLE

BASTROP, TX

#### SHEET TITLE

COVER SHEET

#### ISSUED FOR: DATE

ISSUED FOR:	DATE

#### REVISIONS

MARK	DATE	REVISION

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JOB NO.

20-012

#### SHEET NUMBER

PAGE  
**1**

P.O.B.

SECONDARY ENTRANCE  
(GATED)

SITE BOUNDARY  
PER SURVEY  
(RED)

- BUILDING SLAB  
TOTAL SITE AREA: 127,517 SF (2.93 ACRES)
- SIDEWALK & CURB  
TOTAL SITE AREA: 22,441 SF (0.56 ACRES)
- OPEN CONCRETE SLAB  
TOTAL SITE AREA: 12,219 SF (0.28 ACRES)
- OPEN SPACE  
TOTAL SITE AREA: 367,022 SF (8.39 ACRES)
- BODIES OF WATER (PORTION ON SITE)  
TOTAL SITE AREA: 45,253 SF (1.04 ACRES)
- PARKING & DRIVE AISLES  
TOTAL SITE AREA: 94,090 SF (2.16 ACRES)
- DRY CREEKS
- SEMI-PUBLIC SPACE

EXISTING POND:  
1.73 ACRES TOTAL

SITE BOUNDARY  
PER SURVEY  
(RED)

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**SITE SUMMARY:**

15.36 ACRE SITE  
15.63 DU's/ACRE

(4) 1BR12+2BR12+3BR12  
(4) 1BR14+2BR2+3BR8

**UNIT MIX:**

(104) 1BR  
(64) 2BR  
(72) 3BR

**TOTAL UNITS: 240**

**PARKING COUNT:**

300 UNASSIGNED SURFACE SPACES  
8 ACCESSIBLE SURFACE SPACES  
2 VAN ACCESSIBLE SURFACE SPACES  
14 ASSIGNED DRIVEWAY SPACES  
14 ATTACHED GARAGE SPACES  
2 ACCESSIBLE ATTACHED GARAGE SPACES  
30 DETACHED GARAGE SPACES  
**TOTAL PARKING: 372 SPACES**

**IMPERVIOUS COVER:**

IMPERVIOUS SURFACE: 5.91 ACRES (38%)\*  
PERMEABLE SURFACE: 9.45 ACRES (62%)  
**TOTAL SITE: 15.36 ACRES (100%)**

**\*INCLUDES POOL AREA DUE TO CONCRETE BASIN**

**OPEN SPACE:**

8.43 ACRES (55% OF SITE)

**SITE AMENITIES:**

- LARGE CLUBHOUSE W/ POOL
- POOL HOUSE/MAINTENANCE SHOP
- (5) TRASH DUMPSTER ENCLOSURES  
W/ MASONRY SCREENING
- MAIL KIOSK
- ENTERTAINMENT PAVILION
- BARK PARK
- MONUMENT SIGN



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MARK	DESCRIPTION	DATE

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PROJECT NO.

**20-012**

SHEET TITLE

SCALED SITE PLAN

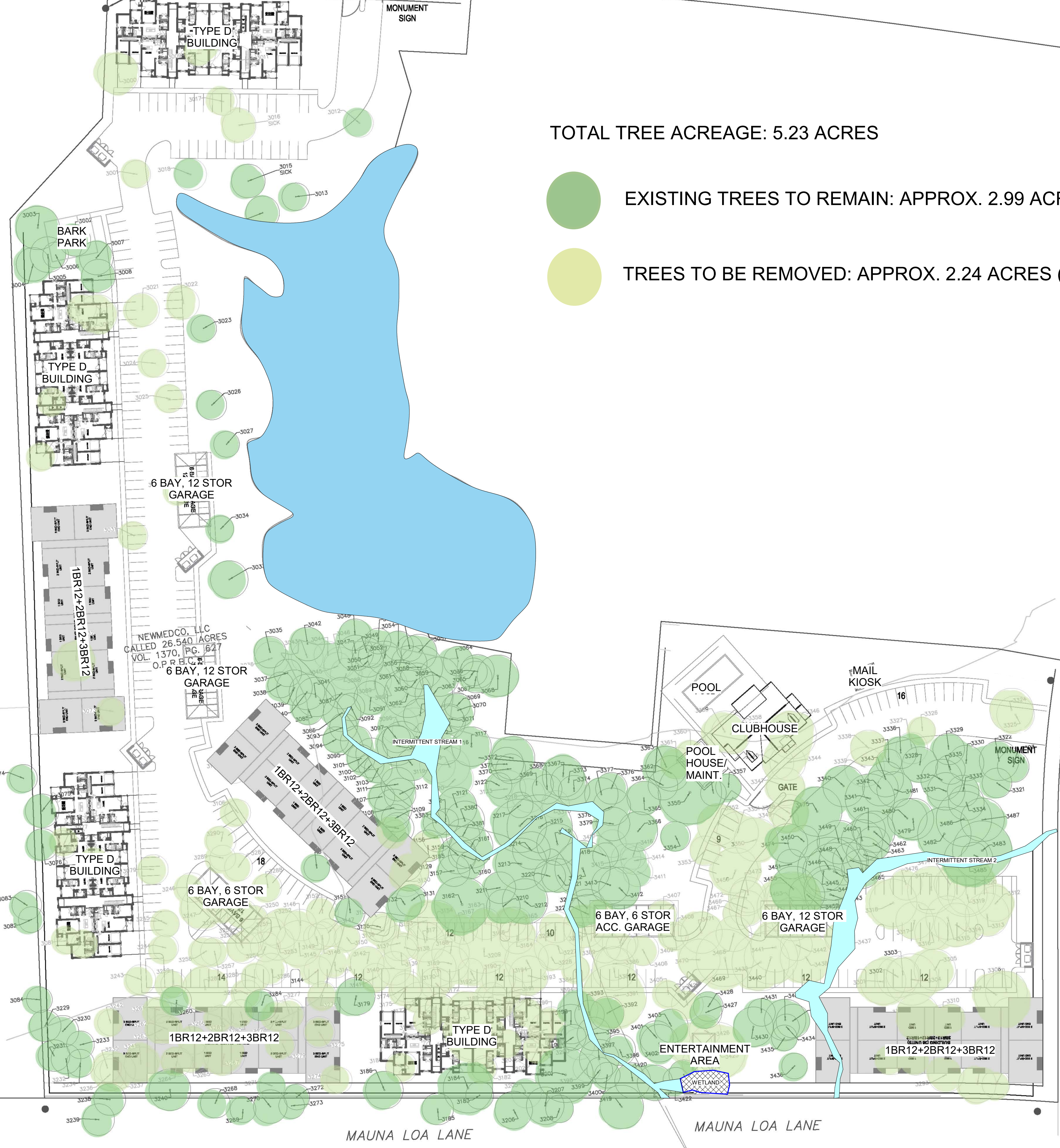
SHEET NUMBER

STATE HIGHWAY No 71  
(300' PUBLIC R.O.W.)

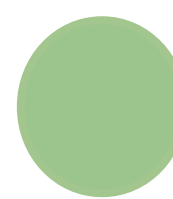
P.O.B.

STATE HIGHWAY No. 71  
(ASPHALT)  
(RECORDING INFORMATION NOT FOUND)

MONUMENT SIGN



TOTAL TREE ACREAGE: 5.23 ACRES



EXISTING TREES TO REMAIN: APPROX. 2.99 ACRES (57%)



TREES TO BE REMOVED: APPROX. 2.24 ACRES (43%)

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SEAL

PROJECT TITLE

BASTROP, TX

ISSUED FOR: DATE


REVISIONS

MARK	DESCRIPTION	DATE

DO NOT SCALE PRINTS - USE  
FIGURED DIMENSIONS ONLY  
PROJECT NO.

20-012

SHEET TITLE

TREE CONSERVATION  
PLAN

SHEET NUMBER

PAGE  
3

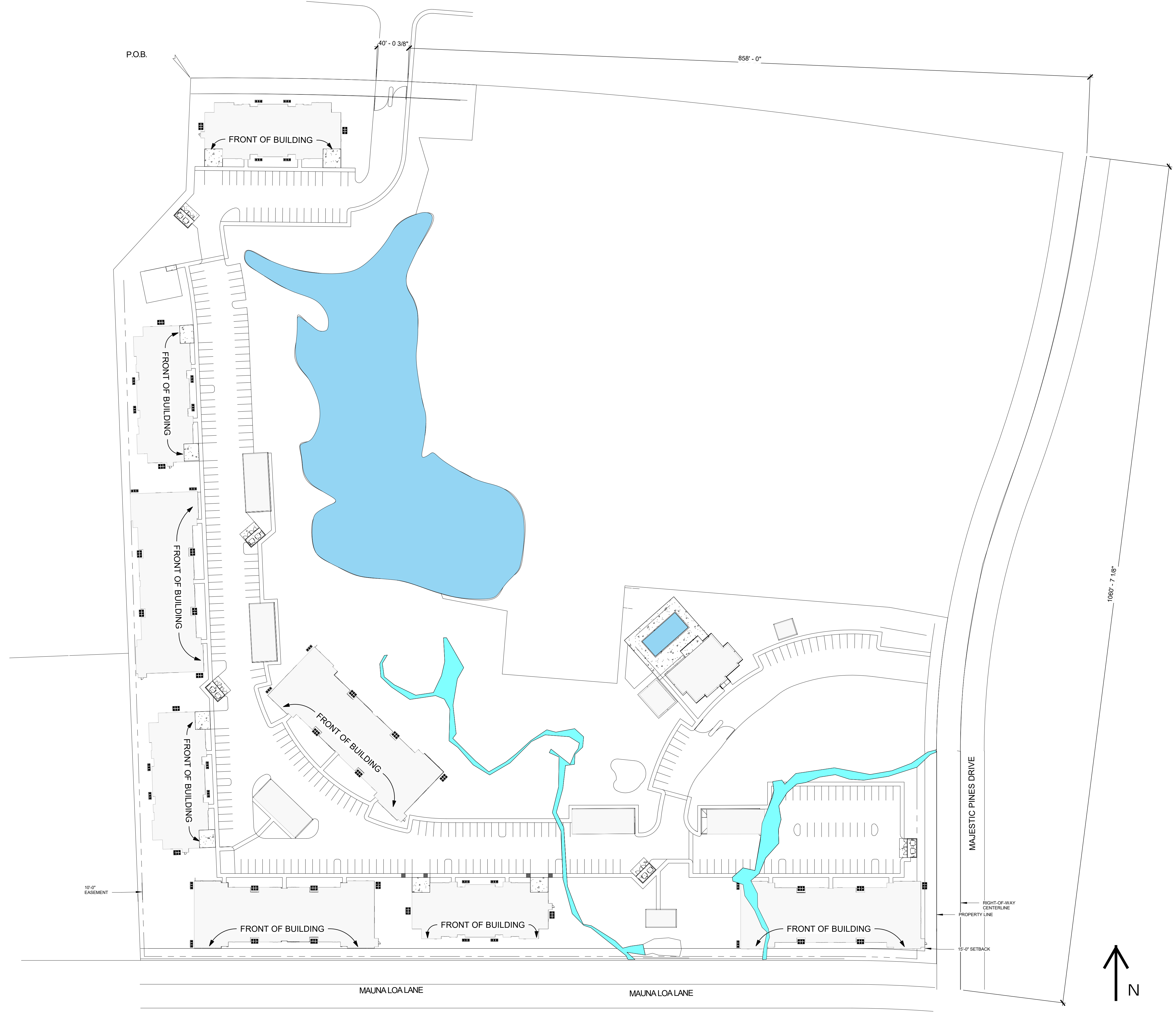


STATE HIGHWAY No 71  
(1/2" = 100'-0")

P.O.B.

40' - 0 3/8"

858' - 0"



FIRM LOGO  
HERE

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SEAL

PROJECT TITLE

**BASTROP, TX**

ISSUED FOR: DATE

**REVISIONS**

MARK	DESCRIPTION	DATE

DO NOT SCALE PRINTS - USE FIGURED DIMENSIONS ONLY

PROJECT NO. **20-012**

SHEET TITLE **SITE DIMENSION PLAN**

SHEET NUMBER

**PAGE 4**

\\kphd01\users\kkurucz20-012 Bastrop, TX - Site Plan\_kurucz2\VEZ.rvt

3/29/2021 2:10:57 PM

**1 SITE DIMENSION PLAN**  
ASP-1.2 SCALE: 1" = 60'-0"

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 SEAL

PROJECT TITLE

BASTROP, TX

ISSUED FOR: DATE


REVISIONS

MARK	DESCRIPTION	DATE

DO NOT SCALE PRINTS - USE  
 FIGURED DIMENSIONS ONLY  
 PROJECT NO.

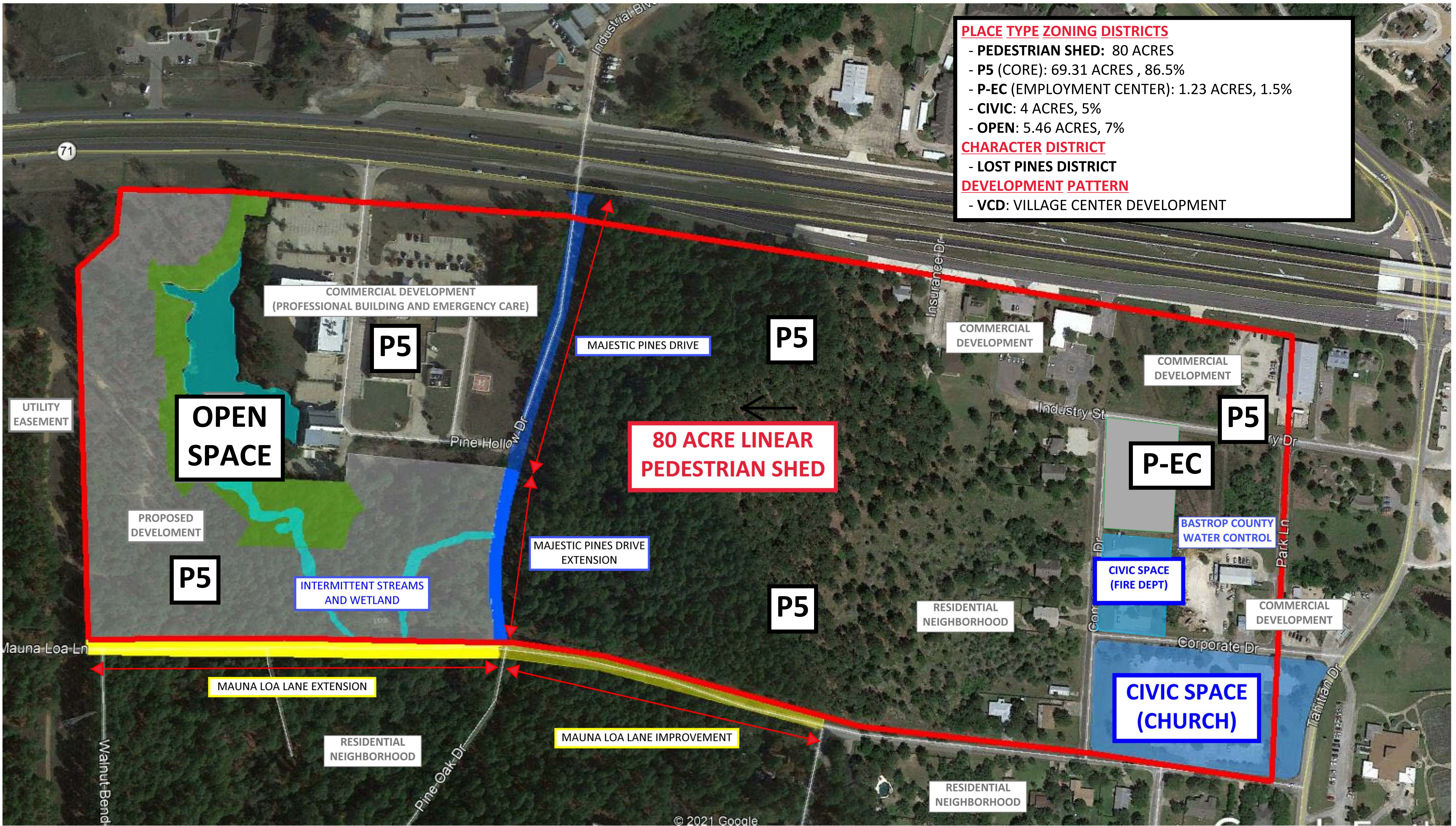
20-012

SHEET TITLE

PEDESTRIAN SHED

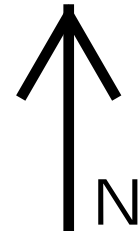
SHEET NUMBER

PAGE  
**5**



**PLACE TYPE ZONING DISTRICTS**  
 - PEDESTRIAN SHED: 80 ACRES  
 - P5 (CORE): 69.31 ACRES, 86.5%  
 - P-EC (EMPLOYMENT CENTER): 1.23 ACRES, 1.5%  
 - CIVIC: 4 ACRES, 5%  
 - OPEN: 5.46 ACRES, 7%  
**CHARACTER DISTRICT**  
 - LOST PINES DISTRICT  
**DEVELOPMENT PATTERN**  
 - VCD: VILLAGE CENTER DEVELOPMENT

**80 ACRE LINEAR  
 PEDESTRIAN SHED**

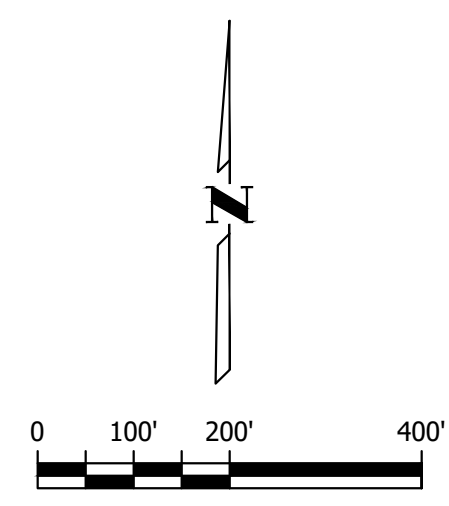


\\kphhd01\users\kkurucz20-012 Bastrop, TX - Site Plan\_kkurucz2\VEZ.rvt

3/24/2021 11:33:22 AM

© 2021 Google

SWATCH: 3/24/2024 1:52 PM  
 PLOTTED BY: DANAHAN WILLIAMS  
 DRAWING: P:\BASTROP\BASTROP TX\MAJESTIC PINE\TX-71\BASTROP TX\MAJESTIC PINE\TRANSPARENCY\BLOCKS & STREET PERIMETER PLAN.dwg



P5 BLOCKS		
BLOCK NAME	BLOCK PERIMETER	JUSTIFICATION
BLOCK A (P5)	8970.0' (1,320' MAX)	<ul style="list-style-type: none"> <li>- Accommodating Multi-Family site development</li> <li>- Existing natural boundaries requiring mitigation (Trees, Toad Habitat, Wetlands, Intermittent Streams)</li> <li>- Existing pond</li> <li>- Existing adjacent development</li> <li>- Large existing easements</li> <li>- Adjacent undeveloped land with existing R.O.W.'s</li> <li>- Excessive Topography</li> </ul>

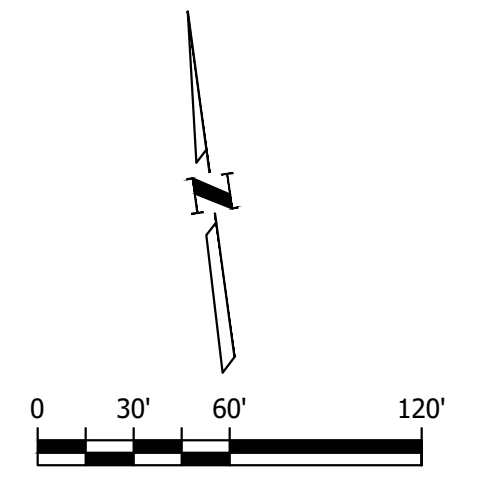
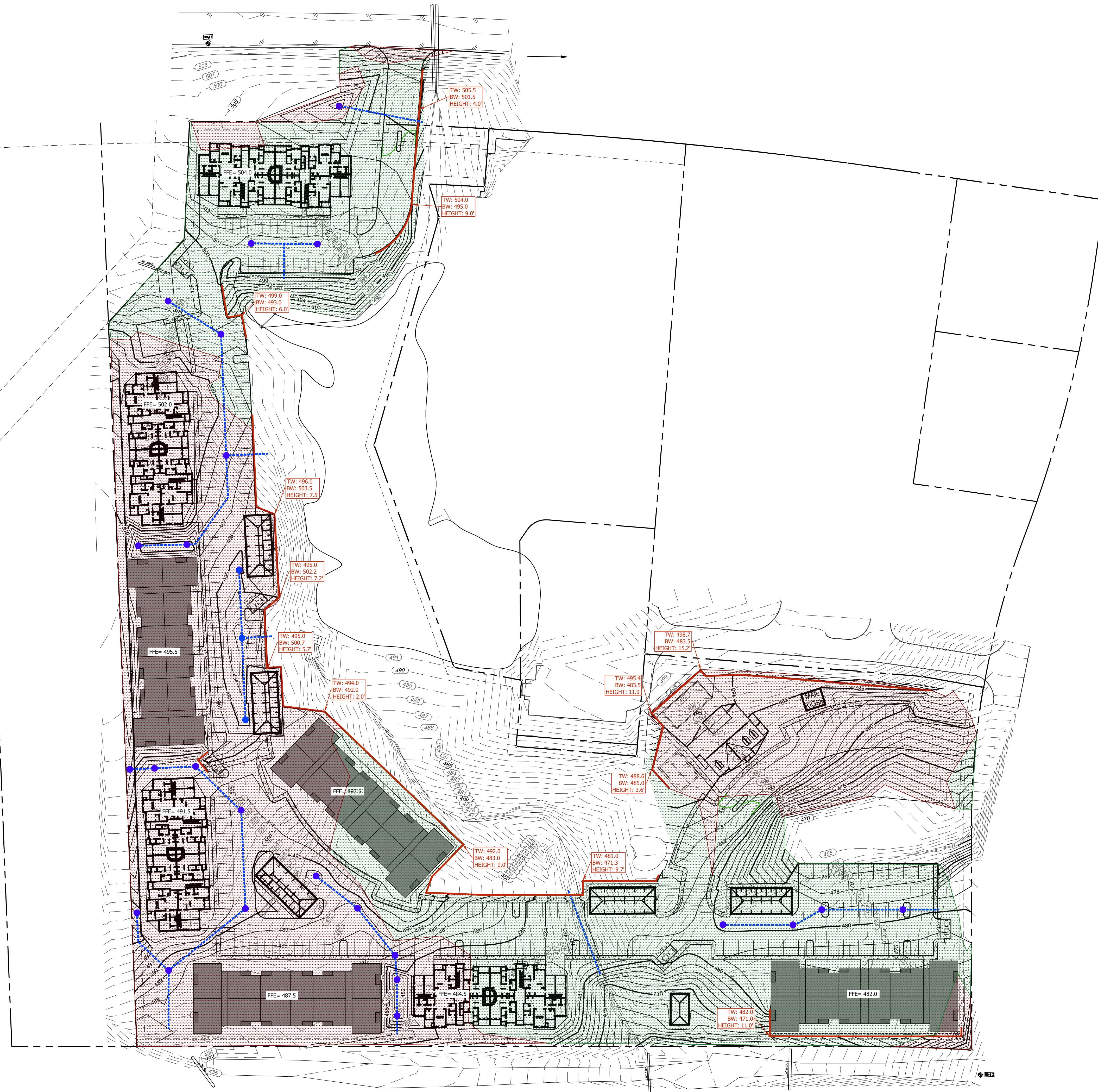
BLOCK FACES (330' MAX)	
TX-71	359.02'
MAJESTIC PINE DRIVE	435.62'
MAUNA LOA LANE	1002.28'

NOT AUTHORIZED FOR  
 CONSTRUCTION PRIOR TO  
 FORMAL CITY APPROVAL



PHONE NO:

BASTROP MAJESTIC PINE  
 3101 TX-71  
 BASTROP, BASTROP COUNTY, TEXAS 78602  
 BLOCK LENGTH PLAN



**LEGEND**

	RETAINING WALL
	STORM PIPES
	AREAS OF CUT
	OPEN-UNDISTURBED

**EARTHWORK ANALYSIS**

	CUT (CY)	FILL (CY)
MASS GRADING	54,731	41,294
6" SELECT FILL UNDER BUILDING PADS		2,090
ASSUMED PAVEMENT DEPTH OF 6"		3,270
<b>NET</b>	<b>8,077</b>	

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CONSTRUCTION PRIOR TO  
FORMAL CITY APPROVAL

PHONE NO. **WGI**<sup>TM</sup>  
**WGInc.com**  
ADDRESS

PRELIMINARY  
NOT FOR CONSTRUCTION,  
BIDDING, OR PERMIT  
PURPOSES.  
PREPARED UNDER THE  
SUPERVISION OF  
WGI, INC.  
ON 2021-03-29

MAJESTIC PINE MULTIFAMILY  
MAJESTIC PINE DR & MAUNA LOA LN  
BASTROP TEXAS  
CONCEPTUAL GRADING PLAN

SWMTS, DATE, DATE  
ROUTED BY, REVISED BY  
DRAWING: 10-10-21

**TX-71**

359.02'

LAKESIDE PROFESSIONAL BUILDING

ST. DAVID'S EMERGENCY CENTER - BASTROP

**MAJESTIC PINE DRIVE**

435.62'

MAJESTIC PINE DRIVE ROW EXTENSION

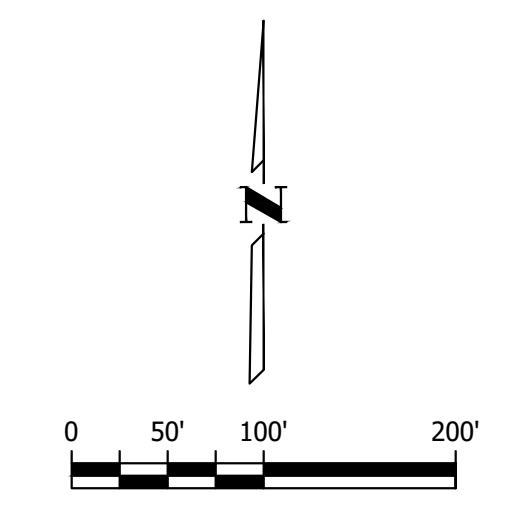
1002.28'

MAUNA LOA LANE ROW EXTENSION

MAUNA LOA LANE ROW IMPROVEMENTS

**MAUNA LOA LANE**

711.94'



**LEGEND**

PRIMARY FRONTAGE OF BLOCK	
LOCAL CONNECTOR STREET: PARK DRIVE	
	Made with Streetmix
N.T.S.	6' Sidewalk 2' 2' 5' Drive lane 10' Drive lane 10' Parking lane 3' 1' 4' 2' Sidewalk
LOCAL CONNECTOR STREET: RURAL	
	ROW Varies
N.T.S.	- Parkway - Pedestrian Trail
	Travel Lanes
	- Parkway - Pedestrian Trail

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PHONE NO:

BASTROP MAJESTIC PINE  
3101 TX-71  
BASTROP, BASTROP COUNTY, TEXAS 78602

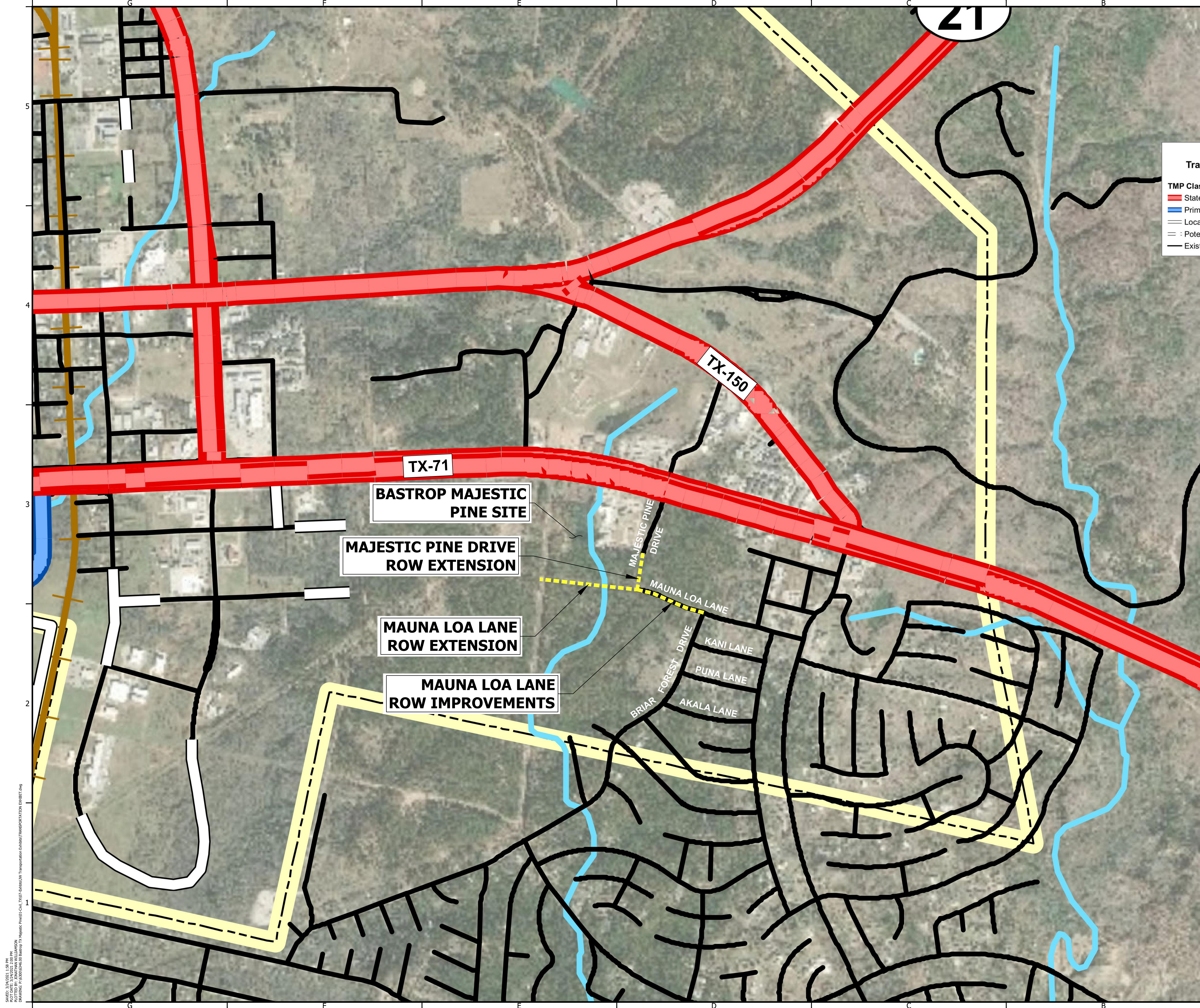
STREET DESIGNATION & BLOCK FRONTAGE PLAN

SHEET

PAGE

**8**

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PLOTTED BY: JONATHAN WILLIAMSON  
DRAWING: C:\Users\jonwilliamson\Documents\Projects\3101 TX-71\Bastrop TX\Mapset\3101 TX-71\3101 TX-71 - Transportation\Gridwork\CS & STREET FRONTAGE PLAN.dwg



**City of Bastrop  
Transportation Master Plan Street Grid**

State Highway System	Rivers
Primary Multimodal Street	City Limits
Local Connector Street	ETJ
Potential Connection	Existing Streets
Railroads	

Scale: 0 500 1000 2000 Feet

**BASTROP MAJESTIC PINE SITE**

**MAJESTIC PINE DRIVE ROW EXTENSION**

**MAUNA LOA LANE ROW EXTENSION**

**MAUNA LOA LANE ROW IMPROVEMENTS**

MAJESTIC PINE DRIVE

MAUNA LOA LANE

BRIAR FOREST DRIVE

KANI LANE

PUNA LANE

AKALA LANE

TX-150

TX-71

21

SWATCH: 3/24/2021 1:58 PM  
 PLOTTED BY: KIMMIE WILLIAMS  
 DRAWING: C:\Users\kwilliams\Documents\Bastrop Transportation Master Plan\Map\Bastrop Transportation Master Plan.dwg

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**WGI**<sup>TM</sup>  
WGInc.com  
ADDRESS

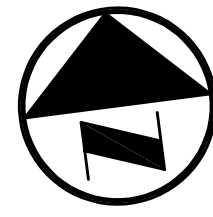
**BASTROP MAJESTIC PINE**  
3101 TX-71  
BASTROP, BASTROP COUNTY, TEXAS 78602

TRANSPORTATION PLAN



LEGEND

- PH ◊ FIRE HYDRANT
- GA ◊ GUY ANCHOR
- ICV ◊ IRRIGATION CONTROL VALVE
- LS ◊ LIGHT STANDARD
- PP\* POWER POLE
- PP W/ GUY ANCHOR
- SM ◊ SAN. SEWER MANHOLE
- WM ◊ WATER METER
- WV ◊ WATER VALVE
- IRS 1/2" IRON ROD
- W/PACHECO KOCH CAP SET
- (C.M.) CONTROLLING MONUMENT
- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- FENCE
- OHL OVERHEAD UTILITY LINE
- SDM STORM DRAIN LINE
- SANITARY SEWER LINE
- EXIST CONTOUR
- EXIST SPOT ELEV.
- EXIST TOP OF CURB ELEV.
- EXIST OUTER ELEV.
- EXIST TOP OF WALL ELEV.
- EXIST BOTTOM OF WALL ELEV.



0 15 30 60 90  
GRAPHIC SCALE IN FEET  
1" = 30'

LOT 1A  
RESUBDIVISION OF LOT 1, AMENDED PLAT  
OF LAKESIDE PHASE 2  
EQUITY BASTROP INVESTMENTS, LLC  
(C.C.F. No. 201802085 O.P.R.B.C.)

POND  
ELEVATION OF WATER  
AT TIME OF SURVEY=491.46±

PINE FOREST PHASE II  
UNIT 6  
(VOL. 1, PG. 165-B B.C.P.R.)  
LOWER COLORADO RIVER AUTHORITY  
TRANSMISSION LINE  
(VOL. 104, PG. 104 O.P.R.B.C.)

(CALLED S 06°47'30" W) 869.95'  
N 05°27'02" E

(CALLED S 23°34'41" W) 264.10'  
(CALLED S 25°04'48" W) 252.33'  
(CALLED S 36°30'10" E) 720.36'

SET 5/8" IRON  
ROD W/CAP  
(CALLED S 69°52'07" E)  
S 71°19'14" E  
82.80'

RESERVE "A"  
PINE FOREST PHASE II  
UNIT 6  
(VOL. 1, PG. 165-B B.C.P.R.)  
15.363 ACRES  
(669,196 SF)  
LESLIE L. APPELT  
RESIDUE OF A CALLED 26,540 ACRES  
(1/2 UNDIVIDED INTEREST)  
(VOL. 745-PG. 194 (EXHIBIT "A" - 4))  
RESIDUE OF A CALLED 26,540 ACRES  
(1/2 UNDIVIDED INTEREST)  
(C.C.F. No. 200312263 O.P.R.B.C.)  
(NO. BUILDINGS)

GRAVEL ROAD MAUNA LOA LANE

N 82°18'05" W 895.56'  
(CALLED N 80°48'52" W)

15' BUILDING LINE  
(SEE NOTE No. 10a, 10b, 10c, 10d, 10e, 10f, 10g, 10h, 10i, 10j)

10' PUBLIC UTILITY EASEMENT  
(SEE NOTE No(s). 10a, 10b, 10j & 10k)

FND. 5/8" IRON ROD

60' R.O.W.

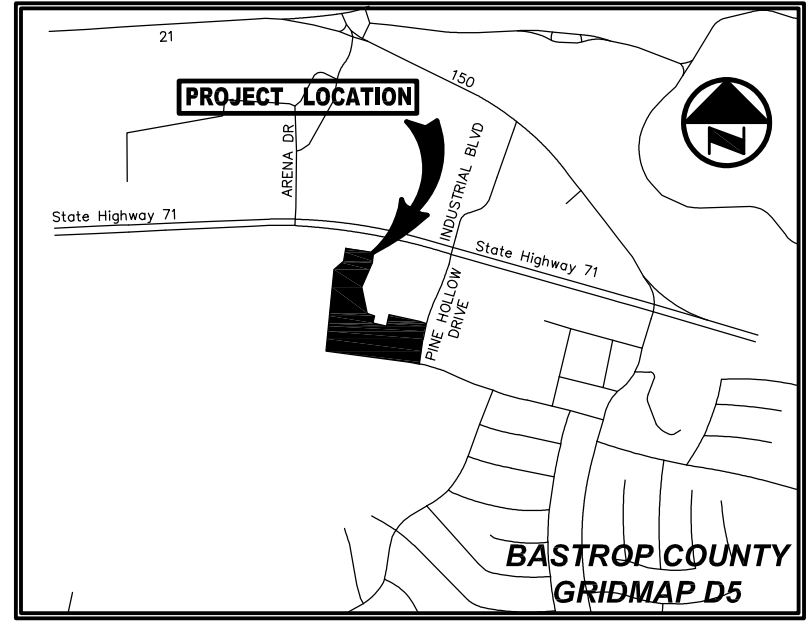
BENCH MARK LIST

- BM# 1 - PK Nail - PK Nail set in asphalt approximately 96' Northeast or the Northwest corner of the subject property. ELEV=512.19'
- BM# 2 - PK Nail - PK Nail set in asphalt approximately 31.3' feet Southeast of the Southeast corner of the subject property. ELEV=490.54'
- BM# 0433 - DV - About 0.4 miles South along the Missouri, Kansas and Texas Railroad from the station at Bastrop, 45.0 feet West, Southwest of the Center of the crossing of with College St., 40.0 feet West of the West track of the main track at a concrete bridge over a drainage ditch, 12.7 feet South of the set line of College St. set in top of the South end of the East concrete abutment of the bridge. ELEV=364.25'

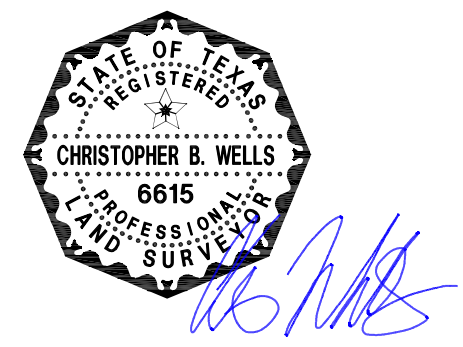
PAGE  
**11**

ALTA/NSPS LAND TITLE AND  
TOPOGRAPHIC SURVEY  
**15.363 ACRE TRACT**  
LOCATED IN THE CITY OF BASTROP  
AND BEING PORTION OF RESERVE "A,"  
OUT OF PINE FOREST PHASE II,  
UNIT 6, CABINET No. 1, PAGE 165B, P.R.B.C.,  
OUT OF BASTROP TOWN TRACT SURVEY,  
ABSTRACT NO. 11,  
BASTROP COUNTY, TEXAS

Thomas Land Surveying  
a Pacheco Koch company  
20329 STATE HWY 249, SUITE 350  
HOUSTON, TX 77070 281.883.0103  
TX REG. SURVEYING FIRM LS-10045800



VICINITY MAP  
(NOT TO SCALE)



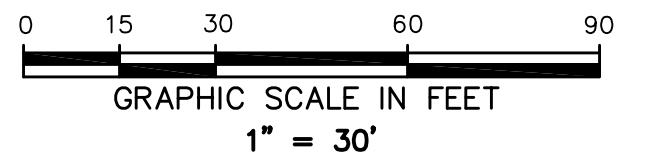
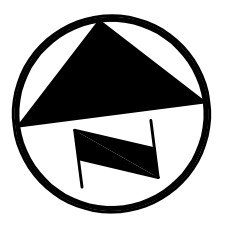
GF. NO. NCS-1019157-HOU1

DRAWN BY WWC CHECKED BY JHT/CBW SCALE 1"=30' DATE 08/06/2020 JOB NUMBER 4715-20.397



**LEGEND**

FH	FIRE HYDRANT	---	PROPERTY LINE
GA	GUY ANCHOR	---	EASEMENT LINE
ICV	IRRIGATION CONTROL VALVE	---	SETBACK LINE
LS	LIGHT STANDARD	---	FENCE
PP	POWER POLE	---	OVERHEAD UTILITY LINE
PP W/GUY ANCHOR	PP W/GUY ANCHOR	---	STORM DRAIN LINE
SM	SAN. SEWER MANHOLE	---	SANITARY SEWER LINE
WM	WATER METER	---	EXIST. CONTOUR
WV	WATER VALVE	---	EXIST. SPOT ELEV.
IRS	1/2-INCH IRON ROD	---	EXIST. TOP OF CURB ELEV.
W/PACHECO KOCH CAP SET	W/PACHECO KOCH CAP SET	---	EXIST. GUTTER ELEV.
(C.M.)	CONTROLLING MONUMENT	---	EXIST. TOP OF WALL ELEV.
		---	EXIST. BOTTOM OF WALL ELEV.

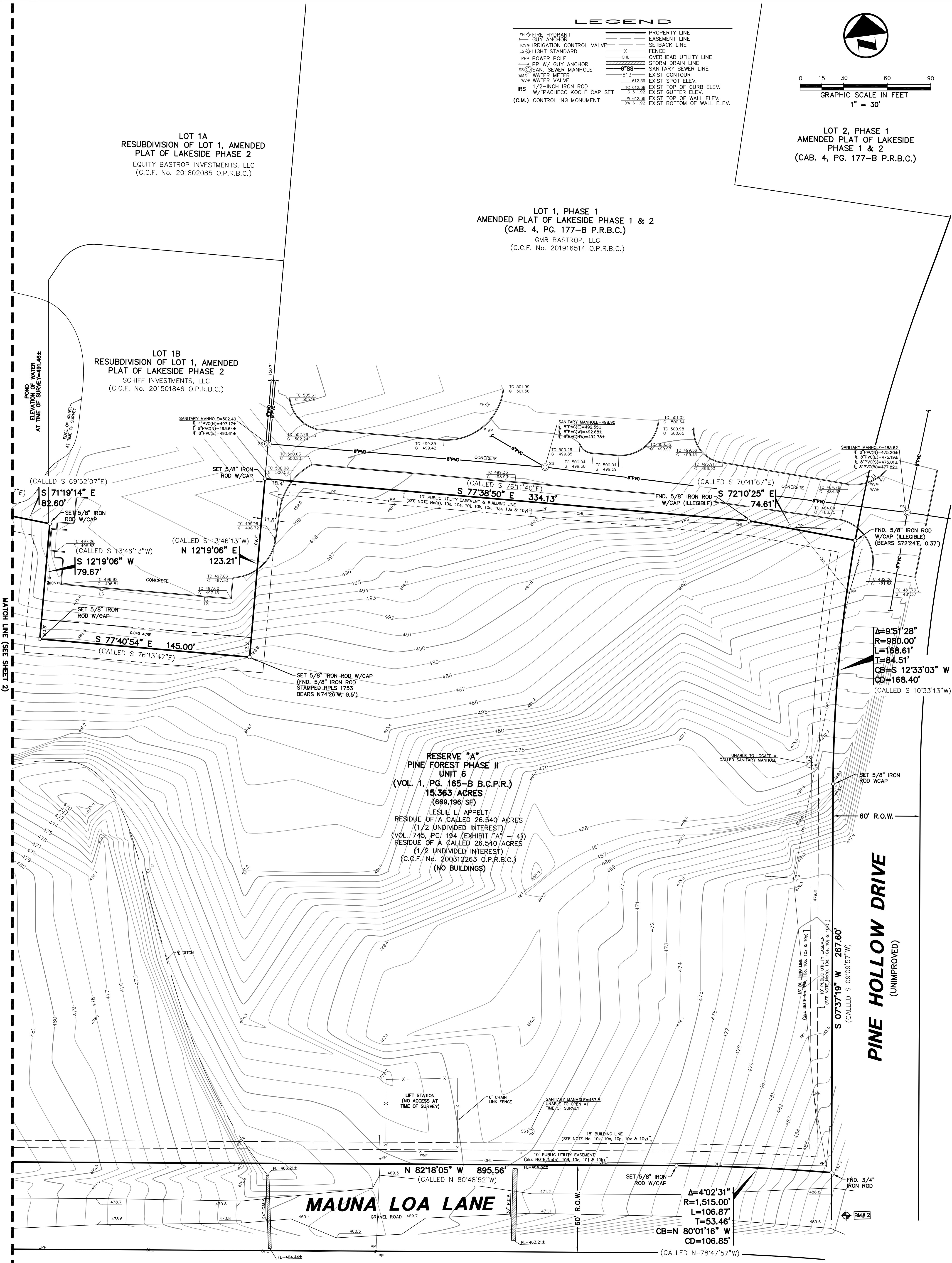


LOT 1A  
RESUBDIVISION OF LOT 1, AMENDED  
PLAT OF LAKESIDE PHASE 2  
EQUITY BASTROP INVESTMENTS, LLC  
(C.C.F. No. 201802085 O.P.R.B.C.)

LOT 2, PHASE 1  
AMENDED PLAT OF LAKESIDE  
PHASE 1 & 2  
(CAB. 4, PG. 177-B P.R.B.C.)

LOT 1, PHASE 1  
AMENDED PLAT OF LAKESIDE PHASE 1 & 2  
(CAB. 4, PG. 177-B P.R.B.C.)  
GMR BASTROP, LLC  
(C.C.F. No. 201916514 O.P.R.B.C.)

LOT 1B  
RESUBDIVISION OF LOT 1, AMENDED  
PLAT OF LAKESIDE PHASE 2  
SCHIFF INVESTMENTS, LLC  
(C.C.F. No. 201501846 O.P.R.B.C.)



**RESERVE "A"**  
**PINE FOREST PHASE II**  
**UNIT 6**  
(VOL. 1, PG. 165-B B.C.P.R.)  
**15.363 ACRES**  
(669,196 SF)  
LESLIE L. APPELT  
RESIDUE OF A CALLED 26.540 ACRES  
(1/2 UNDIVIDED INTEREST)  
(VOL. 745, PG. 194 (EXHIBIT "A" - 4))  
RESIDUE OF A CALLED 26.540 ACRES  
(1/2 UNDIVIDED INTEREST)  
(C.C.F. No. 200312263 O.P.R.B.C.)  
(NO BUILDINGS)

**PINE HOLLOW DRIVE**  
(UNIMPROVED)

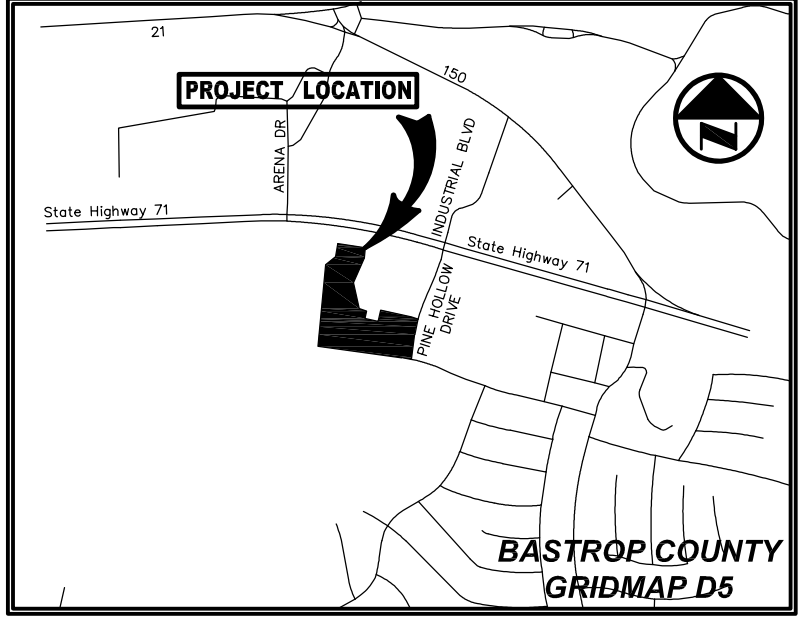
**MAUNA LOA LANE**

**PAGE 12**

**BENCH MARK LIST**

BM# 1 - PK Nail - PK Nail set in asphalt approximately 96' Northeast or the Northwest corner of the subject property. ELEV=512.19'
BM# 2 - PK Nail - PK Nail set in asphalt approximately 31.3' feet Southeast of the Southeast corner of the subject property. ELEV=490.54'
BM# 0433 - DV - About 0.4 miles South along the Missouri, Kansas and Texas Railroad from the station at Bastrop, 45.0 feet West, Southwest of the Center of the crossing of with College St., 40.0 feet West of the West track of the main track at a concrete bridge over a drainage ditch, 12.7 feet South of the sent line of College St. set in top of the South end of the East concrete abutment of the bridge. ELEV=364.25'

**ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY**  
**15.363 ACRE TRACT**  
LOCATED IN THE CITY OF BASTROP AND BEING PORTION OF RESERVE "A," OUT OF PINE FOREST PHASE II, UNIT 6, CABINET No. 1, PAGE 165B, P.R.B.C., OUT OF BASTROP TOWN TRACT SURVEY, ABSTRACT NO. 11, BASTROP COUNTY, TEXAS



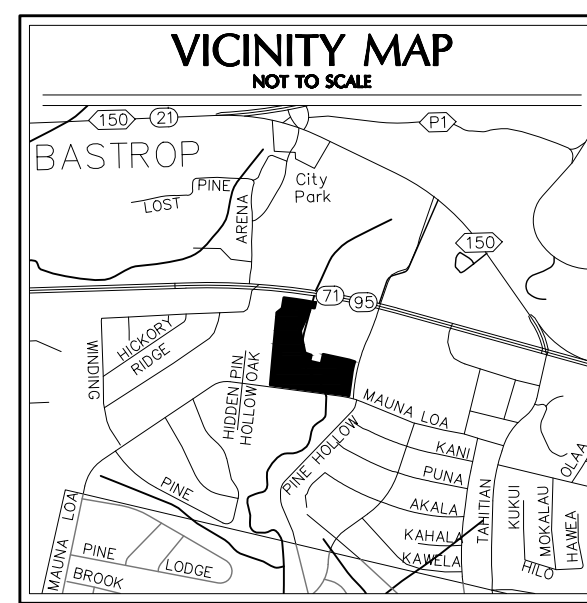
**Thomas Land Surveying** 20329 STATE HWY 249, SUITE 350 HOUSTON, TX 77070 281.883.0103 TX REG. SURVEYING FIRM LS-10045800  
a Pacheco Koch company

DRAWN BY WWC	CHECKED BY JHT/CBW	SCALE 1"=30'	DATE 08/06/2020	JOB NUMBER 4715-20.397
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GF. NO. NCS-1019157-HOU1

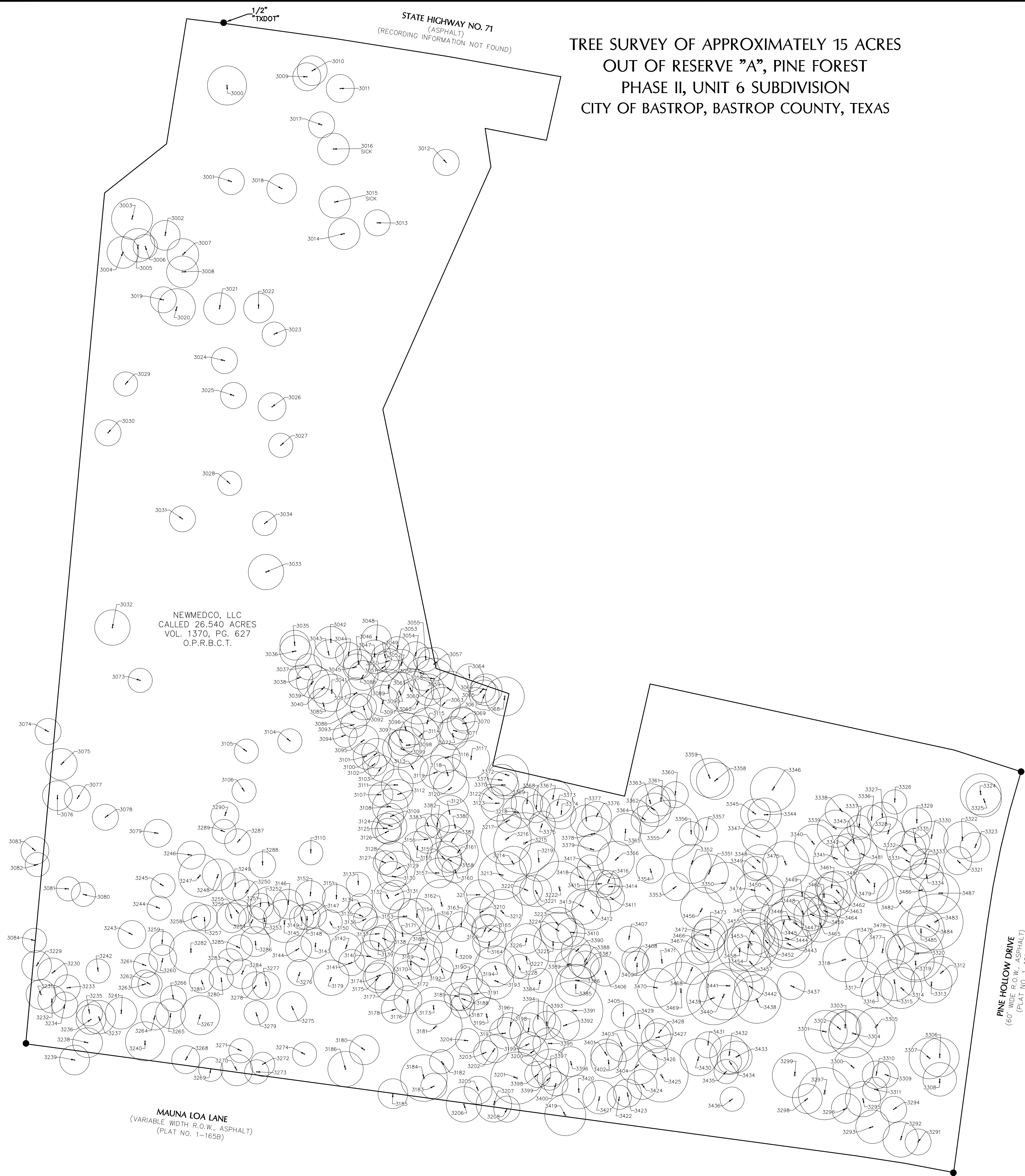
WOOTTON 8/6/2020 2:59 PM M:\DWG-4715-20.397\DWG\SURVEY C3D 2018\4715-20.397\BT.DWG

STATE HIGHWAY 71 - 15.41 ACRES - BASTROP HRP TOPOGRAPHIC SURVEY



BASTROP TOWN TRACT  
ABSTRACT NO.11

LEGEND	
—	APPROXIMATE PROPERTY LINE PER BASTROP COUNTY APPRAISAL DISTRICT
●	5/8" IRON ROD FOUND (UNLESS NOTED)
○	VOL. VOLUME
□	PG. PAGE
—	R.O.W. RIGHT-OF-WAY
—	OFFICIAL PUBLIC RECORDS, BASTROP COUNTY, TEXAS



TREE SURVEY OF APPROXIMATELY 15 ACRES  
OUT OF RESERVE "A", PINE FOREST  
PHASE II, UNIT 6 SUBDIVISION  
CITY OF BASTROP, BASTROP COUNTY, TEXAS

NEWMEDCO, LLC  
CALLED 26.540 ACRES  
VOL. 1370, PG. 627  
O.P.R.B.C.T.

**LEGAL DESCRIPTION:**  
A 26.540 ACRE TRACT OUT OF RESERVE A, A 27.0123 ACRE TRACT IN PINE FOREST, PHASE II, UNIT 6, A SUBDIVISION IN BASTROP COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT OF RECORD IN PLAT CABINET NUMBER 1, PAGE 165B, OF THE PLAT RECORDS OF BASTROP COUNTY, TEXAS, AS CONVEYED TO NEWMEDCO, LLC, IN GENERAL WARRANTY DEED OF RECORD IN VOLUME 1370, PAGE 627 OF THE OFFICIAL PUBLIC RECORDS OF BASTROP COUNTY, TEXAS.

**CONTROL NOTE:**  
BASIS OF BEARING IS THE TEXAS COORDINATE SYSTEM, CENTRAL ZONE (4203), NORTH AMERICAN DATUM 1983 (NAD83), 2011 ADJUSTMENT (EPOCH 2010) AND A VERTICAL DATUM OF NAVD83, GEOID 12B. ALL COORDINATE VALUES AND DISTANCES SHOWN ARE GRID VALUES.  
UNITS: US SURVEY FEET.

THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT. EASEMENTS OR OTHER MATTERS OF RECORD MAY EXIST WHERE NONE ARE SHOWN.

**FLOODPLAIN NOTE:**  
THIS PROPERTY (AS SHOWN HEREON) IS LOCATED WITHIN UNSHADED ZONE "X" (AREA OF MINIMAL FLOOD HAZARD), AS SHOWN ON F.I.R.M. PANEL NO. 48021C0360E, BASTROP COUNTY, TEXAS DATED JANUARY 19, 2006.

THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

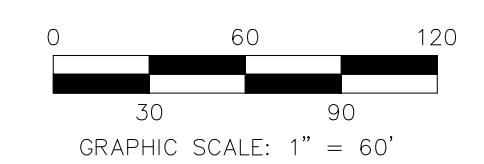
**TREE SURVEY NOTE:**  
THE TRUNK SIZE OF MULTI-TRUNK (MT) TREES AND THE CANOPY SHOWN HEREON WERE DETERMINED BY USING THE TREE SURVEY REQUIREMENTS OUTLINED IN SECTION 6.3.004 PROTECTED & HERITAGE TREES OF THE CITY OF BASTROP BUILDING BLOCK (B3) CODE (CURRENT VERSION: JANUARY 15, 2020).

I, GARRETT CAVAIUOLO, REGISTERED PROFESSIONAL LAND SURVEYOR,  
HEREBY CERTIFY THAT THIS TREE SURVEY REPRESENTS AN ACTUAL  
SURVEY PERFORMED ON THE GROUND UNDER MY SUPERVISION.

*Garrett Cavaiuolo*  
8/19/2020  
DATE  
GARRETT CAVAIUOLO  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NO. 6714  
DOUCET & ASSOCIATES  
GC.AVAIUOLO@DOUCETENGINEERS.COM

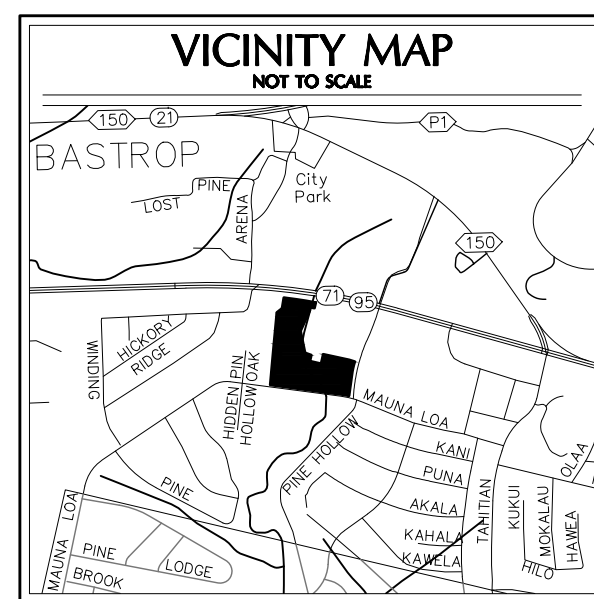


PAGE  
**13**



<p><b>DOUCET &amp; ASSOCIATES</b> Civil Engineering - Planning - Geospatial 7401 B. Highway 71 W, Suite 160 Austin, Texas 78735, Phone: (512)-583-2600 www.doucetengineers.com TPEIS Firm No.: 10105800 TPEIS Firm No. F-3937</p>	Date: 08/14/2020
	Scale: 1" = 60'
	Drawn by: AAC
	Reviewed: GC
	Project: 2179-001
	Sheet: 1 OF 2
	Field Book: 531
Party Chief: ADM	
Survey Date: 07/20/2020	

C:\pwworking\gpr1.collett\p\pms\34233\2179-001\_EXHIBIT\_GRID\_EXT.dwg



**BASTROP TOWN TRACT  
ABSTRACT NO.11**

**LEGEND**

APPROXIMATE PROPERTY LINE  
PER BASTROP COUNTY  
APPRAISAL DISTRICT  
5/8" IRON ROD FOUND  
(UNLESS NOTED)

VOL. VOLUME  
PG. PAGE  
R.O.W. RIGHT-OF-WAY  
O.P.R.B.C.T. OFFICIAL PUBLIC RECORDS,  
BASTROP COUNTY, TEXAS

**TREE SURVEY OF APPROXIMATELY 15 ACRES  
OUT OF RESERVE "A", PINE FOREST  
PHASE II, UNIT 6 SUBDIVISION  
CITY OF BASTROP, BASTROP COUNTY, TEXAS**

NUMBER	SIZE(N)	SPECIES	CANOPY(FT)	MT(N)
3000	21"	PINE	42'	
3001	14"	POST OAK	28'	
3002	16"	PINE	32'	
3003	22"	PINE	44'	
3004	17"	PINE	34'	
3005	18"	PINE	36'	13 10
3006	13"	PINE	26'	
3007	17"	PINE	34'	
3008	17"	PINE	34'	13 8
3009	15"	POST OAK	30'	
3010	16"	POST OAK	32'	
3011	15"	PINE	30'	
3012	14"	POST OAK	28'	
3013	14"	POST OAK	28'	
3014	17"	PINE	34'	
3015	17"	PINE	34'	
3016	17"	PINE	34'	
3017	14"	PINE	28'	
3018	16"	PINE	32'	
3019	14"	PINE	28'	
3020	20"	PINE	40'	14 11
3021	17"	PINE	34'	
3022	16"	PINE	32'	
3023	13"	PINE	26'	
3024	14"	PINE	28'	
3025	14"	PINE	28'	
3026	15"	PINE	30'	
3027	13"	PINE	26'	
3028	13"	PINE	26'	
3029	13"	PINE	26'	
3030	14"	PINE	28'	
3031	14"	PINE	28'	
3032	19"	PINE	38'	13 12
3033	19"	PINE	38'	14 6 4
3034	13"	PINE	26'	
3035	16"	PINE	32'	
3036	17"	PINE	34'	
3037	14"	PINE	28'	
3038	13"	PINE	26'	
3039	18"	PINE	36'	
3040	18"	PINE	36'	
3041	20"	PINE	40'	15 10
3042	17"	PINE	34'	
3043	16"	PINE	32'	
3044	14"	PINE	28'	
3045	14"	PINE	28'	
3046	16"	PINE	32'	
3047	18"	PINE	36'	
3048	16"	PINE	32'	
3049	15"	PINE	30'	
3050	13"	PINE	26'	
3051	16"	PINE	32'	
3052	17"	PINE	34'	
3053	13"	PINE	26'	
3054	15"	PINE	30'	
3055	13"	PINE	26'	
3056	18"	PINE	36'	13 11
3057	18"	PINE	36'	13 11
3058	22"	PINE	44'	
3059	20"	PINE	40'	
3060	17"	PINE	34'	
3061	24"	PINE	48'	
3062	24"	PINE	48'	
3063	19"	PINE	38'	
3064	15"	PINE	30'	
3065	14"	PINE	28'	13 5
3066	17"	PINE	34'	
3067	16"	PINE	32'	
3068	21"	PINE	42'	
3069	13"	PINE	26'	

NUMBER	SIZE(N)	SPECIES	CANOPY(FT)	MT(N)
3070	17"	PINE	34'	
3071	15"	PINE	30'	
3072	17"	PINE	34'	
3073	13"	CEDAR	26'	
3074	14"	PINE	28'	
3075	17"	PINE	34'	
3076	16"	PINE	32'	
3077	14"	PINE	28'	
3078	14"	PINE	28'	
3079	15"	PINE	30'	
3080	13"	PINE	26'	
3081	13"	PINE	26'	
3082	13"	PINE	26'	
3083	15"	PINE	30'	
3084	13"	PINE	26'	
3085	16"	PINE	32'	
3086	19"	PINE	38'	
3087	16"	PINE	32'	
3088	16"	PINE	32'	
3089	17"	PINE	34'	
3090	21"	PINE	42'	
3091	17"	PINE	34'	
3092	14"	PINE	28'	
3093	14"	PINE	28'	
3094	13"	PINE	26'	
3095	16"	PINE	32'	
3096	19"	PINE	38'	
3097	14"	PINE	28'	
3098	20"	PINE	40'	
3099	20"	PINE	40'	
3100	16"	PINE	32'	
3101	14"	PINE	28'	
3102	13"	PINE	26'	
3103	14"	PINE	28'	
3104	13"	PINE	26'	
3105	13"	PINE	26'	
3106	13"	PINE	26'	
3107	13"	PINE	26'	
3108	19"	PINE	38'	
3109	14"	PINE	28'	
3110	13"	PINE	26'	
3111	17"	PINE	34'	
3112	16"	PINE	32'	
3113	16"	PINE	32'	
3114	22"	PINE	44'	
3115	17"	PINE	34'	
3116	16"	PINE	32'	
3117	20"	PINE	40'	
3118	20"	PINE	40'	
3119	18"	PINE	36'	
3120	19"	PINE	38'	
3121	20"	PINE	40'	
3122	13"	PINE	26'	
3123	19"	PINE	38'	
3124	16"	PINE	32'	
3125	16"	PINE	32'	
3126	14"	PINE	28'	
3127	13"	PINE	26'	
3128	19"	PINE	38'	
3129	19"	PINE	38'	
3130	16"	PINE	32'	
3131	16"	PINE	32'	
3132	17"	PINE	34'	
3133	13"	PINE	26'	
3134	13"	PINE	26'	
3135	15"	PINE	30'	13 5
3136	13"	PINE	26'	
3137	18"	PINE	36'	
3138	14"	PINE	28'	
3139	17"	PINE	34'	

NUMBER	SIZE(N)	SPECIES	CANOPY(FT)	MT(N)
3140	17"	PINE	34'	
3141	14"	PINE	28'	
3142	17"	PINE	34'	
3143	16"	PINE	32'	
3144	14"	PINE	28'	
3145	23"	PINE	46'	
3146	16"	PINE	32'	
3147	14"	PINE	28'	
3148	14"	PINE	28'	
3149	13"	PINE	26'	
3150	13"	PINE	26'	
3151	15"	PINE	30'	
3152	16"	PINE	32'	
3153	19"	PINE	38'	16 6
3154	20"	PINE	40'	
3155	16"	PINE	32'	
3156	15"	PINE	30'	
3157	16"	PINE	32'	
3158	14"	PINE	28'	
3159	19"	PINE	38'	
3160	14"	PINE	28'	
3161	22"	PINE	44'	
3162	28"	PINE	56'	
3163	16"	PINE	32'	
3164	18"	PINE	36'	
3165	18"	PINE	36'	
3166	15"	PINE	30'	
3167	15"	PINE	30'	
3168	19"	PINE	38'	
3169	18"	PINE	36'	
3170	19"	PINE	38'	
3171	20"	PINE	40'	
3172	16"	PINE	32'	
3173	20"	PINE	40'	
3174	16"	PINE	32'	
3175	16"	PINE	32'	
3176	15"	PINE	30'	
3177	15"	PINE	30'	
3178	15"	PINE	30'	
3179	19"	POST OAK	38'	
3180	16"	PINE	32'	
3181	28"	PINE	56'	
3182	13"	PINE	26'	
3183	14"	PINE	28'	
3184	25"	POST OAK	50'	13 12 12
3185	16"	PINE	32'	
3186	19"	POST OAK	38'	
3187	13"	PINE	26'	
3188	13"	PINE	26'	
3189	15"	PINE	30'	
3190	17"	PINE	34'	
3191	17"	PINE	34'	
3192	13"	PINE	26'	
3193	20"	PINE	40'	16 7
3194	22"	PINE	44'	19 5
3195	18"	PINE	36'	
3196	14"	PINE	28'	
3197	17"	PINE	34'	
3198	20"	PINE	40'	
3199	13"	PINE	26'	
3200	16"	PINE	32'	
3201	28"	PINE	56'	
3202	15"	PINE	30'	
3203	13"	PINE	26'	
3204	13"	PINE	26'	
3205	15"	PINE	30'	
3206	19"	POST OAK	38'	
3207	19"	POST OAK	38'	
3208	14"	PINE	28'	
3209	25"	PINE	50'	

NUMBER	SIZE(N)	SPECIES	CANOPY(FT)	MT(N)
3210	17"	PINE	34'	
3211	13"	PINE	26'	
3212	23"	PINE	46'	
3213	26"	PINE	52'	
3214	19"	PINE	38'	
3215	33"	PINE	66'	
3216	27"	PINE	54'	
3217	13"	PINE	26'	
3218	17"	PINE	34'	
3219	21"	PINE	42'	
3220	16"	PINE	32'	
3221	17"	PINE	34'	
3222	28"	PINE	56'	
3223	19"	PINE	38'	16 6
3224	20"	PINE	40'	
3225	21"	PINE	42'	
3226	16"	PINE	32'	
3227	24"	PINE	48'	
3228	13"	PINE	26'	
3229	16"	PINE	32'	
3230	16"	PINE	32'	
3231	16"	PINE	32'	
3232	15"	PINE	30'	
3233	17"	PINE	34'	
3234	14"	PINE	28'	
3235	14"	PINE	28'	
3236	16"	PINE	32'	
3237	18"	PINE	36'	
3238	16"	PINE	32'	
3239	16"	PINE	32'	13 6
3240	21"	PINE	42'	
3241	17"	PINE	34'	
3242	13"	PINE	26'	
3243	15"	PINE	30'	
3244	13"	PINE	26'	
3245	13"	PINE	26'	
3246	15"	PINE	30'	
3247	23"	PINE	46'	13 11 10
3248	17"	PINE	34'	13 7
3249	15"	PINE	30'	
3250	14"	PINE	28'	
3251	14"	PINE	28'	
3252	20"	PINE	40'	15 6 4
3253	17"	PINE	34'	
3254	15"	PINE	30'	
3255	14"	PINE	28'	
3256	16"	PINE	32'	
3257	14"	PINE	28'	
3258	15"	PINE	30'	
3259	13"	PINE	26'	
3260	15"	PINE	30'	
3261	13"	PINE	26'	
3262	13"	PINE	26'	
3263	15"	PINE	30'	
3264	15"	PINE	30'	
3265	16"	PINE	32'	
3266	14"	PINE	28'	
3267	21"	PINE	42'	
3268	15"	PINE	30'	
3269	13"	PINE	26'	
3270	17"	PINE	34'	
3271	13"	POST OAK	26'	
3272	13"	PINE	26'	
3273	13"	PINE	26'	
3274	13"	PINE	26'	
3275	16"	POST OAK	32'	
3276	14"	PINE	28'	
3277	15"	PINE	30'	
3278	15"	PINE	30'	
3279	13"	PINE	26'	

NUMBER	SIZE(N)	SPECIES	CANOPY(FT)	MT(N)
3280	13"	PINE	26'	
3281	13"	PINE	26'	
3282	23"	PINE	46'	
3283	14"	PINE	28'	
3284	16"	POST OAK	32'	
3285	14"	PINE	28'	
3286	16"	PINE	32'	
3287	14"	PINE	28'	
3288	14"	PINE	28'	
3289	13"	PINE	26'	
3290	15"	PINE	30'	
3291	14"	PINE	28'	
3292	19"	PINE	38'	
3293	18"	PINE	36'	
3294	14"	PINE	28'	
3295	19"	PINE	38'	
3296	16"	PINE	32'	
3297	28"	PINE	56'	
3298	16"	PINE	32'	
3299	2			

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SEAL

PROJECT TITLE

BASTROP, TX

ISSUED FOR: DATE

REVISIONS

MARK	DESCRIPTION	DATE

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PROJECT NO.

20-012

SHEET TITLE

BUILDING  
TABULATION

SHEET NUMBER

PAGE  
15

RESIDENTIAL BUILDING AND UNIT MIX										UNIT TYPES																			
BLDG NO.	BLDG. ADDRESSES	BUILDING TYPE	UNITS PER BUILDING	TOTAL GROSS AREA PER BLDG.	LEVEL	UNIT AREA GROSS (SF)	COMMON AREA GROSS (SF)			1BR/1BATH					2BR/2BATH				3BR/3BATH										
							PATIO/ BALCONY	CIRCULATION/ MECH.	GSF	1 BR	1 BR ACC	1 BR A1	1 BR A1 ACC	1 BR B2	1 BR B2 ACC	2BR SPLIT	2 BR SPLIT ACC	2BR B8	3BR SPLIT	3BR SPLIT ACC	3BR A	3BR B1	3BR B1 ACC	3BR B2					
									NSF	865	865	785	785	828	828	1200	1200	1308	1325	1325	1318	1318	1318	1360					
1	1000	(1BR14+2BR4+3BR6)	24	30211	1ST FLOOR	7518	602	1225				2		3	1									2					
					2ND FLOOR	8564	602	1225																					
					3RD FLOOR	8648	602	1225																					
					TOTAL	24730	1806	3675								2		11	1							4		2	2
2	2000	(1BR12+2BR12+3BR12)	36	47796	1ST FLOOR	13560	769	1603				4					3	1					3	1					
					2ND FLOOR	13560	769	1603																					
					3RD FLOOR	13560	769	1603																					
					TOTAL	40680	2307	4809								12				11	1					11	1		
3	3000	(1BR14+2BR4+3BR6)	24	30211	1ST FLOOR	7518	602	1225																					
					2ND FLOOR	8564	602	1225																					
					3RD FLOOR	8648	602	1225																					
					TOTAL	24730	1806	3675																					
4	4000	(1BR12+2BR12+3BR12)	36	47796	1ST FLOOR	13560	769	1603				4					3	1					4						
					2ND FLOOR	13560	769	1603																					
					3RD FLOOR	13560	769	1603																					
					TOTAL	40680	2307	4809								12				11	1					12			
5	5000	(1BR12+2BR12+3BR12)	36	47796	1ST FLOOR	13560	769	1603				3	1				4						4						
					2ND FLOOR	13560	769	1603																					
					3RD FLOOR	13560	769	1603																					
					TOTAL	40680	2307	4809								11	1			12						12			
6	6000	(1BR12+2BR12+3BR12)	36	47796	1ST FLOOR	13560	769	1603				4					3	1					3	1					
					2ND FLOOR	13560	769	1603																					
					3RD FLOOR	13560	769	1603																					
					TOTAL	40680	2307	4809								12				11	1					11	1		
7	7000	(1BR14+2BR4+3BR6)	24	30211	1ST FLOOR	7518	602	1225																					
					2ND FLOOR	8564	602	1225																					
					3RD FLOOR	8648	602	1225																					
					TOTAL	24730	1806	3675																					
8	8000	(1BR14+2BR4+3BR6)	24	30211	1ST FLOOR	7518	602	1225																					
					2ND FLOOR	8564	602	1225																					
					3RD FLOOR	8648	602	1225																					
					TOTAL	24730	1806	3675																					
				240	312028	261640	16452	33936		47	1	6	2	46	2	45	3	16	46	2	8	6	2	8					

COMMON BUILDING AREAS		
GROSS AREA		
CLUBHOUSE	1 BLDG	3,900 SF
ENTERTAINMENT AREA	1 PAVILION	775 SF
MAIL KIOSK	1 PAVILIONS	663 SF

**PARKING COUNT:**

- 300 UNASSIGNED SURFACE SPACES
- 8 ACCESSIBLE SURFACE SPACES
- 2 VAN ACCESSIBLE SURFACE SPACES
- 14 ASSIGNED DRIVEWAY SPACES
- 2 ACCESSIBLE DRIVEWAY SPACES
- 14 ATTACHED GARAGE SPACES
- 2 ACCESSIBLE ATTACHED GARAGE SPACES
- 30 DETACHED GARAGE SPACES
- TOTAL PARKING: 372 SPACES**

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BASTROP, TX

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MARK	DESCRIPTION	DATE

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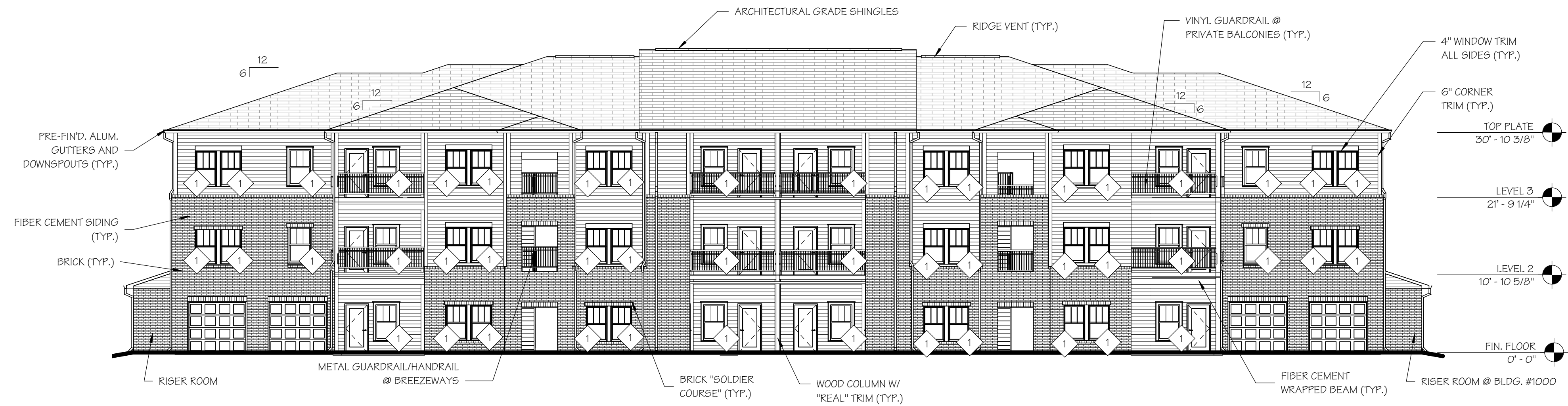
20-012

SHEET TITLE

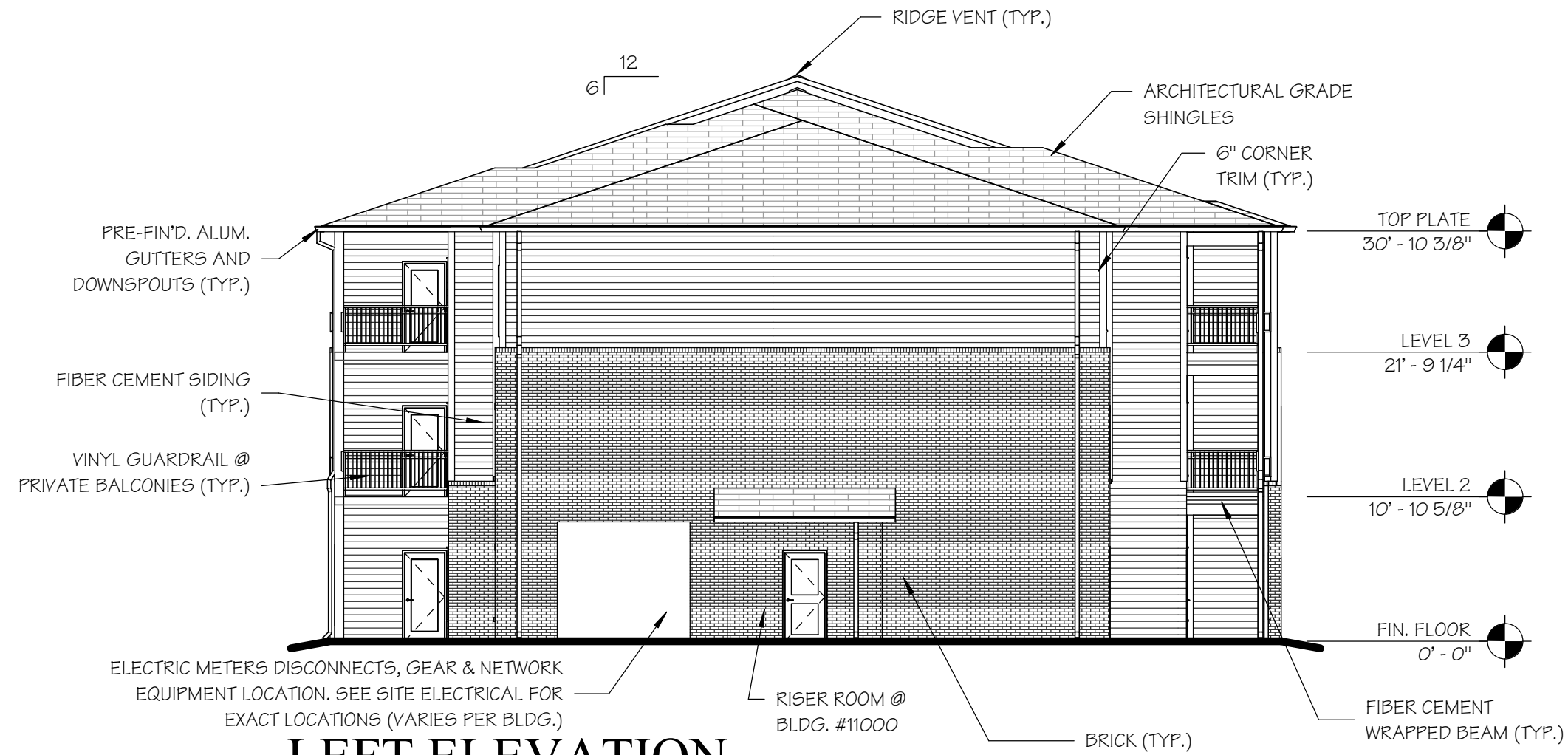
1BR14+2BR4+3BR6  
EXTERIOR  
ELEVATIONS

SHEET NUMBER

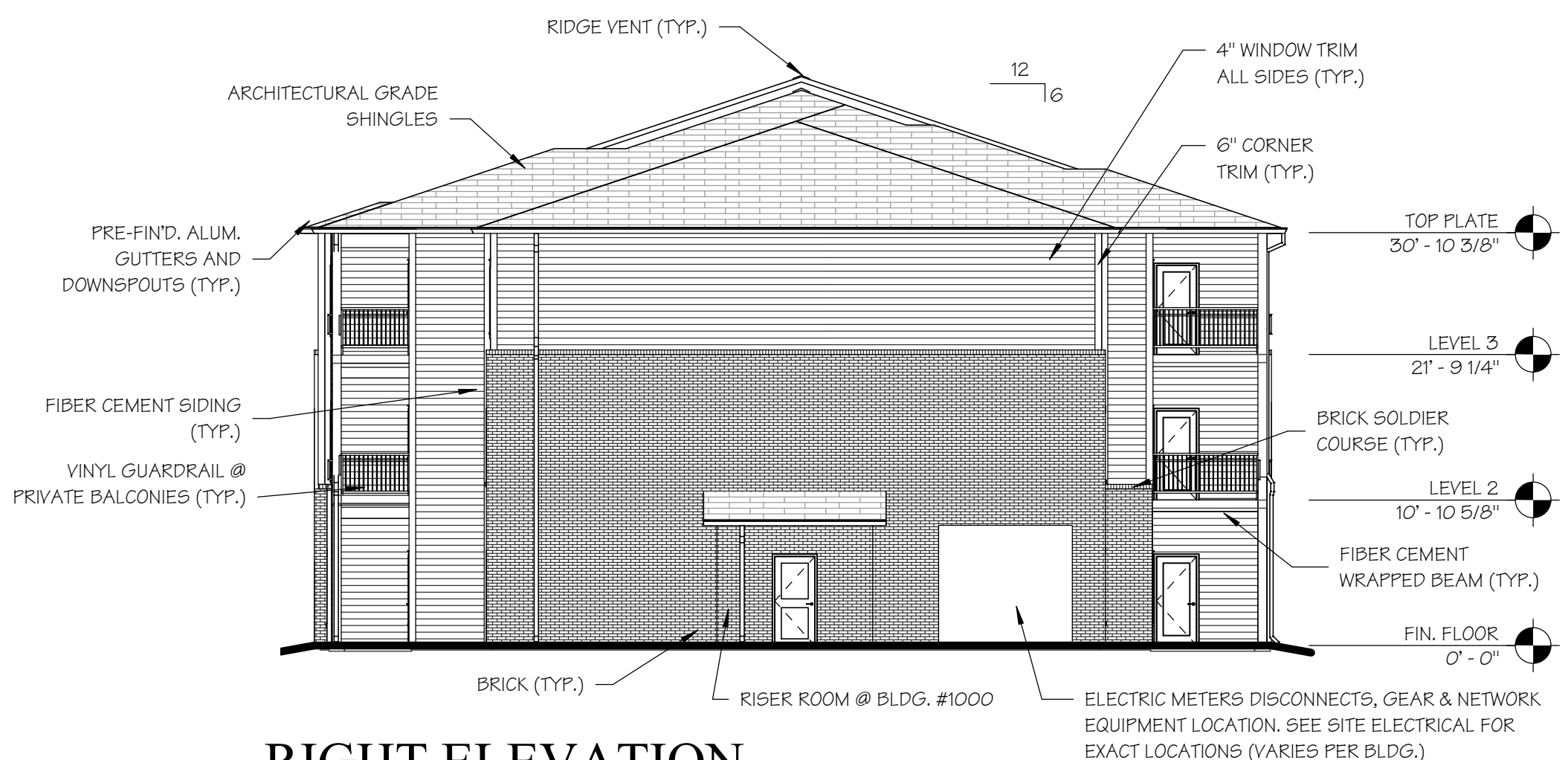
PAGE  
16



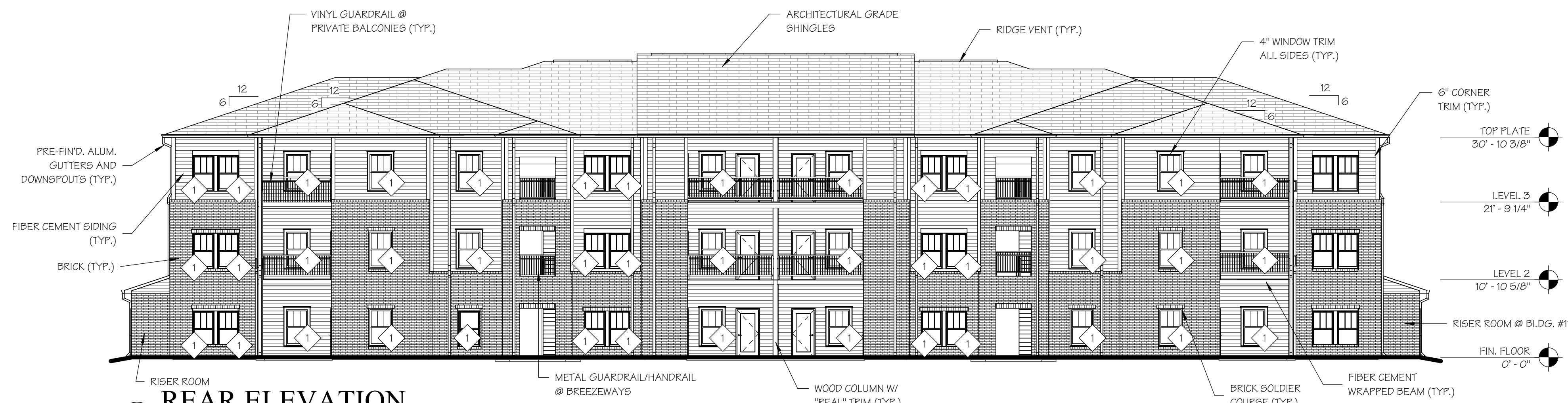
1  
A.203 SCALE: 3/32" = 1'-0"  
FRONT ELEVATION



2  
A.203 SCALE: 3/32" = 1'-0"  
LEFT ELEVATION



3  
A.203 SCALE: 3/32" = 1'-0"  
RIGHT ELEVATION



4  
A.203 SCALE: 3/32" = 1'-0"  
REAR ELEVATION

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20-012

SHEET TITLE

ELEVATIONS -  
3BR12+2BR12+1BR12

SHEET NUMBER

PAGE  
17



1 3BR12+2BR12+1BR12 - FRONT ELEVATION  
3/32" = 1'-0"



3 3BR12+2BR12+1BR12 - RIGHT ELEVATION  
3/32" = 1'-0"



2 3BR12+2BR12+1BR12 - LEFT ELEVATION  
3/32" = 1'-0"



4 3BR12+2BR12+1BR12 - REAR ELEVATION  
3/32" = 1'-0"

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MARK	DESCRIPTION	DATE

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FIGURED DIMENSIONS ONLY

PROJECT NO.

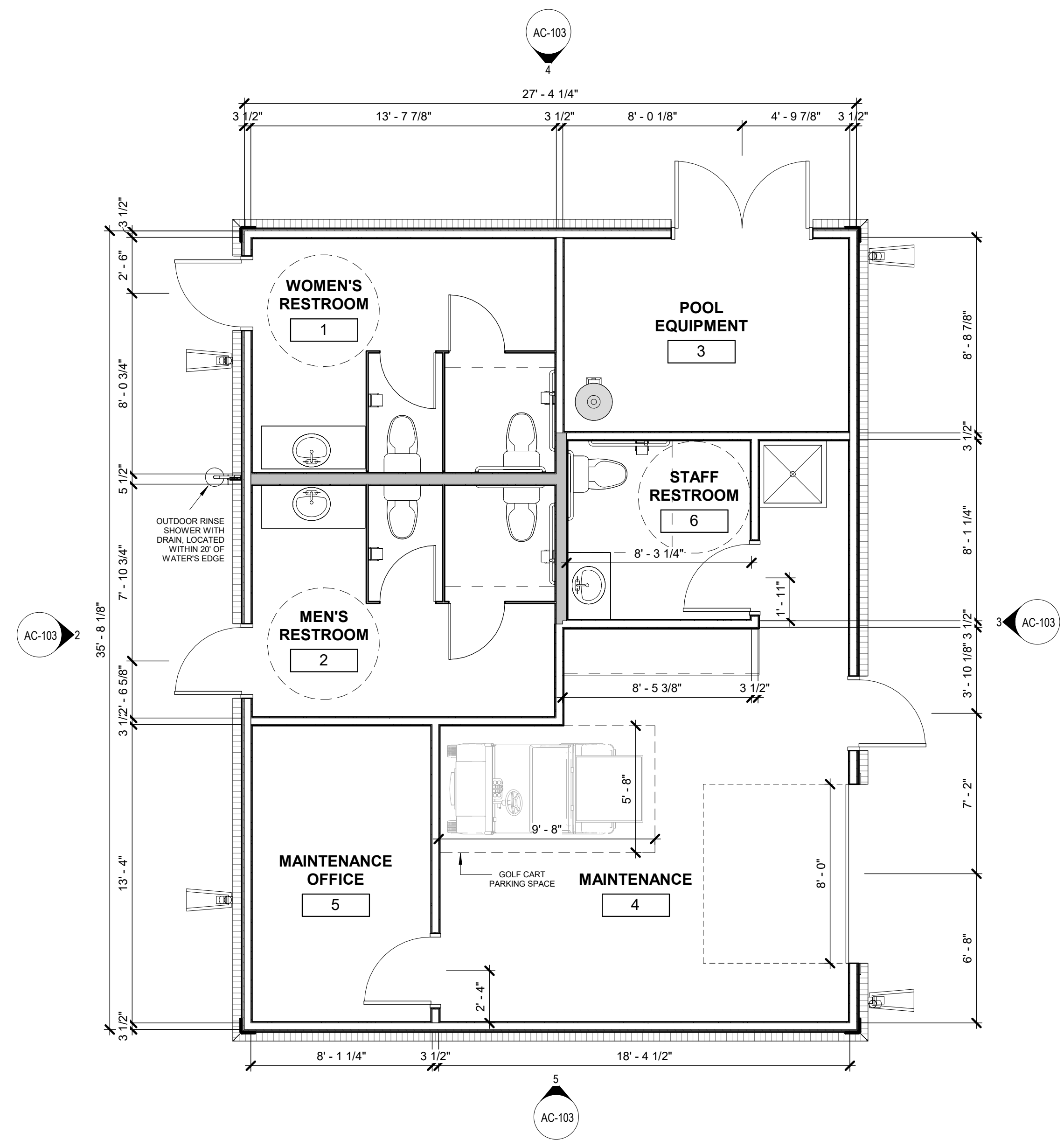
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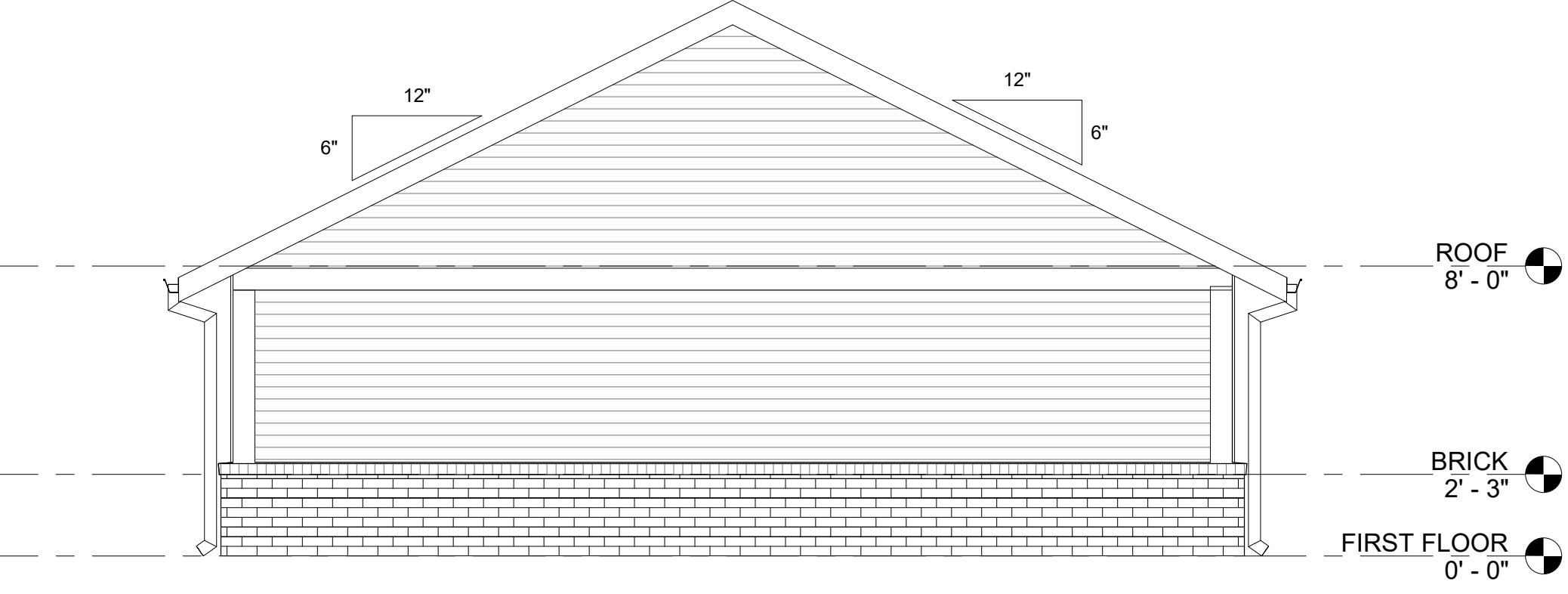
MAINTENANCE/POOL  
HOUSE FLOOR PLAN  
AND DETAILS

SHEET NUMBER

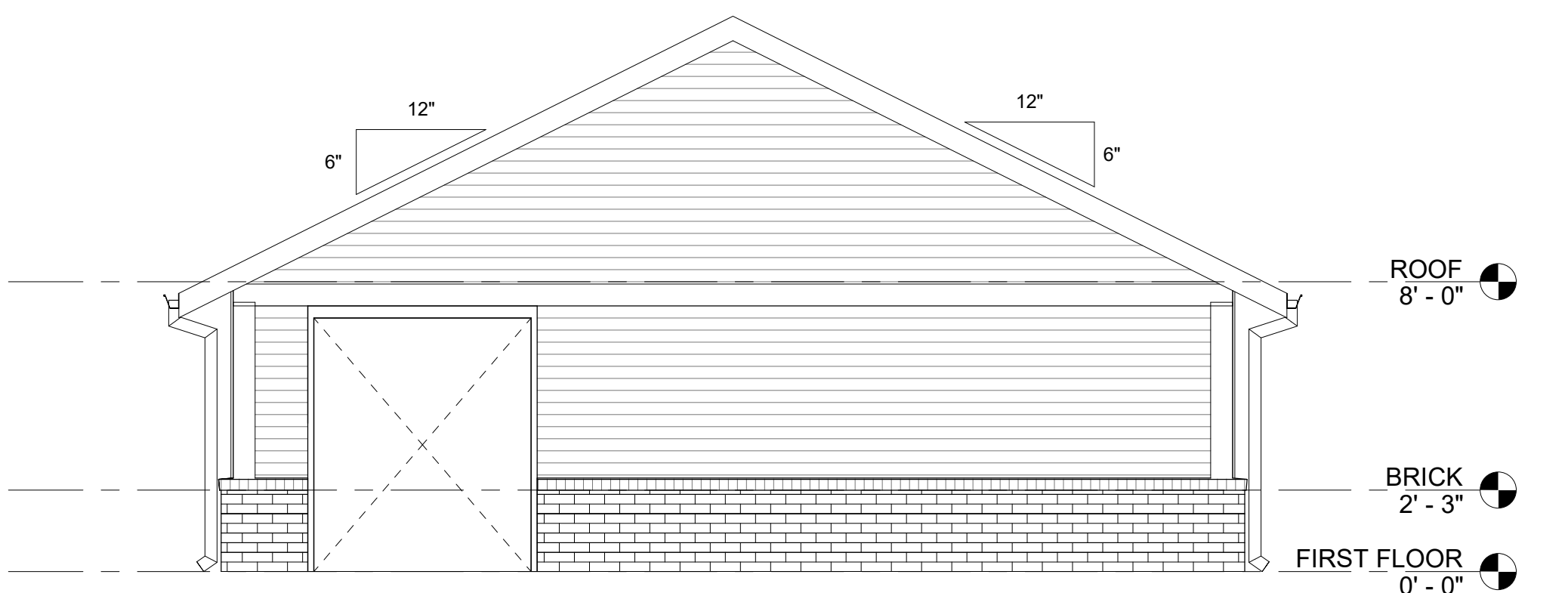
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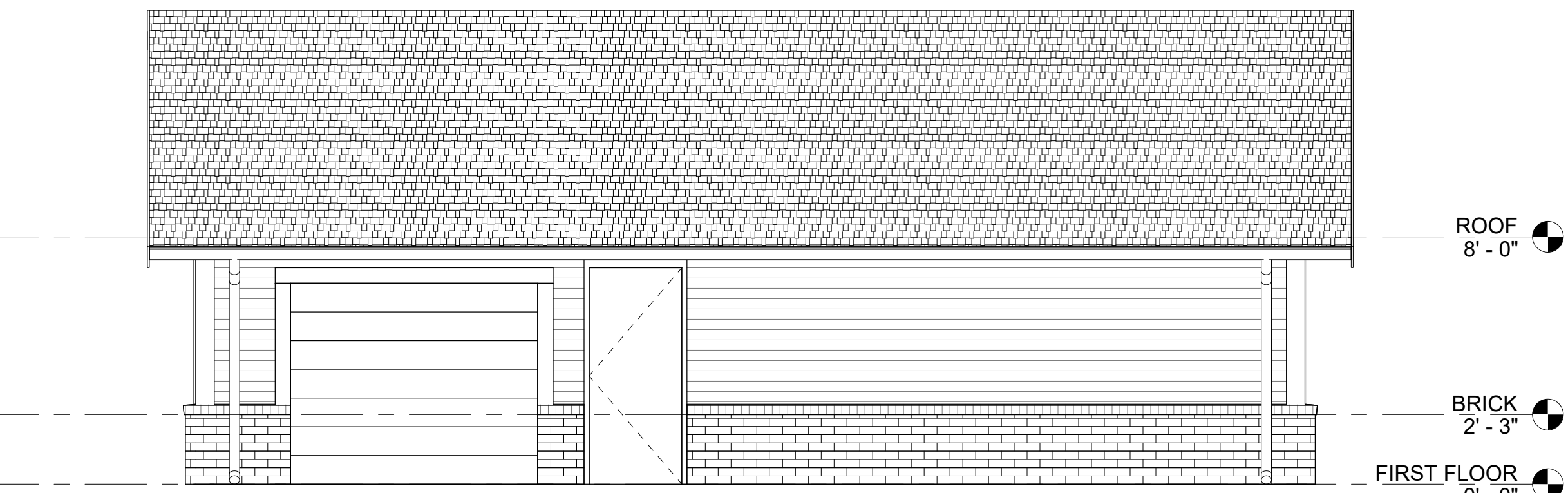
1 MAINTENANCE/POOL HOUSE FLOOR PLAN  
AC-103 SCALE: 1/4" = 1'-0"



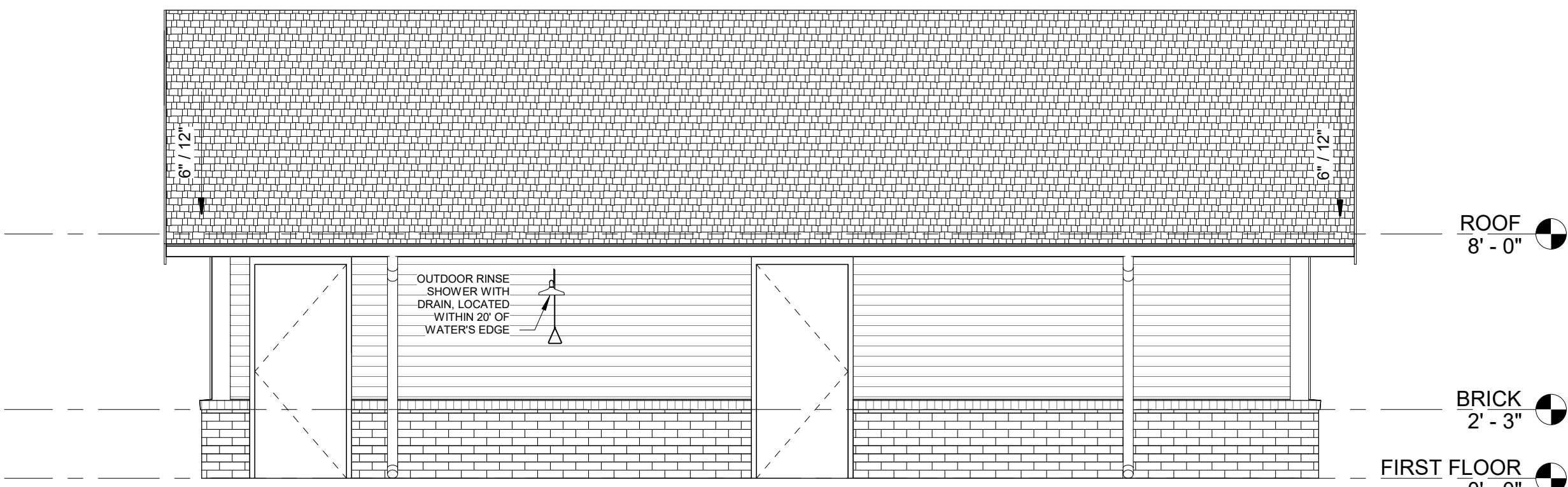
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AC-103 SCALE: 1/4" = 1'-0"



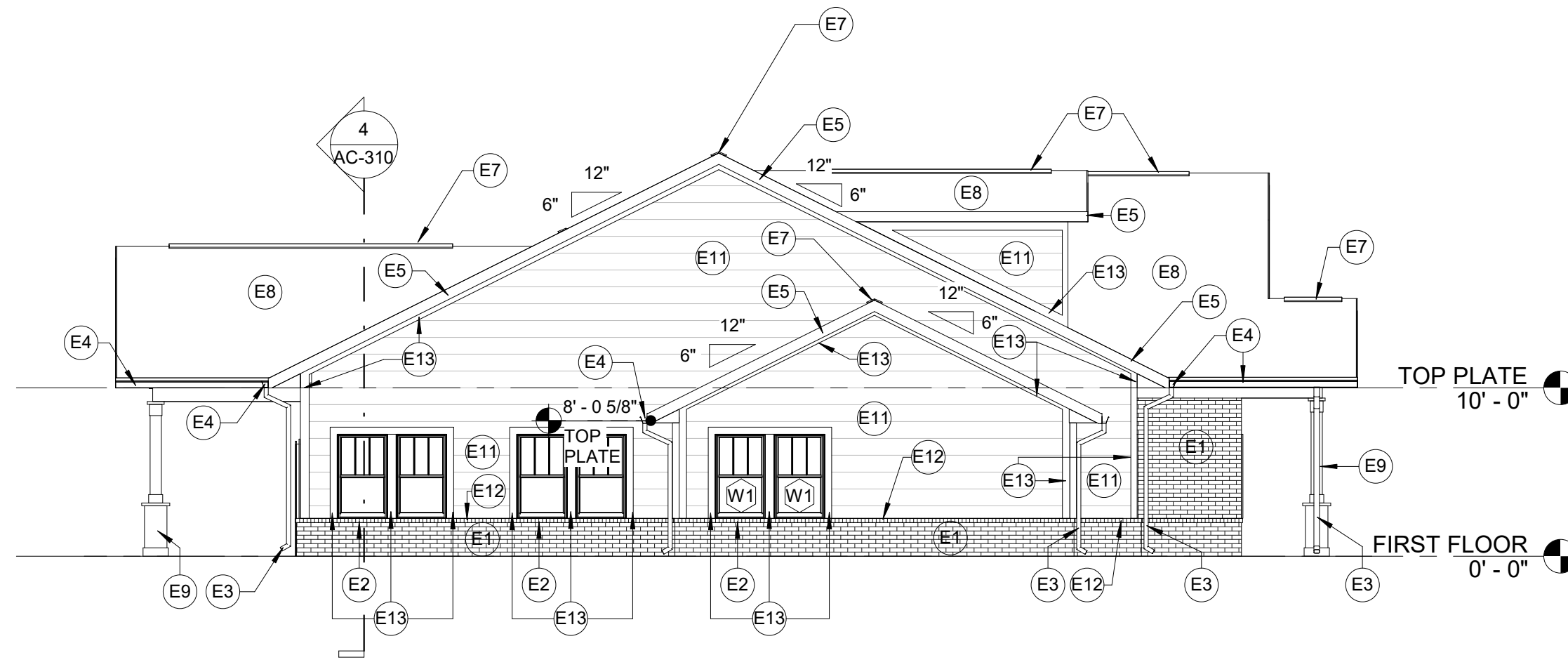
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AC-103 SCALE: 1/4" = 1'-0"



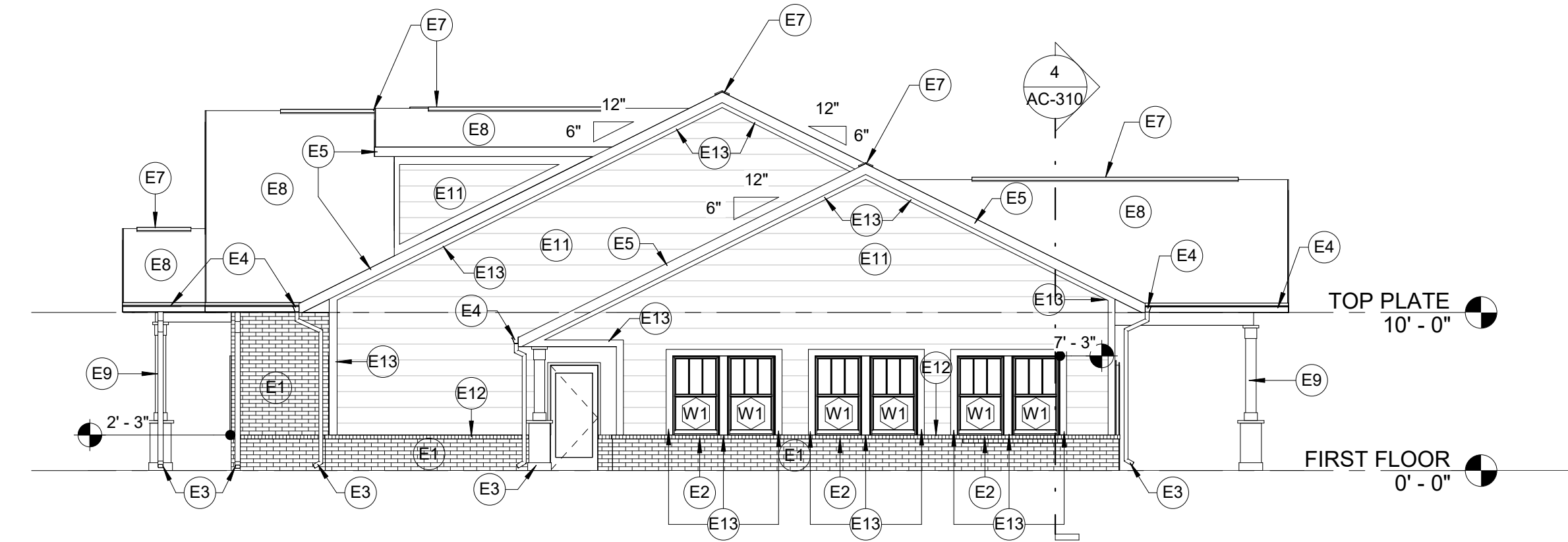
3 MAINTENANCE ENTRANCE ELEVATION  
AC-103 SCALE: 1/4" = 1'-0"



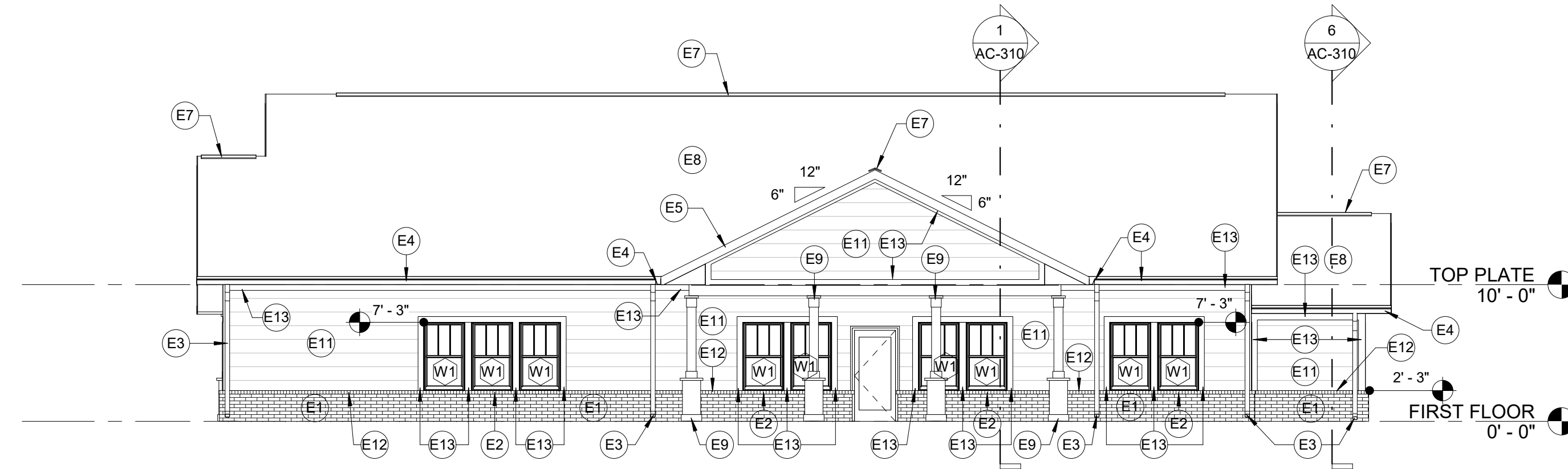
2 POOL SIDE ELEVATION  
AC-103 SCALE: 1/4" = 1'-0"



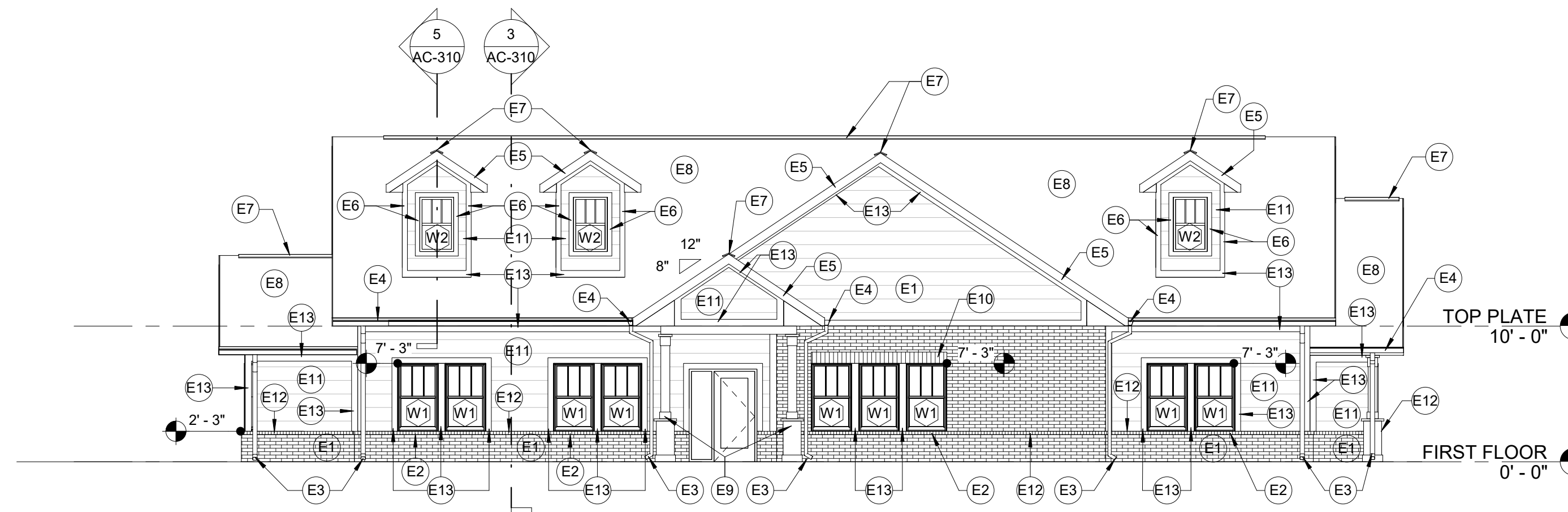
**4 LEFT ELEVATION**  
1/8" = 1'-0"



**3 RIGHT ELEVATION**  
1/8" = 1'-0"



**2 BACK ELEVATION**  
1/8" = 1'-0"



**1 FRONT ELEVATION**  
1/8" = 1'-0"

BUILDING ELEVATION NOTES	
Key	Note
E1	FACE BRICK, KING SIZE
E2	BRICK ROWLOCK SILL, KING SIZE
E3	2"x3" METAL DOWNSPOUTS, SPLASHBLOCKS TO BE LOCATED UNDER EACH DOWNSPOUT AND POINTED AWAY FROM BUILDING
E4	4" METAL GUTTER
E5	1x ALUMINUM WRAPPED FASCIA
E6	HARDIE TRIM 5/4 ROUGH X 3.5"
E7	RIDGE VENT
E8	ASPHALT DIMENSIONAL SHINGLES
E9	8/8 REAL POST, HEAD AND BASE TRIM TO BE 1x PAINTED
E10	BRICK HEADER, SOLDIER COURSE
E11	JAMES HARDIE SELECT DEDARMILL 7 1/4" FIBER CEMENT LAP SIDING, TEXTURED - MULTIPLE COLORS TO BE SELECTED BY ARCHITECT/OWNER
E12	BRICK ROWLOCK LEDGE
E13	HARDIE TRIM 5/4 ROUGH X 5.5"



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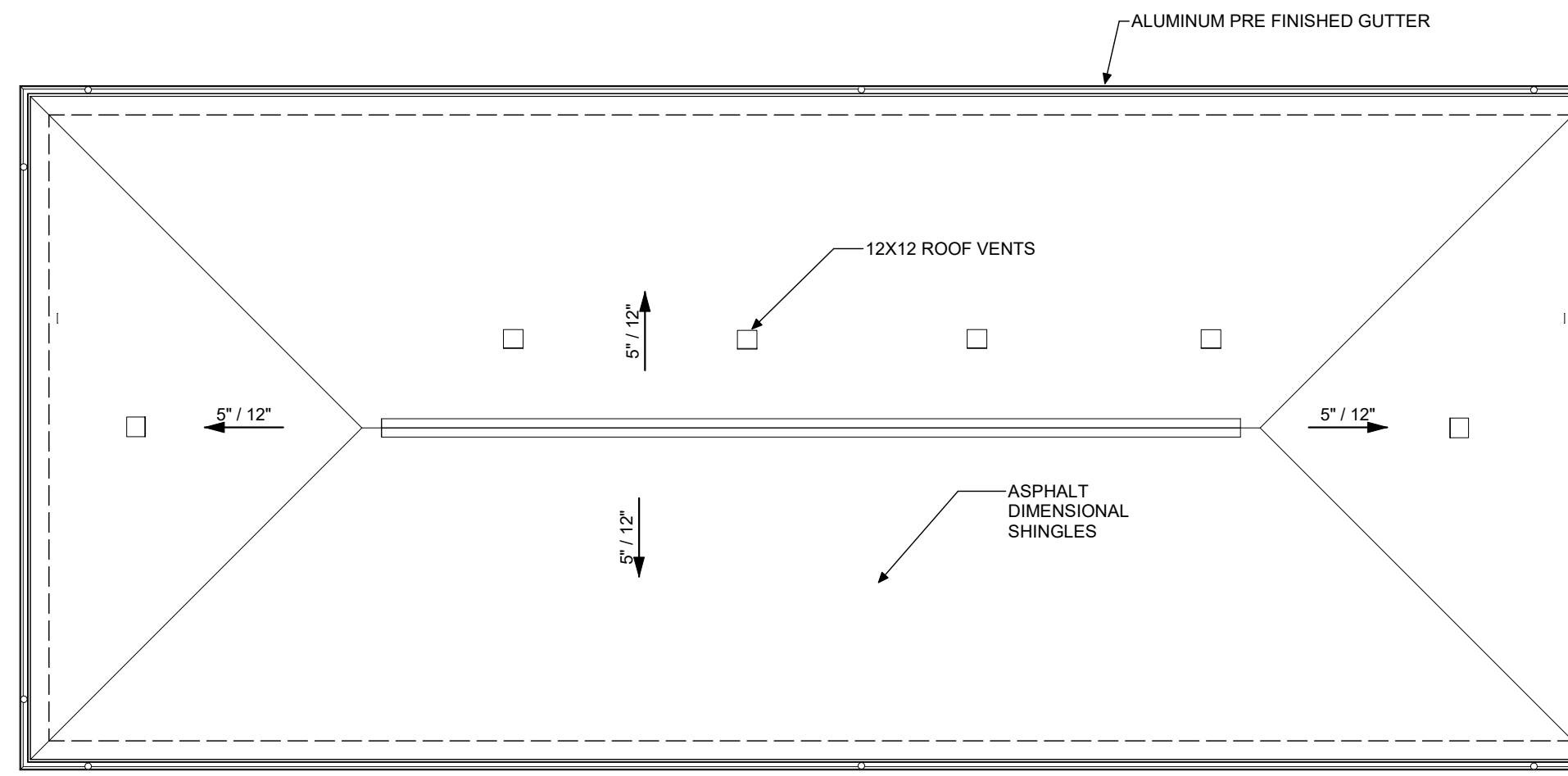
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CLUBHOUSE  
ELEVATIONS

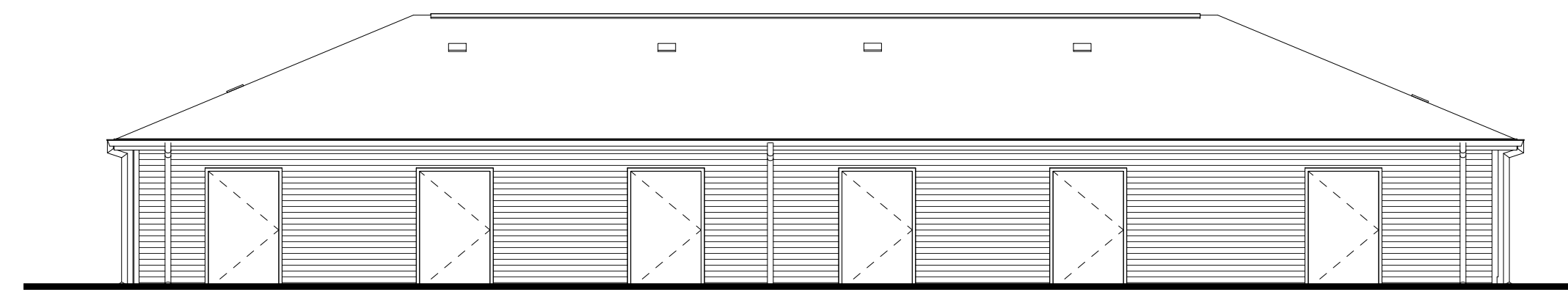
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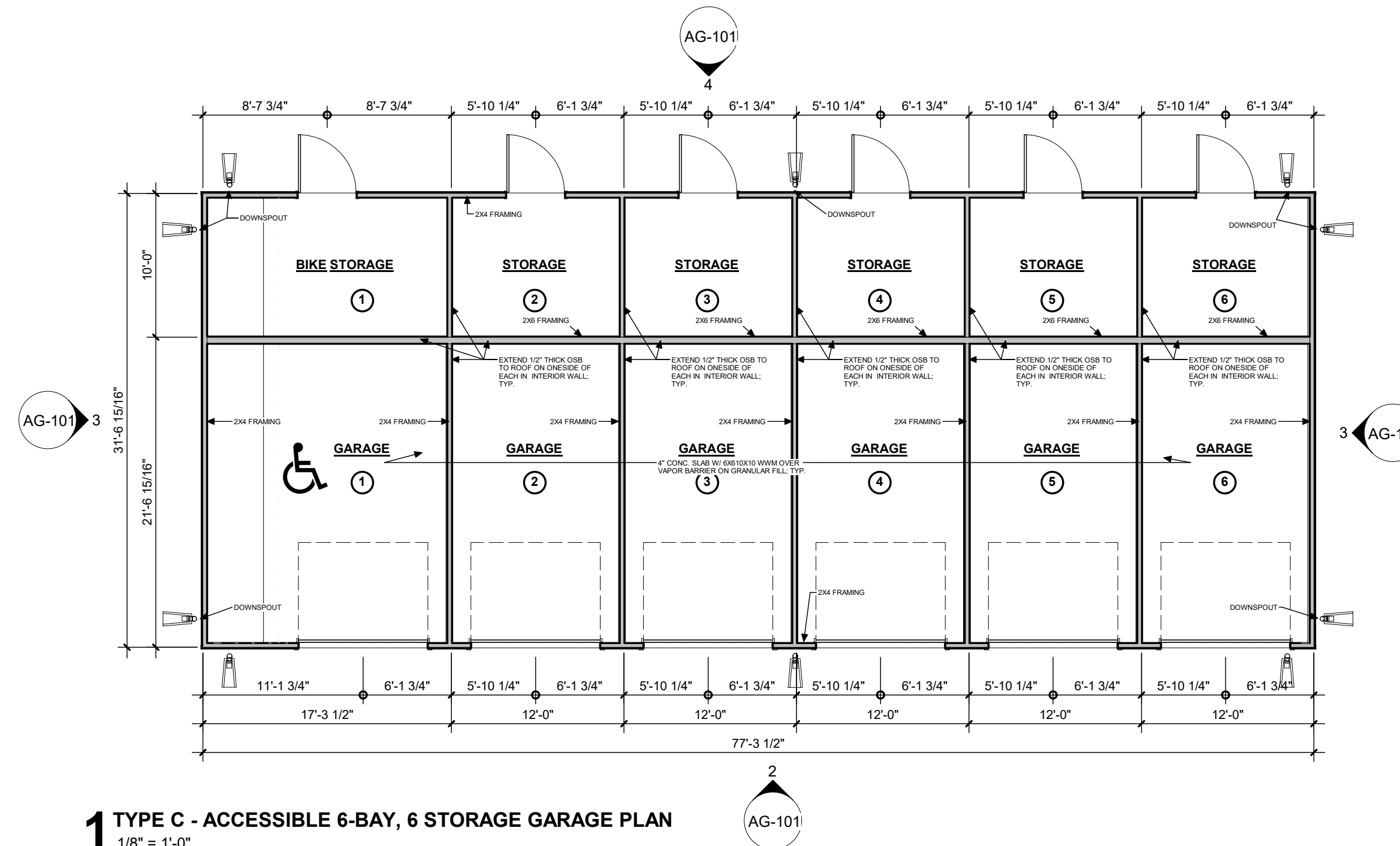




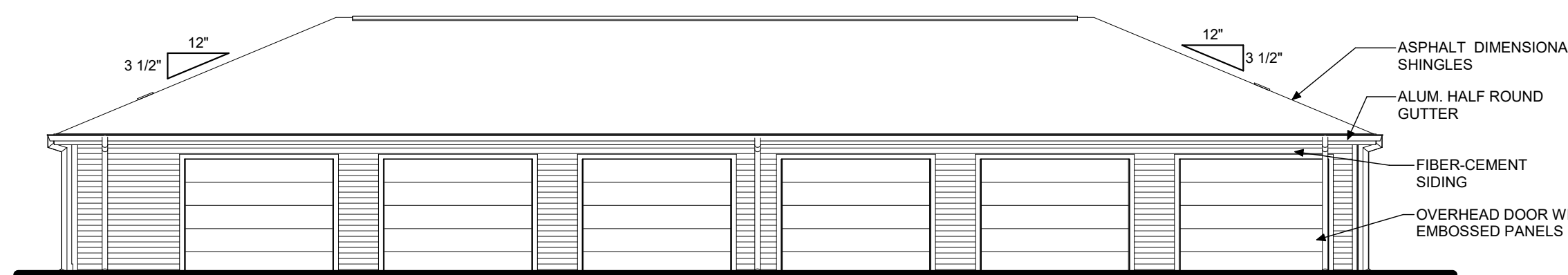
**5** TYPE C - ACCESSIBLE 6-BAY, 6 STORAGE GARAGE ROOF PLAN  
1/8" = 1'-0"



**4** TYPE C - ACCESSIBLE 6-BAY, 6 STORAGE GARAGE REAR ELEVATION  
1/8" = 1'-0"

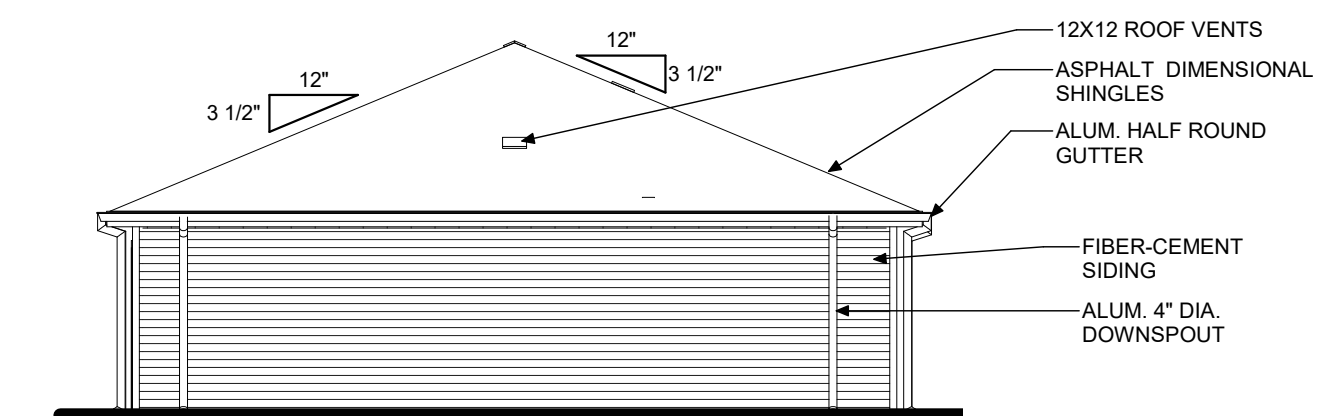


**1** TYPE C - ACCESSIBLE 6-BAY, 6 STORAGE GARAGE PLAN  
1/8" = 1'-0"



**2** TYPE C - ACCESSIBLE 6-BAY, 6 STORAGE GARAGE FRONT ELEVATION  
1/8" = 1'-0"

**EXTERIOR MATERIALS:**  
FIBER-CEMENT SIDING: 100%



**3** TYPE C - ACCESSIBLE 6-BAY, 6 STORAGE GARAGE SIDE ELEVATION  
1/8" = 1'-0"

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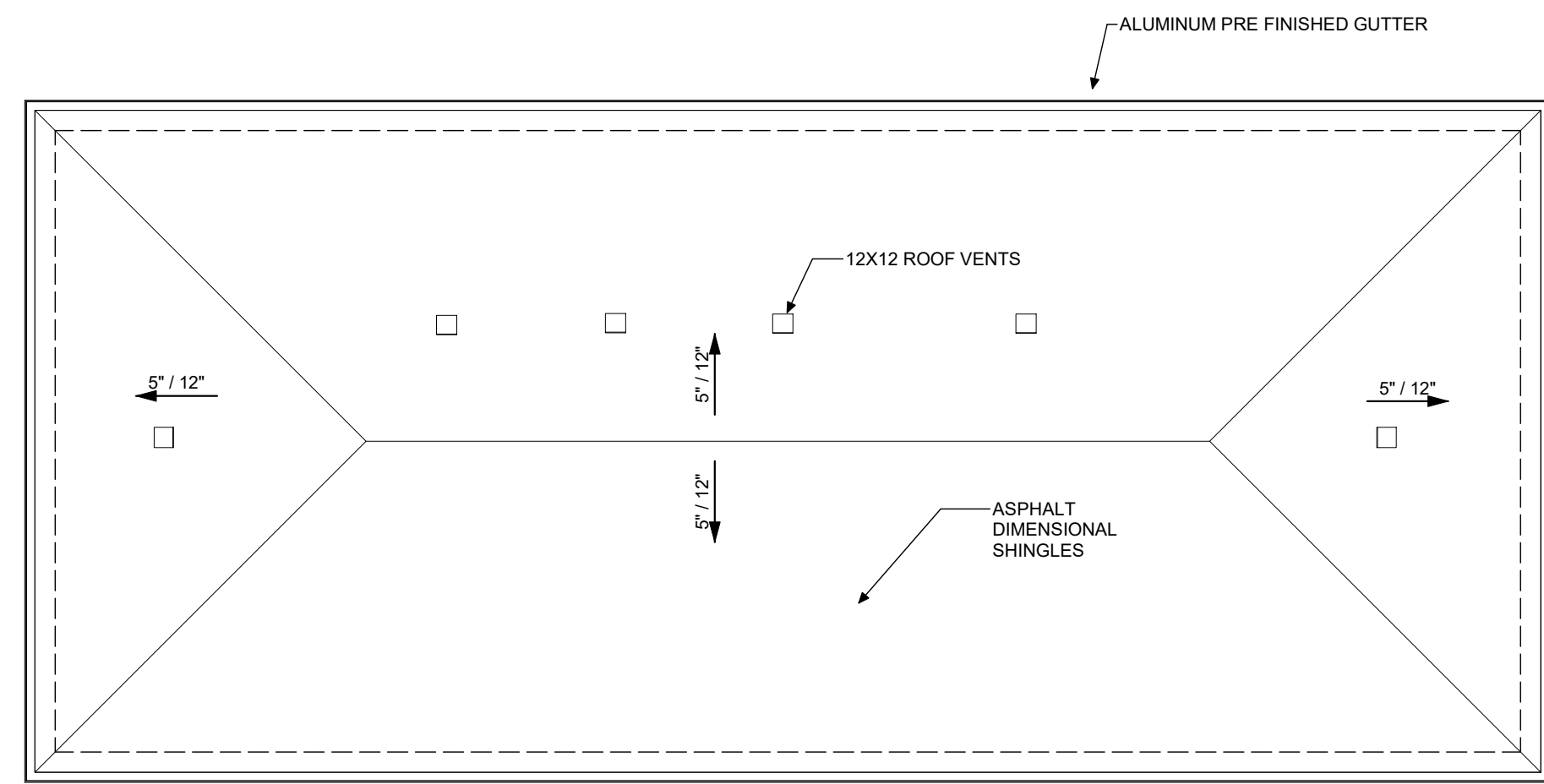
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TYPE A - ACCESSIBLE  
6-BAY, 6 STORAGE  
GARAGE

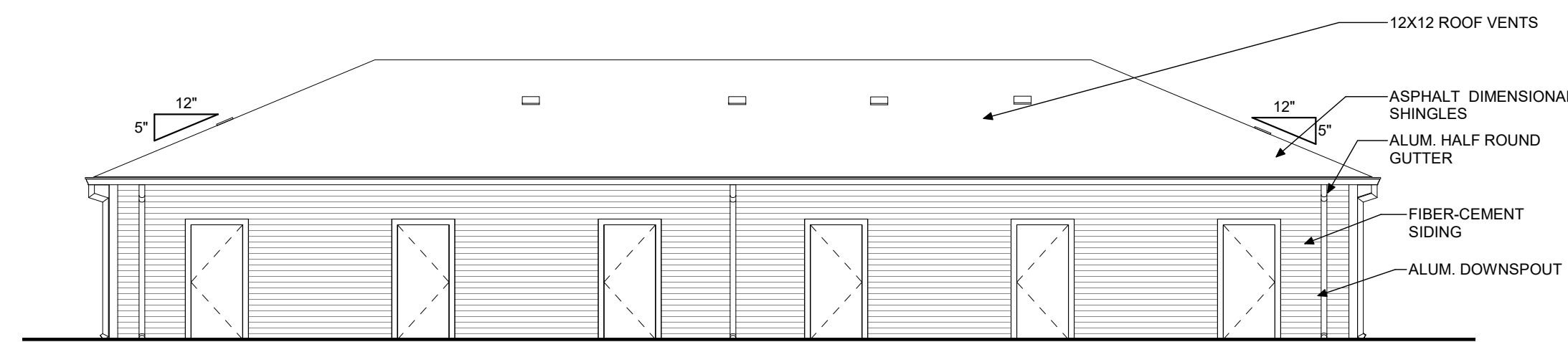
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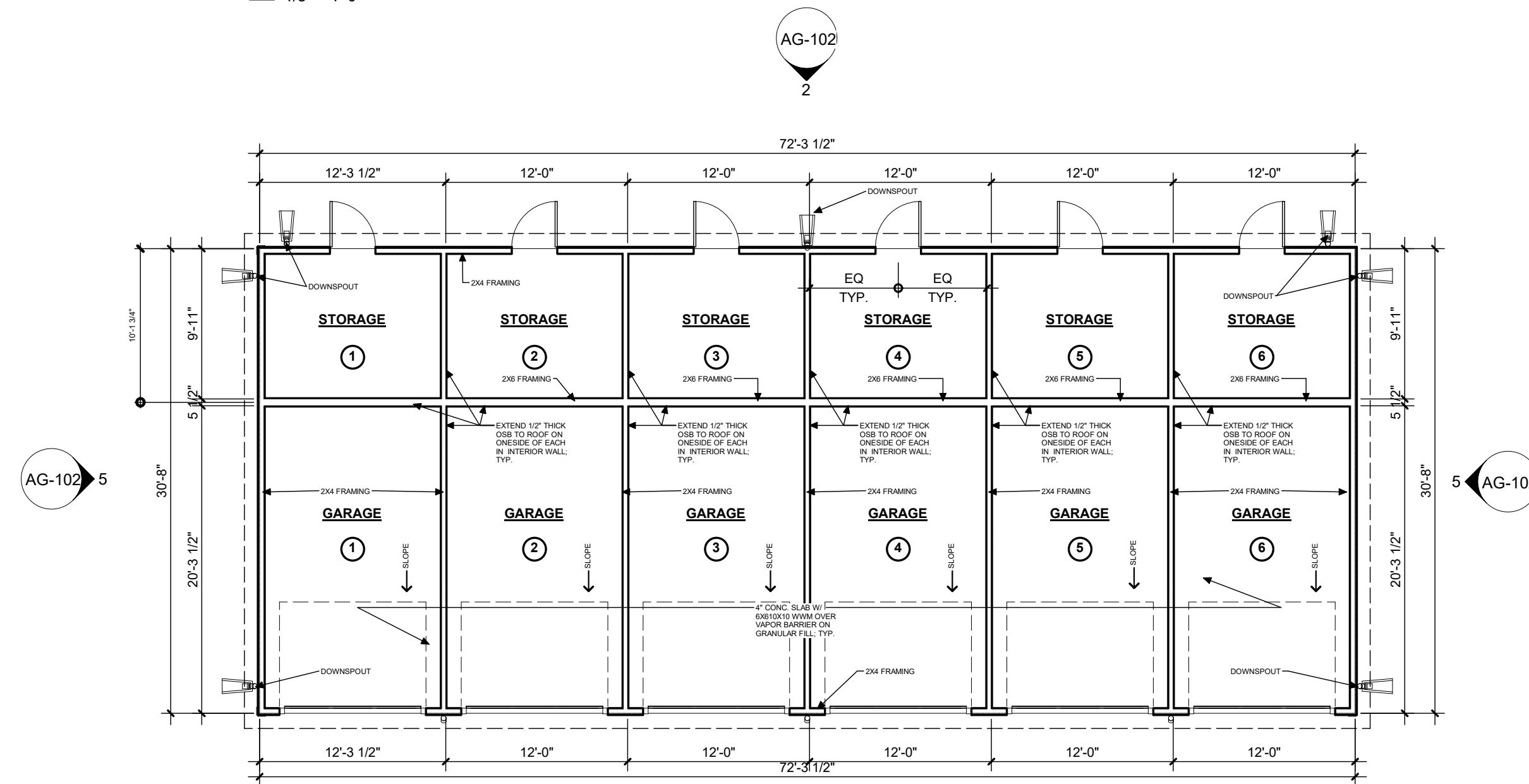
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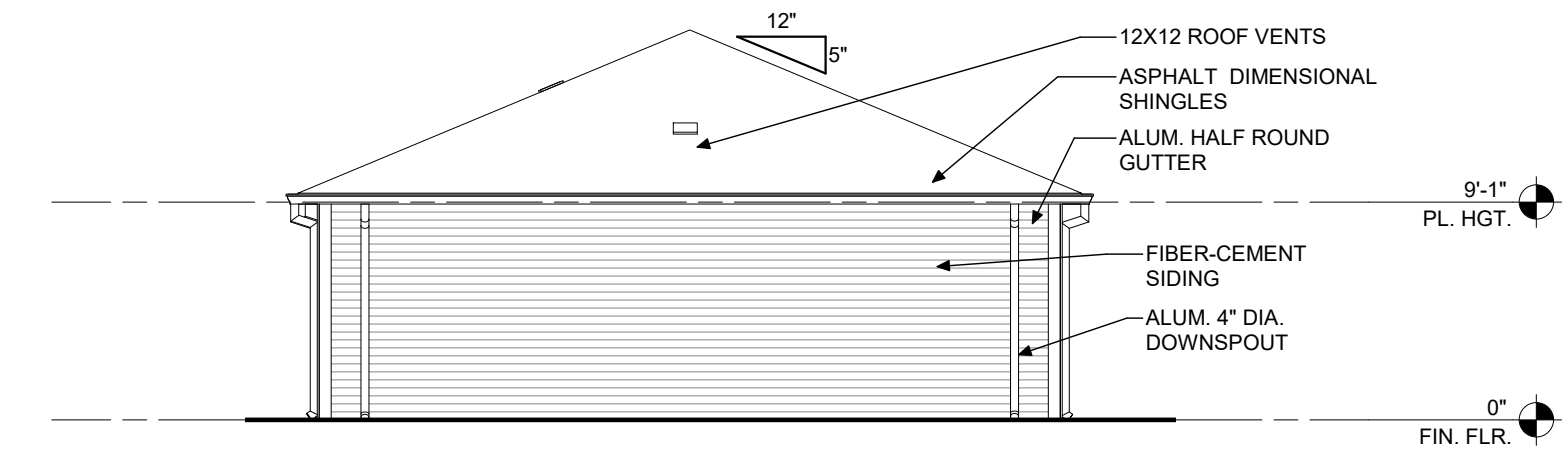


**2 TYPE A - 6-BAY GARAGE B - REAR ELEVATION**  
1/8" = 1'-0"

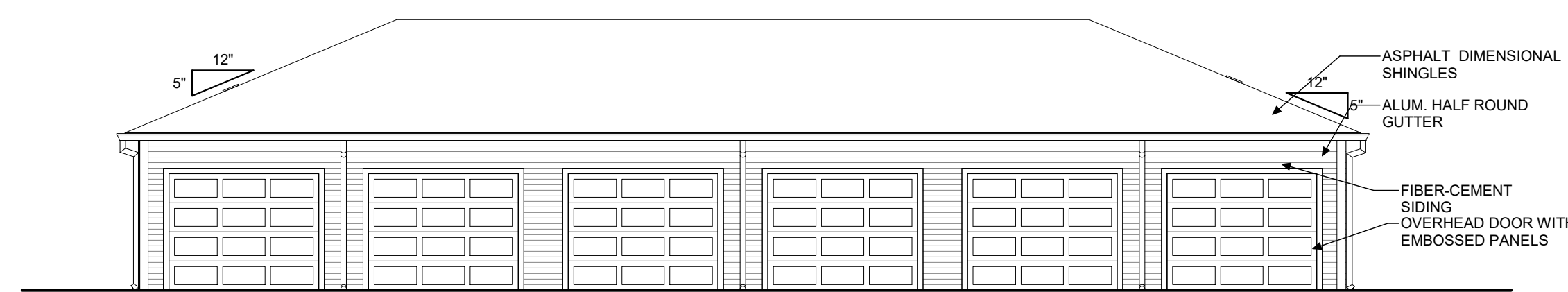


**3 TYPE A - 6-BAY GARAGE B - FLOOR PLAN**  
1/8" = 1'-0"

**EXTERIOR MATERIALS:**  
FIBER-CEMENT SIDING: 100%



**5 TYPE A - 6-BAY GARAGE B - SIDE ELEVATION**  
1/8" = 1'-0"



**4 TYPE A - 6-BAY GARAGE B - FRONT ELEVATION**  
1/8" = 1'-0"



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SHEET TITLE

TYPE B - 6-BAY, 6  
STORAGE GARAGE

SHEET NUMBER

PAGE  
21

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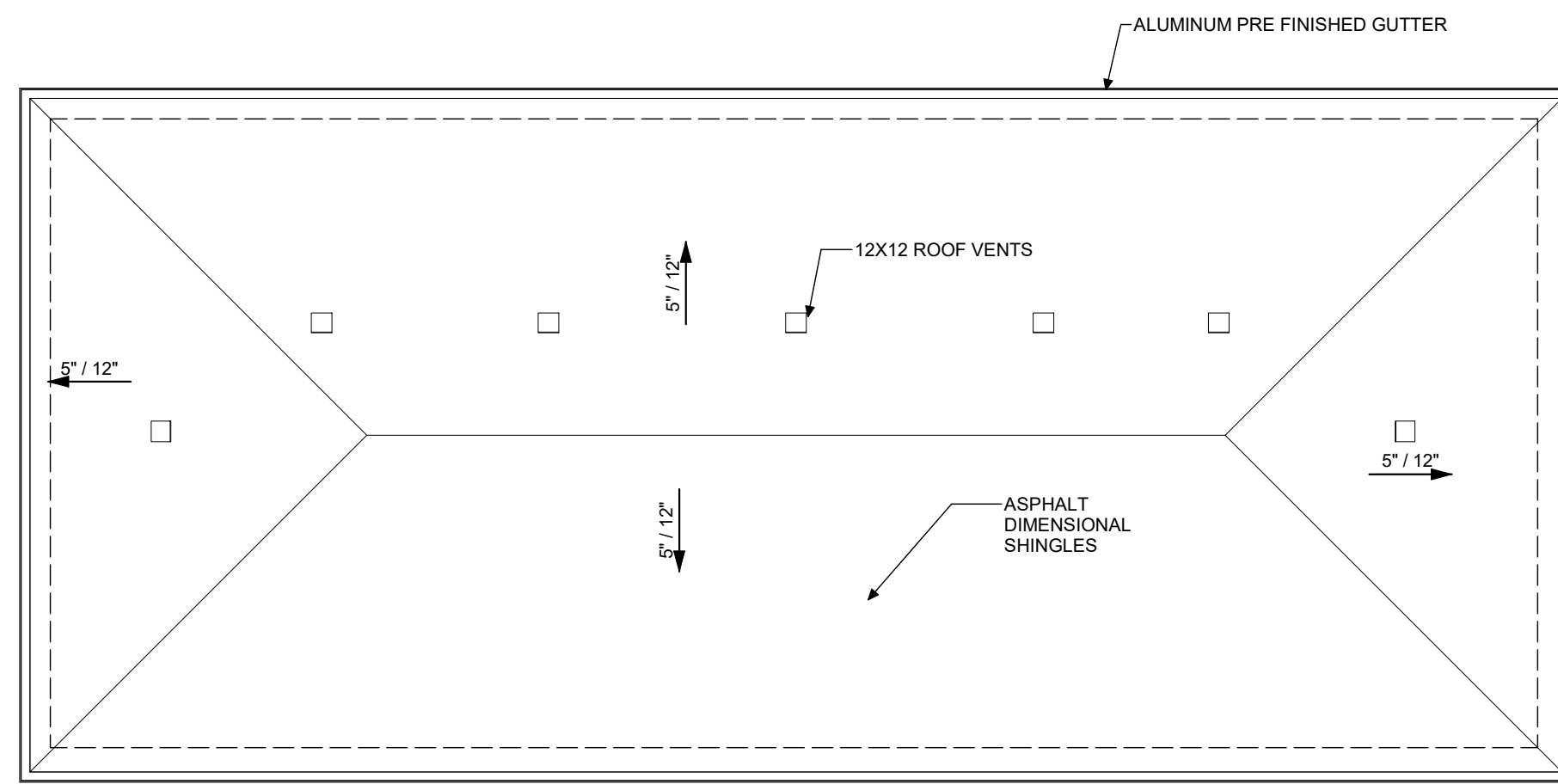
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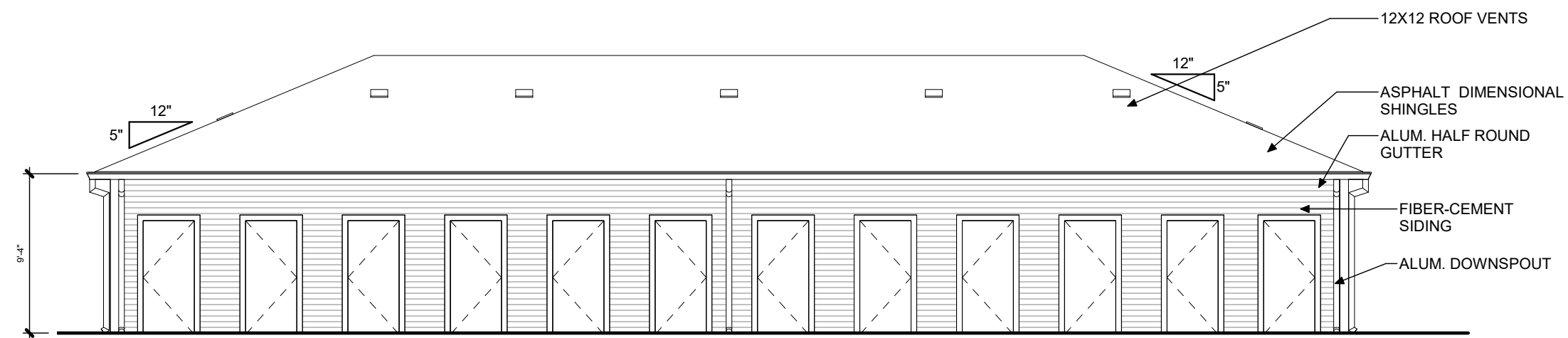
TYPE C - 6-BAY, 12 STORAGE GARAGE

SHEET NUMBER

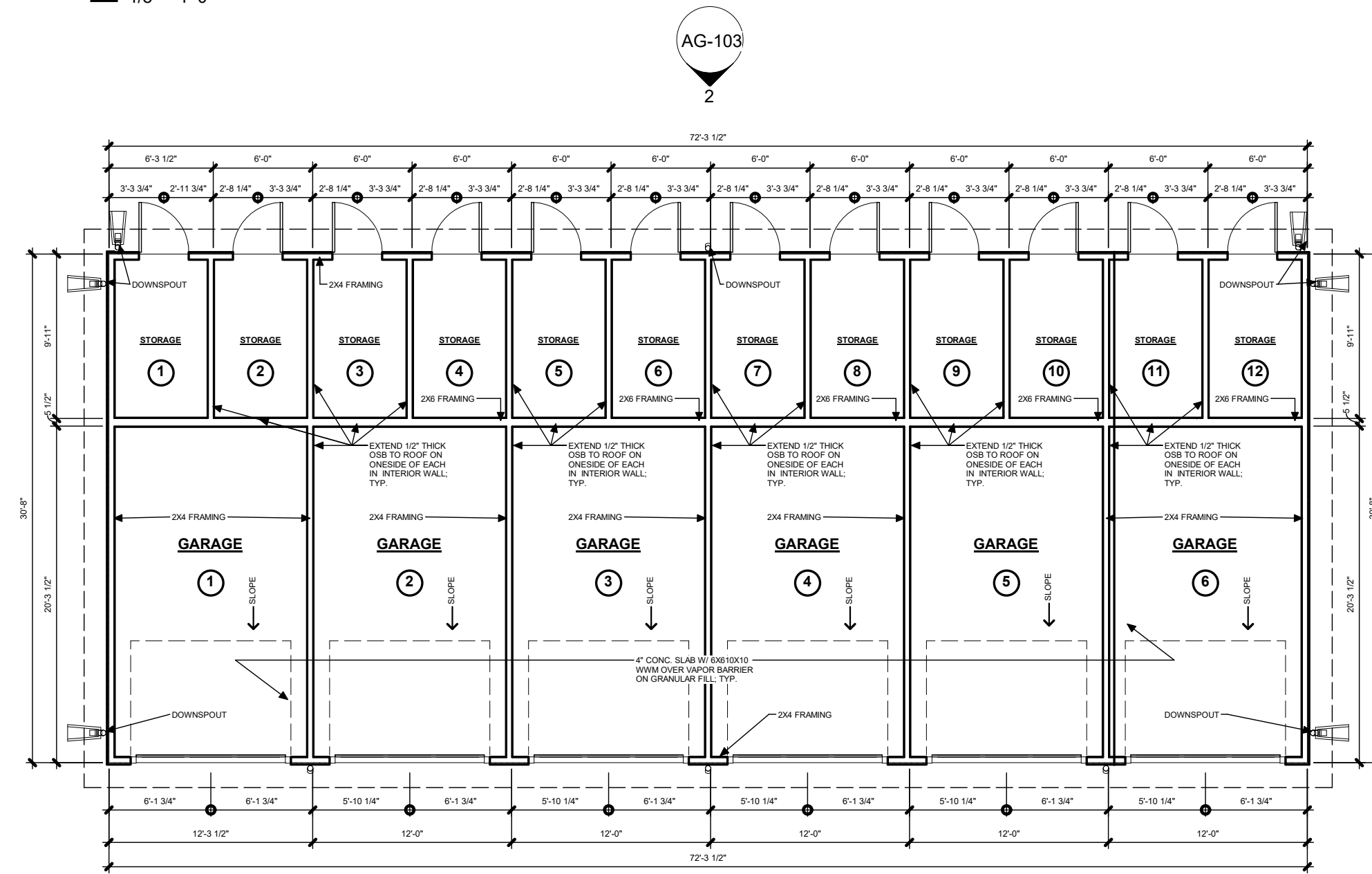
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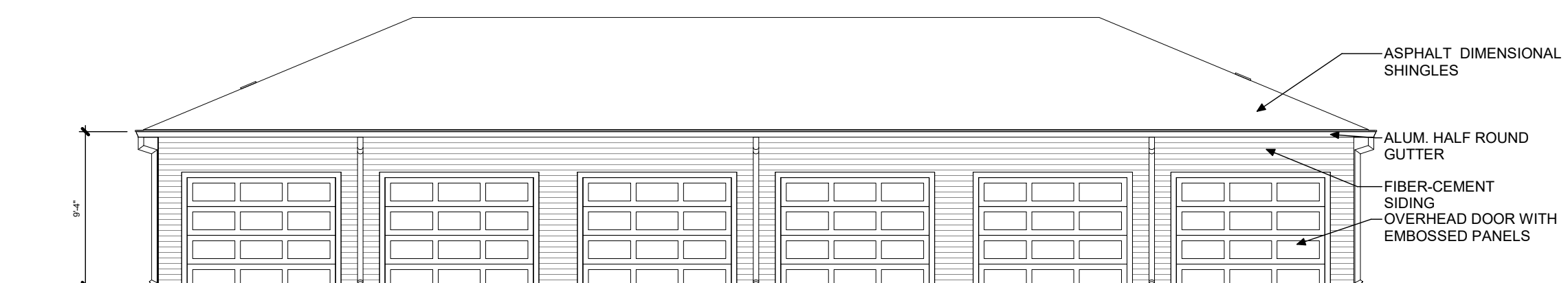
**1 TYPE B - 6-BAY GARAGE A - ROOF PLAN**  
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**2 TYPE B - 6-BAY GARAGE C - REAR ELEVATION**  
1/8" = 1'-0"



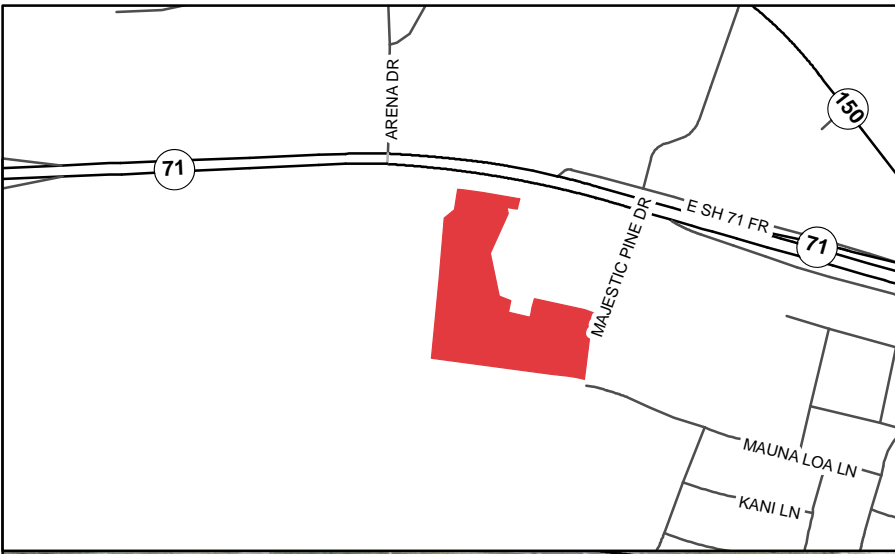
**3 TYPE B - 6-BAY GARAGE A - FLOOR PLAN**  
1/8" = 1'-0"



**4 6BAY GARAGE + 12 STORAGE FRONT ELEVATION**  
1/8" = 1'-0"

**EXTERIOR MATERIALS:**  
FIBER-CEMENT SIDING: 100%

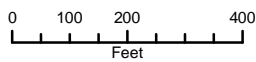
# Attachment 1 Location Map



Date: 4/24/2021

## Neighborhood Regulating Plan Majestic Pines Apartments

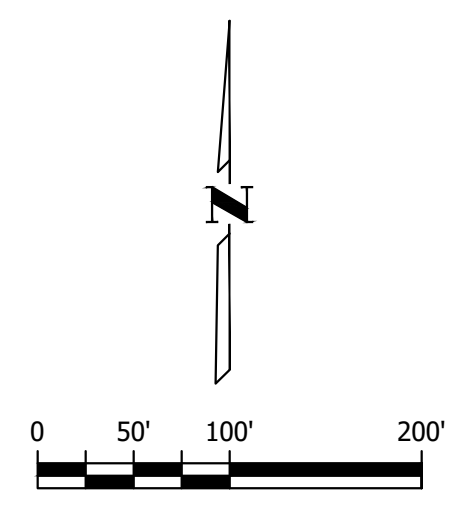
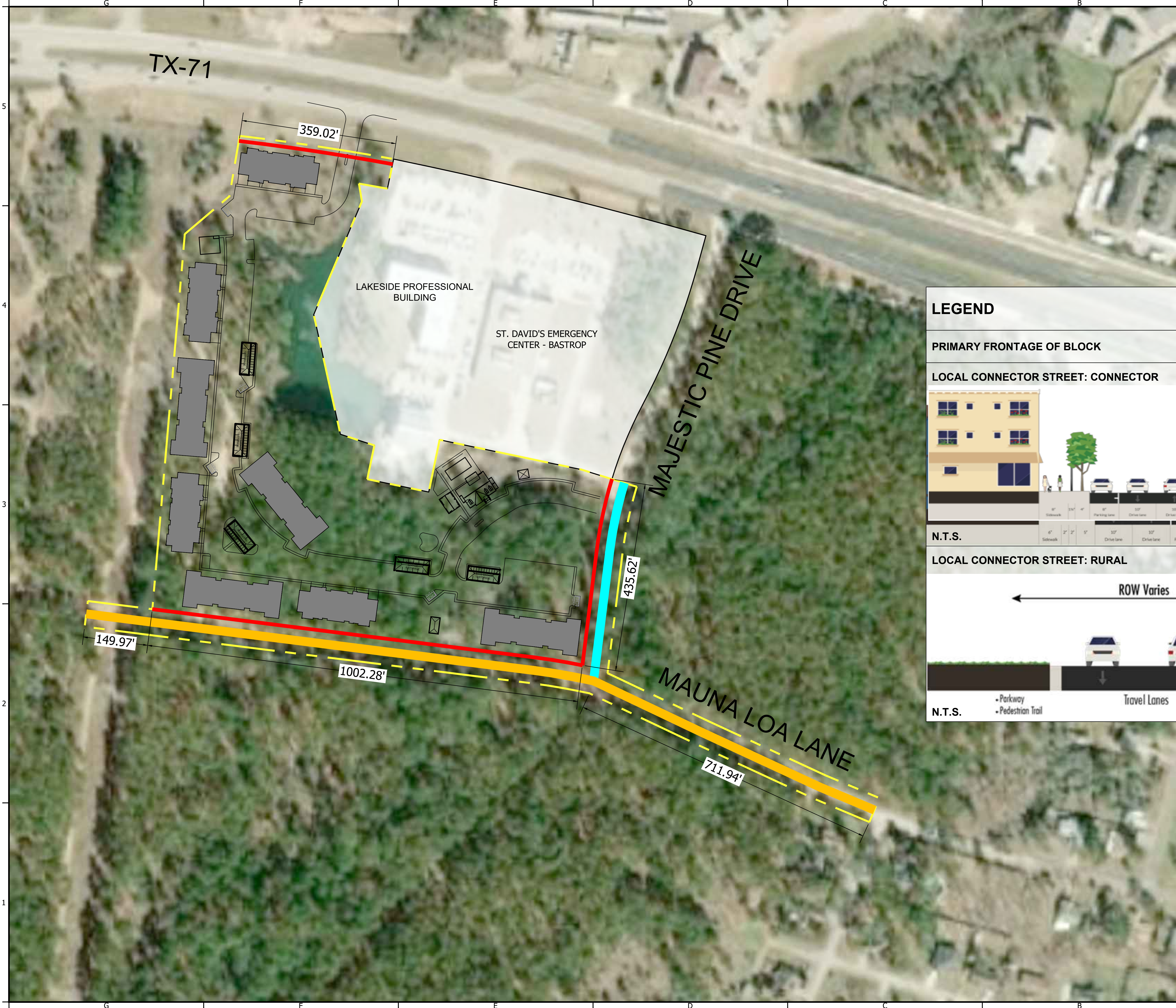
The accuracy and precision of this cartographic data is limited and should be used for information /planning purposes only. This data does not replace surveys conducted by registered Texas land surveyors nor does it constitute an "official" verification of zoning, land use classification, or other classification set forth in local, state, or federal regulatory processes. The City of Bastrop, nor any of its employees, do not make any warranty of merchantability and fitness for particular purpose, or assumes any legal liability or responsibility for the accuracy, completeness or usefulness of any such information, nor does it represent that its use would not infringe upon privately owned rights.



1 inch = 333 feet



SWAP: 3/22/2024 5:28 PM  
 PLOTTED BY: KIMMAY WILLIAMSON  
 Drawing: P:\BASTROP\Bastrop TX Regional Transit System Transportation Corridor\CD & STREET DESIGNATION\CDRTF.dwg



### LEGEND

**PRIMARY FRONTAGE OF BLOCK** —————

**LOCAL CONNECTOR STREET: CONNECTOR** —————

**N.T.S.** —————

**LOCAL CONNECTOR STREET: RURAL** —————

**N.T.S.** —————

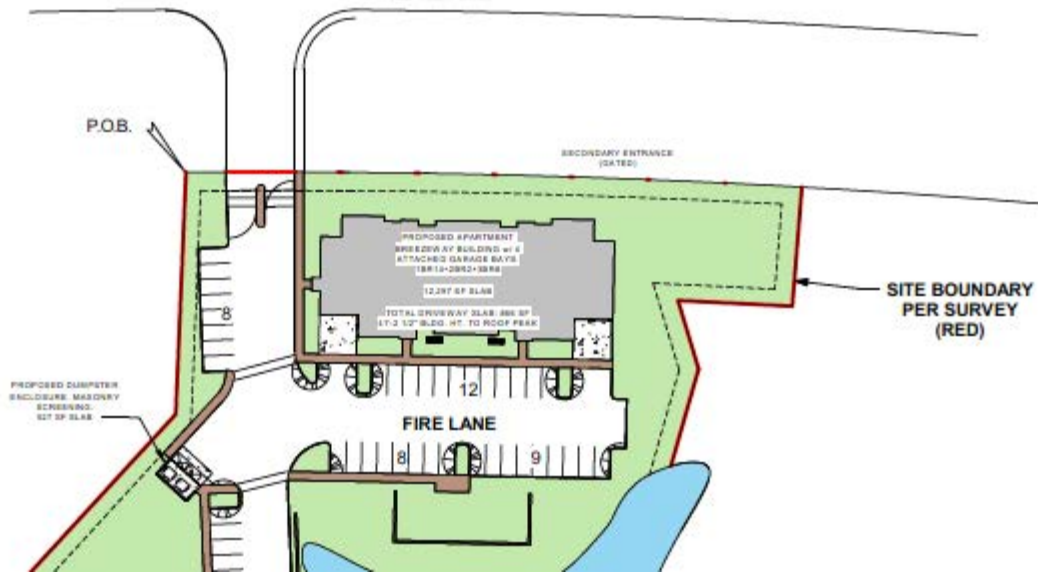
- Parkway
- Pedestrian Trail
- Travel Lanes
- Parkway
- Pedestrian Trail

NOT AUTHORIZED FOR  
 CONSTRUCTION PRIOR TO  
 FORMAL CITY APPROVAL



**BASTROP MAJESTIC PINE**  
 3101 TX-71  
 BASTROP, BASTROP COUNTY, TEXAS 78602  
**STREET DESIGNATION & BLOCK FRONTAGE PLAN**

STATE HIGHWAY No 71



TO: Elena Sanders, Applicant  
From: Trey Job, Assistant City Manager  
Date: April 15, 2021  
Subject: Warrant Determination - #21-000078 – Mauna Loa Street Type  
- Approved



=====

In order to approve a warrant one of the three B<sup>3</sup> Code Intents must be met.

The intent of the Code is to establish the Standards that enable, encourage, and ensure the community achieves:

Fiscal Sustainability – new development and redevelopment must be done with a focus on the intersection of the Public and Private Realms. This is the area where city and utility infrastructure is maintained in a efficient manner and the commercial development creates a complete neighborhood.

- This project continues the construction of Mauna Loa as a Rural Street (Section 7.3.013) which is appropriate and fiscally sustainable given the terrain and Lost Pines Habitat Conservation Plan.

Geographically Sensitive Developments – development will retain its natural form and visual character derived from the topography.

- Continuation of Mauna Loa Lane as a Rural Street cross section is consistent with the existing developed section, which corresponds to the existing topography of the area.

Perpetuation of Authentic Bastrop – The B<sup>3</sup> Code will perpetuate the built form that has been predominate over the City's 189-year history. The recent trend of allowing parking and automobile traffic as the predominate feature has created a pattern that is contrary to the historical building patterns of the City and creates sites/buildings that are not adaptable and sustainable in the long-term.

- This site is a transitional commercial area between the highway and the adjacent neighborhood to the south. Mauna Loa Lane serves as an informal division between the commercial and residential area and even though these are zoned as Place Type 5 and Place Type 3, in this instance, a Rural Street is appropriate, when usually allowed in Place Type 2 zoning (Section 7.3.013).

Sincerely,

A handwritten signature in black ink that reads "Trey Job".

Trey Job

Assistant City Manager

TO: Elena Sanders, Applicant  
From: Trey Job, Assistant City Manager  
Date: April 15, 2021  
Subject: Warrant Determination - #21-000077 – Block Size - **Denied**



=====

In order to approve a warrant, at least one of the three B<sup>3</sup> Code Intents must be met.

The intent of the Code is to establish the Standards that enable, encourage, and ensure the community achieves:

Fiscal Sustainability – new development and redevelopment must be done with a focus on the intersection of the Public and Private Realms. This is the area where city and utility infrastructure is maintained in an efficient manner and the development creates a complete neighborhood.

- This project proposes limit the interaction between the Public and Private Realms and create a large block that limits pedestrian and multimodal access through the area.

Geographically Sensitive Developments – development will retain its natural form and visual character derived from the topography.

- This site includes a number of driveways and parking lots which will require grading and filling in of the natural terrain. This is not geographically sensitive to the area. If the site is to be altered in order to put in private drive aisle and parking lots, the smaller block structure could be provided for with internal streets.
- The development should be constructed in a way to enhance and preserve the natural terrain and vegetation. The development proposes to grade the site and remove trees.

Perpetuation of Authentic Bastrop – The B<sup>3</sup> Code will perpetuate the built form that has been predominant over the City’s 189-year history. The recent trend of allowing parking and automobile traffic as the predominant feature has created a pattern that is contrary to the historical building patterns of the City and creates sites/buildings that are not adaptable and sustainable in the long-term.

- While other sites in the area perpetuate this pattern, this site is a transitional commercial area between the highway and the adjacent neighborhood to the south and should create connectivity for automobile traffic from the highway into the neighborhood and public sidewalks/trails for pedestrians within the neighborhood.

Sincerely,

A handwritten signature in black ink that reads 'Trey Job' in a cursive, slightly slanted script.

Trey Job

Assistant City Manager





# Warrant Checklist

**Code Sections requiring Warrants**

Code Reference	Requested Deviation



# Warrant Checklist

**Justification for Request**

An Intent Statement providing justification for a Warrant Request to be considered.

Intents of the B<sup>3</sup> Code

1. Fiscal Sustainability

2. Geographically Sensitive Developments

3. Perpetuation of Authentic Bastrop



# STAFF REPORT

**MEETING DATE:** April 29, 2021

**AGENDA ITEM:** 3E

**TITLE:**

Consider action to deny a Building Placement Warrant Request and Parking Lot Placement Warrant Request for The Leaning Place at Lost Pines being 1.160 acres out of the Riverside Grove Subdivision Phase 1, Block A, Lot 33, located west of Hasler Shores Drive.

**STAFF REPRESENTATIVE:**

Jennifer C. Bills, AICP, LEED AP, Assistant Planning Director  
Allison Land, Planner II

**ITEM DETAILS:**

Site Address: TBD Hasler Shores Blvd (Attachment 1)  
Total Acreage: 1.160 acres  
Legal Description: Riverside Grove Subdivision Phase 1, Block A, Lot 33  
Property Owner: JoAnne and Danny Rountree  
Agent Contact: Erin Abbey, Arnold Custom Builders  
Existing Use: Vacant/Undeveloped  
Existing Zoning: P5 Core  
Adopted Plan: Bastrop Building Block Code adopted November 12, 2019  
Future Land Use: Neighborhood Commercial

**BACKGROUND/HISTORY:**

The applicant submitted Warrant applications to request an increase to the build-to line and to allow parking in the first layer instead of third layer. Buildings are intended to be pulled closer to the street, which prioritizes non-vehicular traffic and creates a sustainable built environment. By moving buildings close to the road, parking is moved behind the front of the building toward the rear of the lot. This allows pedestrians and bicycle traffic a more welcoming and less dangerous path to the building, with fewer places and less distance for vehicular conflict, while still allowing vehicular access. In this case, the proposed use is a child care center, which will experience peak times for vehicular traffic. Keeping true to the B<sup>3</sup> Code with parking in the rear will allow more space off-street for vehicular queuing during those peak times.

**POLICY EXPLANATION:**

Warrants are reviewed and approved by the Development Review Committee. Appeals are approved by the Planning & Zoning Commission.

### Bastrop Building Block Code Chapter 10 Definitions

**Warrant** shall mean a ruling that would permit a practice that is not consistent with a specific provision of this Code, but that is justified by its Intent. Warrants are granted administratively by the DRC.

### Bastrop Building Block Code Section 1.3.005 Warrants and Variances

The Development Review Committee (DRC) has the discretion to approve any Neighborhood Regulating Plan, Public Frontage submittal, Administrative Plat, Site Development, and/or building permit that deviates less than 5% from any specific standard prescribed in the Code.

*The requested deviation was greater than 5%.*

If not approved or the deviation is greater than 5%, the Applicant may request a Warrant or a Variance. The type of Application is determined by the DRC.

*The Warrants were accepted for review on March 16, 2021. One requested an increased build-to line distance and one requested parking in the first layer.*

The DRC shall have the authority to approve or disapprove administratively a request for a Warrant.

*The Development Review Committee disapproved the requests on April 7, 2021.*

### Bastrop Building Block Code Intent

The intent of the Code is to establish the Standards that enable, encourage, and ensure the community achieves:

- ✓ Fiscal Sustainability
- ✓ Geographically Sensitive Developments
- ✓ Perpetuation of Authentic Bastrop

Fiscal Sustainability:

*This project proposes to set the building past the maximum build-to line and place multiple rows of parking that will create a firm barrier between the Public and Private Realm, separating the built form from the existing neighborhood.*

Geographically Sensitive Developments:

*This site does not contain any geography that would prevent placement of the building and parking as required by the B<sup>3</sup> Code.*

Perpetuation of Authentic Bastrop:

*While other sites in the area perpetuate a sprawl pattern and have deviated from the Authentic Bastrop pattern, this site is directly adjacent to the neighborhood and should create a transition area for pedestrians. Neighboring sites that redevelopment or expand will be required to comply with the B<sup>3</sup> Code and transition to a sustainable pattern.*

Bastrop Building Block Code Section 6.5.003 Building Standards Per Place Type

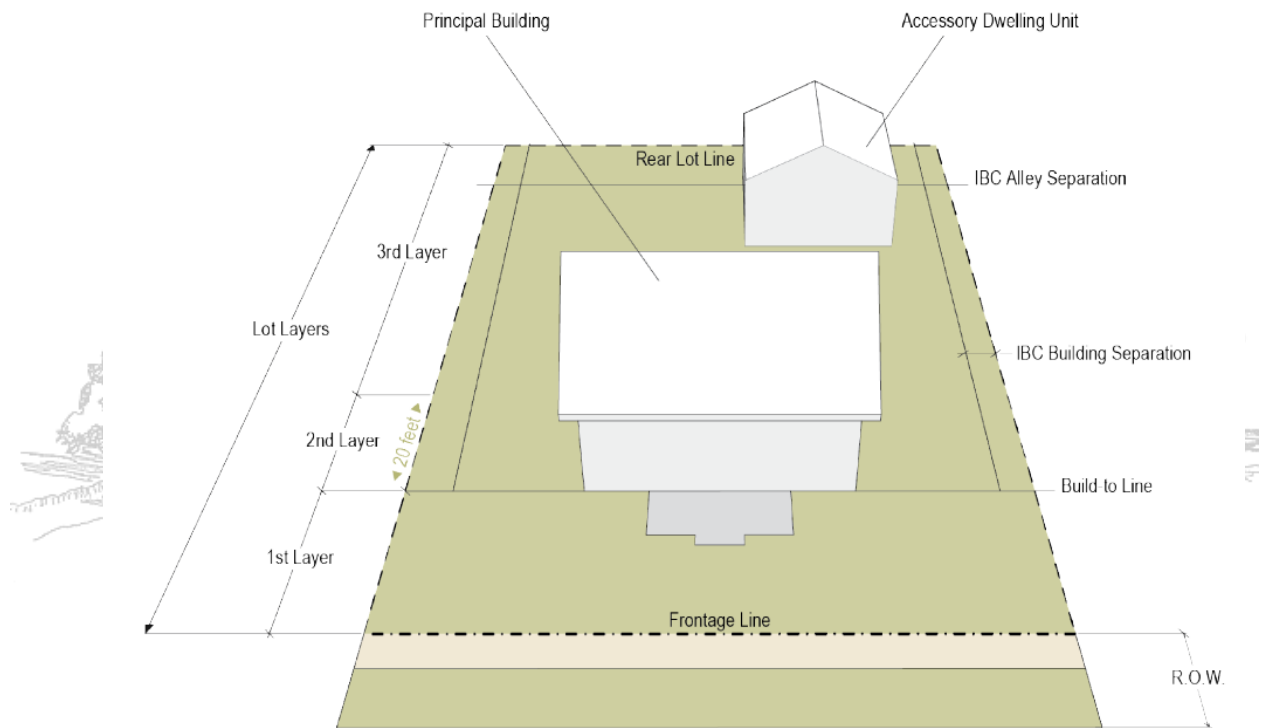
Build-to Line in P5 is 2 feet to 15 feet.

*The conceptual site plan shows the proposed building set back greater than 130 feet from the front property line.*

Bastrop Building Block Code Section 6.3.006 Parking

On-site surface parking must be located in the Second Layer or Third Layer of each Lot as defined by the Place Type Standards.

*P5 Core requires parking to be located in the Third Layer, which is located greater than or equal to 20 feet behind the front façade of the building. See Code illustration.*



*The applicant requested for the parking to be located in the First Layer, which is in front of the building behind the front property line (frontage line).*

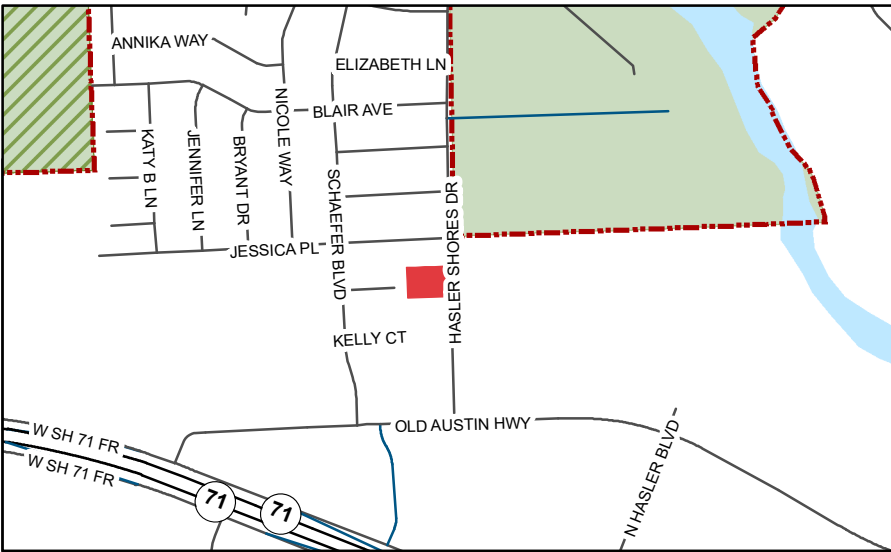
**RECOMMENDATION:**

Consider action to deny a Building Placement Warrant Request and Parking Lot Placement Warrant Request for The Leaning Place at Lost Pines being 1.160 acres out of the Riverside Grove Subdivision Phase 1, Block A, Lot 33, located west of Hasler Shores Drive.

**ATTACHMENTS:**

- Attachment 1: Location Map
- Attachment 2: Riverside Grove Warrants 21-000059 21-000060 – Denied
- Attachment 3: Conceptual Site Plan

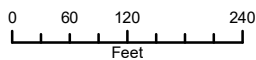
# Attachment 1 Location Map



Date: 4/26/2021

## Riverside Grove Phase 1 Block A Lot 33 Warrant Appeal

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1 inch = 200 feet



TO: Erin Abbey, Applicant  
From: Trey Job, Assistant City Manager  
Date: April 7, 2021  
Subject: Warrant Determination - #21-000059 & #21-000060 - Denied



=====

In order to approve a warrant one of the three B<sup>3</sup> Code Intents must be met.

The intent of the Code is to establish the Standards that enable, encourage, and ensure the community achieves:

Fiscal Sustainability – new development and redevelopment must be done with a focus on the intersection of the Public and Private Realms. This is the area where city and utility infrastructure is maintained in a efficient manner and the commercial development creates a complete neighborhood.

- This project proposes to set the building past the maximum build-to line and place multiple rows of parking that will create a firm barrier between the Public and Private Realm, separating the built form from the existing neighborhood.

Geographically Sensitive Developments – development will retain its natural form and visual character derived from the topography.

- This site does not contain any geography that would prevent placement of the building and parking required by the B<sup>3</sup> Code.

Perpetuation of Authentic Bastrop – The B<sup>3</sup> Code will perpetuate the built form that has been predominate over the City's 189-year history. The recent trend of allowing parking and automobile traffic as the predominate feature has created a pattern that is contrary to the historical building patterns of the City and creates sites/buildings that are not adaptable and sustainable in the long-term.

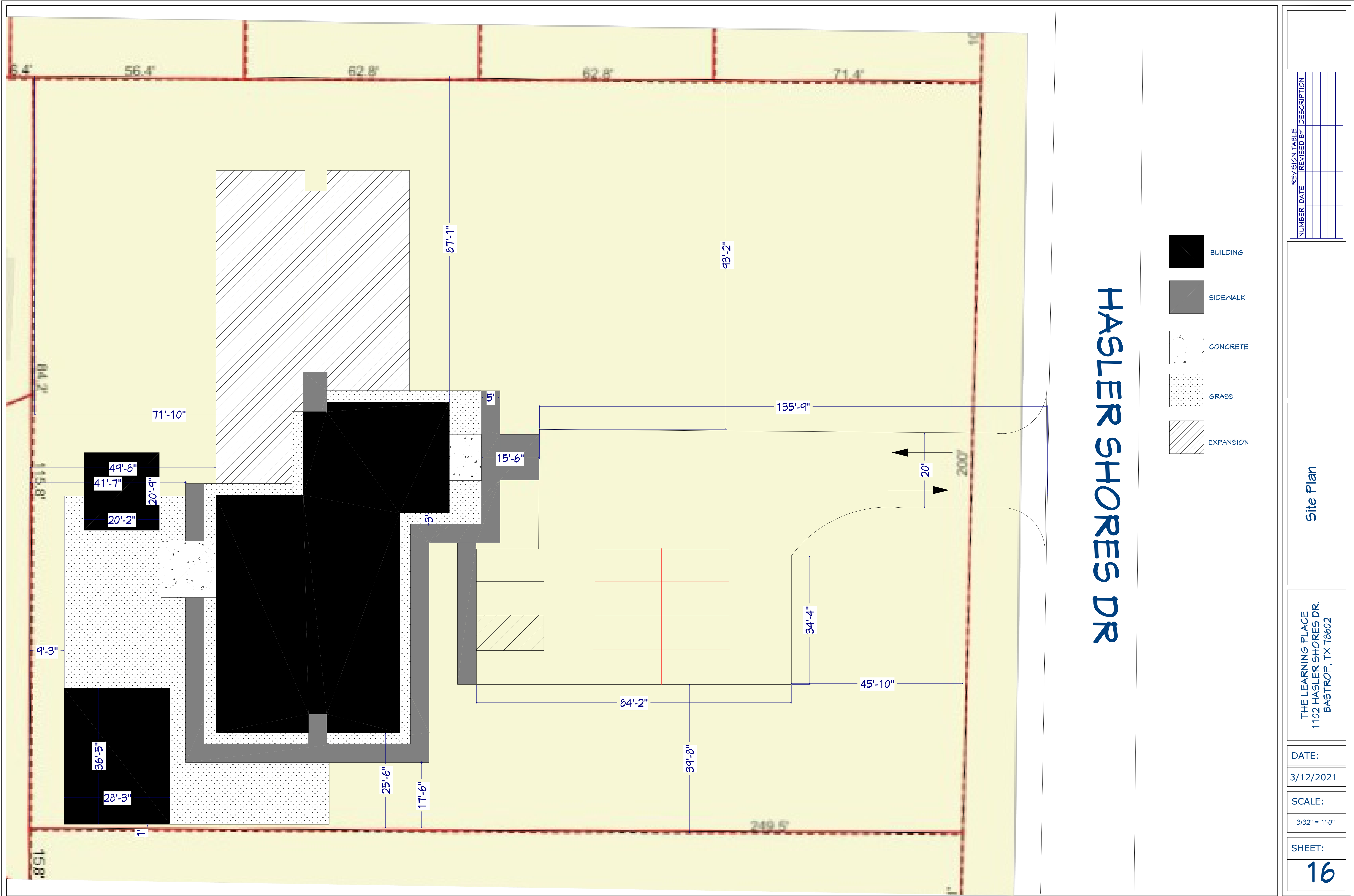
- While other sites in the area perpetuate this pattern, this site is directly adjacent to the neighborhood and should create a transition area for pedestrians. Neighboring sites that redevelopment or expand will be required to comply with the B<sup>3</sup> Code and transition to a sustainable pattern.



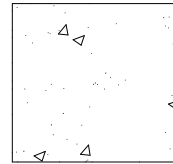
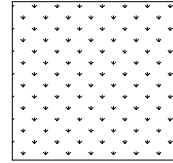
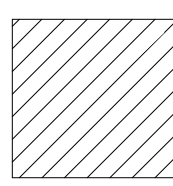
Sincerely,

A handwritten signature in black ink that reads "Trey Job".

Trey Job

Assistant City Manager



-  BUILDING
-  SIDEWALK
-  CONCRETE
-  GRASS
-  EXPANSION

# HASLER SHORES DR

REVISION TABLE	
NUMBER	DATE

## Site Plan

THE LEARNING PLACE  
1102 HASLER SHORES DR.  
BASTROP, TX 78602

DATE:  
3/12/2021

SCALE:  
3/32" = 1'-0"

SHEET:  
**16**





# STAFF REPORT

**MEETING DATE:** April 29, 2021

**AGENDA ITEM:** 3F

**TITLE:**

Public hearing and consider action to recommend approval of an ordinance for amendments to Chapter 8 – Signs, including, Section 8.1.007 Non-conforming Signs, Section 8.1.009 Signs Requiring a Permit, Section 8.1.011 Sign Permit Requirements, Article 8.2 Master Plans, Article 8.3 On-Premises Sign Types & Standards, and Article 8.4 Temporary Signs, and Chapter 10 – Section 10.1.002 Definitions of the Bastrop Building Block B3 Code and forward to the May 25, 2021 City Council meeting for adoption.

**STAFF REPRESENTATIVE:**

Jennifer C. Bills, AICP, LEED AP, Assistant Planning Director

**BACKGROUND/HISTORY:**

At the January 28, 2021 Planning and Zoning Commission Meeting, the Assistant Planning Director provided an update on the Bastrop Building Block (B<sup>3</sup>) Code and provided specific sections of the Code that need some revisions that staff has identified during the implementation phase. Chapter 8 – Signs is a part of the code that the business community has provided feedback on, especially on the State Highway 71 and State Highway 95 corridors.

Summary of Amendments

Section 8.1.007 Non-conforming Signs

- Added language for applicable standards from the previous code that apply to existing non-conforming Electronic Message Signs.

Section 8.1.009 Signs Requiring a Permit

- Removed Address Sign. Addresses are required in the International Building Code and International Fire Code. Remove any references from Chapter 8 as size requirements conflict with adopted I-Codes.
- Reorganized Freestanding Signs list to include all freestanding sign types (directional, monument and pylon/pole.) Added applicable standards for each sign type.
- Added Internal Illumination Standards in addition to External Illumination Requirement.
  - Internal illumination shall not operate at brightness levels of more than 0.2 foot-candles above ambient light conditions at the property line, as measured using a foot-candle meter. The total lumen output of all signs

cannot exceed 10% of the total lumen allowance in Section 6.6 – Outdoor Lighting.

- Added Sign Corridors for SH 71, SH 95 and Loop 150 south of the bridge.
  - Locations for Sign Corridors:
    - SH 71 Corridor. The area located 720 feet from the center line of the adjacent main lane of State Highway 71.
    - SH 95 Corridor. The area located 330 feet from the center lane of the lane of State Highway 95.
    - Loop 150 Corridor. The area located 330 feet from the center lane of Loop 150, south of the Colorado River.
- Added Incidental signs definition - signs that are intended for the convenience of the public, which are informational only, and which do not include the advertising of products or services. Such signs include business hours signs, credit card signs, entrance and exit signs, and similar signs, some of which may be required by law for safety purposes. Cannot be illuminated. Total signage on buildings will count towards 15% total sign area. Individual signs cannot be greater than 12 square feet.

#### Section 8.1.011 Sign Permit Requirements

- Added clarification of when Warrants can be requested and approval process by the Sign Administrator.
- Appeals of denials are forward to Zoning Board of Adjustments instead of Planning & Zoning Commission, to be consistent with other sign review complaints and variances.

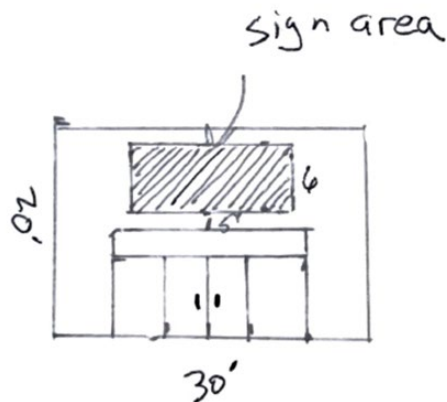
#### Article 8.2 Master Plans

- Clarified what elements can be approved in a Master Plan. Not appropriate for a single tenant site. Cannot include sign types not allowed in that Place Type. Cannot include changes to non-conforming signs.

#### Article 8.3 On-Premise Sign Types & Standards

- a) Awnings & Signs. Added standards for flat roof awning, which are prevalent in Bastrop.
- c) Band Signs – SH 71, SH 95, & Loop 150 – Added standards for Corridors
  - Band signs allowed on street facing facades.
  - Band Size allowance will be calculated as maximum of 15% of the area of the tallest story.
  - Sites that install a Band Signs over 4 feet in height cannot have Pylon/Pole signs and are limited to a Monument Sign 8 feet in height.

*Band Sign Example  
Proposed Standard*



20' tall by 30' wide  
building  
600 sf wall area  
90 sf 15% - sign area  
 $6' \times 15' = 90 \text{ sf}$

- Split Monument and Pylon/Pole Standards into two separate tables.
  - Added Internal Illumination to Monument Signs and Pole/Pylon Signs along SH 71, SH 95 and Loop 150 Corridors.
  - Added maximum height of 6 feet for Monument Signs in P5 not in a Corridor..
  - Added allowance to apply for a warrant for internal illumination on Monument Signs outside of Sign Corridors
- Article 8.4 Temporary Signs
  - Added permit requirements for Banner, Construction Site, and Development Information Signs.
  - Removed requirements/reference to the Central Business District (pre-2015 zoning district)
  - Removed Light Pole-mounted Banners. Banners on city owned poles are regulated under Government Signs.
- Chapter 10 – Definitions Sign Administrator (page 244).
  - Amended from City Council appointed to the Director of Planning & Development or designee.

The Planning & Zoning Commission recommendation will be forwarded to the City Council Meeting on May 25, 2021 for Public Hearing and First Reading of the Ordinance to adopt amendments.

**RECOMMENDATION:**

Hold public hearing and consider action to recommend approval of an ordinance for amendments to Chapter 8 – Signs, including Section 8.1.007 Non-conforming Signs, Section 8.1.009 Signs Requiring a Permit, Section 8.1.011 Sign Permit Requirements, Article 8.2 Master Plans, Article 8.3 On-Premises Sign Types & Standards, and Article 8.4 Temporary Signs, and Chapter 10 – Section 10.1.002 Definitions of the Bastrop Building Block B3 Code and forward to the May 25, 2021 City Council meeting for adoption.

**ATTACHMENTS:**

- Draft Amendments to Bastrop Building Block (B3) Code: Chapter 8 – Signs & Chapter 10: Definitions

# CHAPTER 8: SIGNS



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**ARTICLE 8.1 SIGNS**

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**SEC. 8.1.001 INTENT**

The intent of regulating Signs that are visible from the Public Frontage is to ensure proper dimensioning and placement with respect to existing or planned architectural features, to maintain or improve public safety, to maintain or improve the aesthetic character of the context where they are located, and to provide legible information for pedestrians, not just drivers.

**SEC. 8.1.002 PURPOSE**

The purpose of a Sign permit is to authorize the display, erection, rebuilding, restructuring, expansion, relocation, or structural Alteration of any on-premise or Off-Premise Sign.

**SEC. 8.1.003 APPLICABILITY**

These Standards apply to all property within the City Limits and the ETJ of the City of Bastrop as it exists at the time this Code was adopted and as it may be amended and expanded in the future.

**SEC. 8.1.004 ENFORCEMENT**

- (a) It is an offense for a person to violate, a section of this chapter designated as an offense commits a misdemeanor punishable by a fine. A violation occurs when a person violates or causes, allows, or permits a violation of this chapter.
- (b) Each violation of this chapter designated as an offense constitutes a separate offense.
- (c) No culpable mental state is required to prove an offense under this chapter if this offense involves:
  - (1) Placement of a Sign in the right-of-way;
  - (2) Placement of a Sign in another person's property without the person's permission; or,
  - (3) Placement of a Sign that encumbers access to a person's property or encumbers use of a Street, Sidewalk, trail, Path, or Driveway.
  - (4) Placement of a sign unlawfully situated in a required Sight Triangle.

**SEC. 8.1.005 PROHIBITED SIGNS**

(a) All Signs are prohibited in the City Limits and the Extraterritorial Jurisdiction (ETJ) unless:

- (1) Constructed, maintained, structurally altered, or improved pursuant to a valid permit when required under this Code; and,
- (2) Expressly authorized under the City of Bastrop's B<sup>3</sup> Code.

(b) Signs that cannot be expressly authorized include:

- (1) Signs located in or projected over any public right-of-way or across the public right-of-way line extended across a railroad right-of-way, except when attached to and projecting no more than 18 inches from a Building wall legally located at or near the right-of-way line in the City Limits or in the ETJ.
- (2) Portable Signs.
- (3) Off-Premise Sign (including Billboards) containing Commercial advertising for the sale, rent, or lease of goods, real property, or services.

- (4) Signs with lights that blink, fluctuate, or move. Light rays must shine only upon the Sign and upon the property within the Premises where the Sign is located.
- (5) Signs of a size, location, movement, coloring, or manner of illuminating that may be confused with or construed as a traffic control device.
- (6) Signs that are attached to any utility pole or wire, traffic Sign, or public easement or are placed on government-owned property unless placed by written permission of the governmental entity.
- (7) Signs that obstruct any fire escape, required exit, window, or door opening intended as a means of egress.
- (8) Boxes, tires, or other goods stored in view of the Street, etc. that have large product identification that serves as a Sign.
- (9) Feather Banners.
- (10) Commercial Signs or advertising materials that are worn, held, or attached to a person's body advertising the sale of goods, real property, or services.
- (11) Balloon Signs.

- (12) Inflatable Signs.
- (13) Pennants.
- (14) Pole Signs other than along Hwy. 71.
- (15) Roof Signs (including Signs that are otherwise authorized but are placed on a roof or on a Mobile Food Vendor or vehicle).
- (16) Signs placed or attached to trees, bushes, planters, benches, or other Pedestrian elements.
- (17) Signs on trash receptacles except for Signs that are required by law, provide direction on the trash receptacle's use, provide safety instructions, or are otherwise customarily found on trash receptacles as a means of identifying the trash collection company.
- (18) Flags with a Commercial message.

**SEC. 8.1.006 OFF-PREMISE SIGNS (BILLBOARDS)**

- (a) No permit for Alteration or relocation may be issued for an off-Premises Signs.
- (b) Alteration. An off-Premises Sign may not be altered regarding amount of surface area, shape, orientation,

Height, illumination, or location without the prior issuance of a Sign Alteration or relocation permit. Ordinary and routine necessary repairs that do not change the size, shape, orientation, Height, illumination, or location of an inventoried off-Premises Sign do not require an Alteration permit. A Sign Alteration permit expires if the approved modifications are not completed within 90 days of permit issuance.

- (c) Maintenance. If the City finds that any off-Premises Sign is not maintained in good repair, the City will notify and order the owner to repair the Sign within 30 calendar days. If the City finds that the Sign Structure or Sign area of an off-Premises Sign has deteriorated more than 60% of its replacement value or is not repaired within 30 calendar days, the City shall notify the owner of the off- Premises Sign and the owner of the real property where the off-Premises Sign is located to remove the off- Premises Sign or poster panel from the property within a specified time. Replacement of more than 60% of an off- Premises Sign during one calendar year shall void the legal nonconforming status of the Sign and require immediate Removal or conformance with current Standards. All off-Premises Signs ordered to be removed shall be stricken from the authorized list.

(d) No existing billboard shall exceed 40 feet in Height from the ground level. No existing billboard shall interfere with the visibility of pedestrians or drivers of motor vehicles at Street intersections or otherwise obstruct traffic or create a traffic hazard.

#### SEC. 8.1.007 NONCONFORMING SIGNS

(a) Signs in Existence Prior to this Code. A Sign existing on the effective date of the Development Code that violates this Article or any other ordinance, and a Sign that comes under the jurisdiction of this Chapter due to the expansion of the City, is a legal Nonconforming Sign and may be continued, repaired, and maintained in good condition, but may not be otherwise altered.

(b) Voluntary Removal. Voluntary Removal of a Nonconforming Sign for purposes other than maintenance shall terminate its status as a legal Nonconforming Sign. Replacing a Sign cabinet is not considered maintenance.

(c) Existing Electronic Message Signs must meet the following standards:

(1) Illumination:

- A. No sign shall be brighter than is necessary for clear and adequate visibility.
- B. No sign shall be of such intensity or brilliance as to impair the vision of a motor vehicle driver or to otherwise interfere with the driver's operation of a motor vehicle.

- C. No sign shall be of such intensity or brilliance that it interferes with the effectiveness of an official traffic-control sign, device or signal.
- D. All signs must be equipped with a mechanism that automatically adjusts the brightness of the display in response to ambient conditions, such that the display is automatically dimmed as ambient light levels decrease.
- E. The illumination of a sign at full brightness shall not exceed 0.3 footcandles above the footcandle level with the sign turned off when both measurements are taken perpendicular to the sign at a distance determined by the following formula: measurement distance = square root of area of sign in square feet  $\times$  100.
- F. All signs shall contain a default mechanism that will cause the sign to revert immediately to a black screen if the sign malfunctions.

(2) Changing Message:

- A. Any change of pictures or information on the sign shall not produce the illusion of scrolling, moving objects, expanding or contracting shapes, rotation, or any similar effect of animation.
- B. Any change of pictures or information on the sign shall not change more often than once every eight (8) seconds except for message display of time or temperature. Each change of pictures or information must constitute a complete phrase or thought and not be the completion of a previous phrase or thought. Each change of pictures or information must be completed in two (2) seconds or less and may not include visually distracting techniques such as flashing, racing, strobing, twinkling, animation, etc.



**SEC. 8.1.008 EXEMPTED SIGNS**

(a) The following Signs authorized under this Section are authorized in every Place Type or property in the ETJ without a permit, unless specifically required below:

- (1) Government Signs including Signs placed by the City, state, or federal government governing in their official capacity.
- (2) Traffic control devices that are erected and maintained to comply with the Texas Manual on Uniform Traffic Control Devices.
- (3) Signs required by this section.
- (4) Signs required by other law, including federal, state, or local law, including a Sign that a property owner is required to post on the owner's property to warn of a danger or to prohibit access to the property either generally or specifically; the owner must comply with the federal, state, or local law to post a Sign on the property.
- (5) Official governmental notices and notices posted by governmental officers in the performance of their duties for regulatory purposes such as neighborhood crime watch areas, to identify Streets, or to warn of danger including those placed by the City, County, federal or state.

(6) Signs displayed on trucks, buses, trailers, mobile food vendors, or other vehicles that are less than 32 square feet and are being operated as motor vehicles, provided that the primary purpose of the vehicles is not for display of Signs and provided that they are parked in areas appropriate to their use as vehicles, are in operable condition, and carry a current and valid license plate and state inspection tag. Vehicle Signs shall conform to the following restrictions:

- A. Vehicular Signs shall contain no flashing or moving elements;
- B. Vehicular Signs shall not be attached to a vehicle so that the driver's vision is obstructed from any angle; and,
- C. Signs, lights and signals used by authorized emergency vehicles shall not be restricted.

(7) Vending Machine Signs where the Sign Face is not larger than the normal dimensions of the machine to that the Sign is attached.

(8) Memorial Signs or tablets when cut into any masonry surface or attached to a Building when constructed of

bronze or other metal up to 6 square feet as part of a Building.

(9) Real Estate Signs.

- A. Signs containing the message that the real estate where the Sign is located is for sale, lease, or rent together with information identifying the owner or agent.
- B. A real estate Sign may not exceed 4 square feet in size for Residential properties or 16 square feet in size for Nonresidential properties.

(10) Any Sign wholly within the confines of a Building and oriented to be out of view from outside the Building.

(11) Any Sign wholly within the confines of a sports field or court and oriented to be out of view from outside the field or court. No Sign under this section may be larger than 32 square feet. The maximum Height for a field Sign shall not exceed 6 feet.

(12) A non-Commercial Sign that is carried by a person or is a bumper sticker on a vehicle.

(13) Business-related Signs on or visible through doors or windows indicating: store hours, security systems, trade organization memberships, credit cards accepted, no solicitation, and open/closed. These Signs will not count towards the cumulative Sign area limits so long as their total cumulative Sign area does not exceed 5 square feet.

(14) Changing a Commercial message to a noncommercial message on any legal Sign surface. Any Sign surface where a Commercial message may contain a noncommercial message.

#### **SEC. 8.1.009 SIGNS REQUIRING A PERMIT**

##### **(a) Building Signs:**

A Building Sign is an on-Premises Sign that is directly attached to, erected on, or supported by a Building or other Structure having a principal function other than the support of such Sign.

##### **(1) Building Signs Types:**

A. Awning Sign

B. Band Sign

C. Blade Sign

D. Marquee Sign

E. Nameplate Sign

F. Outdoor Display Case Sign

G. Window Sign

##### **(2) General Requirements:**

A. Size. The maximum size of the sum of the area of all Building Signs may not exceed 15% of the Facade area of the tallest floor.

B. Number. More than one Building Sign may be erected, provided the total surface area allowed is not exceeded.

C. Height. No Building Sign may extend above the parapet wall or roof line of the Building.

D. Projection / Clearance. With the exception of a blade Sign, no Building Sign may project more than 7 inches from the Building wall. All Signs that project more than 7 inches from the wall must maintain a clear Height of 8 feet above the ground.

E. Illumination. Building Signs may only be externally illuminated, except for Band Signs in the SH 71, SH 95 or Loop 150 Corridors. No Sign may be illuminated except during operating hours of the use with which it is associated. Lighting shall be directly directed down toward the Sign and shielded so that it does not shine directly into a public right-of-way and does not interfere with the safe vision of motorists or people passing by. All Standards must meet the Lighting Standards within this Code. Internal illumination shall not operate at brightness levels of more than 0.2 foot-candles above ambient light conditions at the property line, as measured using a foot-candle meter. The total lumen output of all signs cannot exceed 10% of the total lumen allowance in Section 6.6 – Outdoor Lighting.

(b) Freestanding Signs:

A Freestanding Sign is an on-Premises Sign not directly attached to, erected on, or supported by a Building or other Structure having a principal function other than the support of such Sign, but instead attached to, erected on, or supported by some Structure such as a pole, frame, or other Structure that is not a part of the Building.

(1) Small Freestanding Signs Types:

A. Sidewalk Sign

B. Yard Sign

C. Directional Sign

(2) General Requirements:

A. Size. Allocation of Sign area is based on the linear Frontage of the Project Site. A maximum Sign area of 1 square foot for each 2 linear feet of Frontage, provided that the maximum surface area does not exceed 16 square feet.

B. Number. One Sidewalk Sign or Yard Sign is allowed on any Lot. If a Master Sign Plan is approved, two Signs may be allowed on a Lot or Project having a minimum Frontage of 300 feet. Directional Signs cannot exceed the number of driveways

C. Illumination. Small Freestanding Signs may only be externally illuminated. Lighting shall be directly directed down toward the Sign and shielded so that it does not shine directly into a public right-of-way and does not interfere with the safe vision of motorists or people passing by. All Standards must meet the City's Code.

(3) Large Freestanding Sign Types:

A. Monument Sign

B. Pylon/Pole Sign

(4) General Requirements:

A. Size: Cannot have a ratio of less than 4:1 sign width to narrowest width of support structure. Must follow

standards in Article 8.3.

B. Number. One Sign per street frontage of a lot.

C. Illumination: Large Freestanding Signs may only be externally illuminated unless approved by Warrant or located within the SH 71/SH 95/Loop 150 Corridors.

i. External lighting shall be directly directed down toward the Sign and shielded so that it does not shine directly into a public right-of-way and does not interfere with the safe vision of motorists or people passing by. All Standards must meet the City's Code.

ii. Internal illumination shall not operate at brightness levels of more than 0.2 foot-candles above ambient light conditions at the property line, as measured using a foot-candle meter. The total lumen output of all signs cannot exceed 10% of the total lumen allowance in Section 6.6 – Outdoor Lighting.

D. Locations for Sign Corridors:

i. SH 71 Corridor. The area located 720 feet from the centerline of the adjacent main lane of State Highway 71.

ii. SH 95 Corridor. The area located 330 feet from the centerline of the lane of State Highway 95.

- iii. Loop 150 Corridor. The area located 330 feet from the centerline of Loop 150, south of the Colorado River.
- iv. All Signs must be located within 25 feet of the property line.

(c) Incidental Sign

Signs that are intended for the convenience of the public, which are informational only, and which do not include the advertising of products or services. Such signs include business hours signs, credit card signs, entrance and exit signs, and similar signs, some of which may be required by law for safety purposes.

(1) General Requirements:

- A. Size. Sign area cannot exceed 12 square feet.
- B. Number. No limit. Incidental signage on buildings will count toward 15% area total.
- C. Cannot be illuminated.

**SEC. 8.1.010 (RESERVED)**

**SEC. 8.1.011 SIGN PERMIT REQUIREMENTS**

(a) Applications for a Sign permit must be processed through the City pursuant to this Code.

(b) Requirements. Except as otherwise provided for herein, no Sign shall be erected, posted, painted, or otherwise produced, changed, or reconstructed, in whole or in part, within the City Limits and ETJ of the City without first obtaining a permit.

(c) Applications: Application for a permit required by this Code shall be made upon forms provided by the City. The Application for Sign permits shall contain all information, drawings, and specifications necessary to fully advise the City of the type, size, shape, location, Place Type Zoning District, if within City Limits, Construction, and materials (if in Historic District) of the proposed Sign, and the Building Structure or Premises where it is to be placed. Drawings shall also show all existing Signs on the property. An Application is not considered complete until all necessary information listed in this Code are provided with the Application.

(d) Application for permit. An application for a Sign permit must be Filed with the City. An Application for any Sign must state the date when the owner intends to erect the Sign.

(e) All Applicants must provide sufficient proof, to be determined by the City, showing a real property ownership interest in the property where the Sign will be

located or sufficient proof of authorization from the real property owner for Sign placement on the property.

(f) An Application shall include:

- (1) Name, address, and telephone number of the owner of the Sign;
- (2) Name, address, and telephone of lessor sponsoring the Sign, if any;
- (3) Name, address, and telephone number of the contractor, if any, installing the Sign;
- (4) Name, address, and telephone number of the property where the Sign is to be installed;
- (5) Date when it is to be installed;
- (6) Place Type Zoning District, if in the City Limits, where the proposed Sign will be located;
- (7) Any Warrant that will be requested or has been approved; and,
- (8) An illustration or photograph including the location, appearance, and dimensions of the proposed Sign.

(9) An illustration or photograph of the position of the Sign on a Building or on the ground in plain view, drawn to scale, and Elevation views, drawn to scale.

(10) If required by the City, a copy of stress sheets and calculations showing that the structure is designed for dead load and wind pressure in any direction and in any amount required by this chapter or by the Building Code or other laws adopted by the City.

(11) An application is not considered complete unless all the above information is provided with the Application.

(g) The City shall promptly process the Sign permit Application and approve the Application, reject the Application, or notify the Applicant of deficiencies in the Application within 21 calendar days after receipt. Any Application that complies with all provisions of this Code, the Building Code, and other applicable laws, Standards, and ordinances shall be approved after inspection and approval of the plans and the Site.

(1) If the Application is rejected, the City shall provide in writing a list of the reasons for the rejection. An application shall be rejected for non-compliance with the terms of this Code, Building Code, B<sup>3</sup> Technical



Manual or other applicable law, Standards, or ordinance. If the permit Application does not comply with the City ordinances after resubmission and review by City and no variances have been applied for, the Applicant must pay a reapplication fee before the City will review the Application again.

(2) If the City has not approved or rejected the permit within 45 calendar days after the completed Application is Filed, the Applicant may file a complaint to the ZBA as if the permit had been denied.

(h) Duration and revocation of permit. If a Sign is not completely installed within 6 months following the issuance of a Sign permit, the permit shall be void. The City may revoke a Sign permit under any of the following circumstances:

(1) The City determines that information in the Application was materially false or misleading;

(2) The Sign as installed does not conform to the Sign permit Application;

(3) The Sign violates this Code, Building Code, B<sup>3</sup> Technical Manual, or other applicable law, standard, or ordinance; or

(4) The City determines that the Sign is not being properly maintained or has been abandoned.

(i) Warrants. Items listed as available for approval with a Warrant shall be applied for prior to submitting the sign application. The Warrant will be reviewed and approved by the Sign Administrator.

(j) Appeals. If the City denies a permit, the Applicant may Appeal to the Zoning Board of Adjustment.

(k) All applications for permits shall include a drawing to scale of the proposed Sign and all existing Signs maintained on the Premises and visible from the right-of-way, a drawing of the Lot plan or Building Facade indicating the proposed location of the Sign, and specifications for its Construction, Lighting, motion, and wiring, if any. All drawings shall be of sufficient clarity to show the extent of the work.

(a) Qualifications. Only those individuals who properly obtained a permit by the City, the City's designee, or other

statutorily required permit or approval shall receive a permit to erect or alter any Sign. Permits for the

installation, erection, or Alteration of any electrical components on a Sign shall be issued only to those individuals who hold a Commercial Sign operator's license and master electrician's license. It is an offense for any person licensed under the provisions of this Code to obtain a permit on behalf of, or for the benefit of, any unlicensed person whose Business activities are such that such unlicensed person would need a license to obtain a permit.

(l) Conditions for issuing permits. No permit for the erection or Alteration of any Sign over any Sidewalk, Alley, or other public property, or on or over any roof or Building shall be issued to any person except upon the condition that the permit may be withdrawn at any time, at which time the Sign shall be immediately removed by the Responsible Party, who will also be liable under the penalties provided for in this Code.

(m) Issuance. A new permit shall not be issued when:

(1) An existing billboard (Off-Premises) Sign is in a deteriorated, unsafe, or unsightly condition.

(2) A Sign on the Premises is not in compliance with this Code.

(3) Authorization of the property owner where the Sign is to be placed has not been obtained.

(4) Inspection. Any Sign that a permit is issued shall be inspected after its erection for conformity to the provisions of this Code.

(5) Fees. No permit shall be issued until applicable fees have been paid to the City. Fees may be subject to change without prior notification. The Sign permit fee schedule shall be in accordance with the fee schedule enacted by the City Council and located at City Hall.

(6) Before any permit may be issued for a new Sign under this chapter, the Responsible Party shall modify or remove any of its own nonconforming Signs and Sign structures displayed or erected on the same property that the permit is being sought, so that all the Signs and Sign structures they are responsible for on the property conform to the provisions of this chapter. This provision does not apply to real estate Signs, banners, temporary Signs, or Sidewalk Signs. This provision does not apply to nonconforming Signs with a Variance.

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## ARTICLE 8.2 MASTER SIGN PLANS

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(a) A Master Sign Plan is a comprehensive document containing specific regulations for an entire Project's Signs. Master Sign Plans are appropriate for Planned Development Districts, Master Planned Developments, development agreements or in the case where a Project applicant is seeking several variances to the Signs Chapter of the B<sup>3</sup> Code.

- (1) Master Sign Plans for areas with a multi-unit complex are highly encouraged to meet the unique needs of each multi-unit complex.
- (2) All owners, tenants, subtenants and purchasers of individual units within the Development shall comply with the approved Master Sign Plan.
- (3) Master Sign Plans are not appropriate for a single tenant to increase the amount or size of signage.
- (4) A change in Sign Types cannot be approved if not allowed in the base Place Type District for the site.
- (5) Cannot include changes to non-conforming signs.

### SEC. 8.2.001 APPROVAL OF MASTER SIGN PLANS

(a) A Responsible Party that seeks approval of a Master Sign Plan must file a request for a Master Sign Plan with the Sign Administrator along with a Sign permit fee, as stated in the City's most recent fee schedule. The Sign Administrator will indicate what documentation the Responsible Party must provide in support of the request.

- (b) Once the necessary documentation has been provided to the Sign Administrator, the Sign Administrator may administratively deny or approve the Master Sign Plan, with or without conditions.
- (c) The Sign Administrator may determine to present the Master Sign Plan to the City Council for approval or denial in lieu of Administrative Approval.
- (d) If the Responsible Party disagrees with a decision of the Sign Administrator to deny a Master Sign Plan, or disagrees with the conditions placed on a Master Sign Plan by the Sign Administrator, the Responsible Party may submit a written request that the City Council review the Master Sign Plan request, the supporting documents, and the Sign Administrator's decision. The City Council can affirm, reverse, or modify the decision of the Sign Administrator.
- (e) The City Council has final authority to approve a Master Sign Plan or conditions on a Master Sign Plan.
- (f) A Master Sign Plan ordinance can modify Variance procedures for its specific property.

**SEC. 8.2.002 PROCEDURE FOR VARIANCES TO MASTER SIGN PLANS**

(a) A Responsible Party that wants a Variance from a Master Sign Plan adopted under this chapter must file a request for Variance with the Sign Administrator along with a Variance fee, as stated in the City's most recent fee schedule. The Sign Administrator will indicate what documentation the Responsible Party must provide in support of the request.

(b) Once the necessary documentation has been provided to the Sign Administrator, the Sign Administrator may administratively deny or approve a Variance, with or without conditions, from an adopted Master Sign Plan if the change is related to:

- (1) Change the location of the Sign within the area designated by the Master Sign Plan;
- (2) Change the location of the Sign within the right-of-way or into the right-of-way so long as a license agreement is presented and approved by the Sign Administrator;
- (3) Change illumination of the Sign so long as the illumination complies with Section 6.5.004 - Outdoor Lighting;

(4) Change of Sign Face so long as the size of the Sign Face is not increased;

(5) Change in number of panels or size of panels on a Monument Sign so long as total size of Sign Face is not increased; or

(6) Change in letter size or line number so long as total size of Sign Face is not increased.

(c) Administrative Approval is not allowed and Variance procedures in Section 8.2.003 - Variances - shall be followed if:

(1) Additional Signs are requested;

(2) Increase in the size of the Sign is requested;

(3) Change in Sign type is requested;

(4) Increase in the Height of the Sign is requested; or

(5) The Sign Administrator determines the Variance request shall be reviewed in the regular Variance process.

- (d) If the Responsible Party disagrees with a decision of the Sign Administrator to deny a Variance request, or disagrees with the conditions placed on a grant of a Variance by the Sign Administrator, the Responsible Party may submit a written request that the ZBA review the Variance request, the supporting documents, and the Sign Administrator's decision. The ZBA can affirm, reverse, or modify the decision of the Sign Administrator.
- (e) The ZBA has final authority to approve a Variance or conditions on a Variance.
- (f) A Master Sign Plan ordinance can modify Variance procedures for its specific property.

**SEC. 8.2.003 VARIANCES**

- (a) A Responsible Party that wants a Variance from the Sign Chapter of the B<sup>3</sup> Code must file a request for Variance with the Sign Administrator along with a Variance application fee, as stated in the City's most recent fee schedule. The Sign Administrator will indicate what documentation the Responsible Party must provide in support of the request.
- (b) Once the complete and necessary documentation has been provided to the Sign Administrator, the Sign Administrator shall review the request and make a

determination based on the documentation provided by the Responsible Party.

- (c) The Sign Administrator may, in specific cases and subject to appropriate conditions, and only after a finding based on the evidence presented that strict compliance with the requirements of this Chapter will result in substantial undue hardship, sufficient mitigation, or inequity to the applicant without sufficient corresponding benefit to the City and its citizens in accomplishing the objectives of this Chapter:
  - (1) Permit a Variance for a noncommercial or Commercial Sign of the Setback, effective area, size of internal components of a Sign so long as total size of Sign Face is compliant, or Height requirements of this Chapter;
  - (2) Authorize one additional Sign on Premises more than the number permitted by this Chapter; or
  - (3) Approve an increase in Height up to four (4) feet.
- (d) Other requests for variances shall be forwarded to the ZBA. The ZBA may decide, subject to appropriate conditions, and only after a finding based on the evidence presented that strict compliance with the

requirements of this Code will result in substantial undue hardship, sufficient mitigation, or inequity to the applicant without sufficient corresponding benefit to the City and its citizens in accomplishing the objectives of this Chapter.

The Sign Administrator and ZBA shall consider:

- (1) Special or unique hardship because of the size or shape of the property on which the Sign is to be located, or the visibility of the property from public roads.
- (2) Hardship claim based on the exceptional topographic conditions or physical features uniquely affecting the property on which a Sign is to be located.
- (3) Proposed Sign location, configuration, design, materials and colors are harmonious.
- (4) The Sign and its supporting structure is in architectural harmony with the surrounding Structures.
- (5) Mitigation measures related to the Sign in question or other Signs on the same Premises.

- (6) Demonstrated and documented correlation between the Variance and protecting the public health and safety.
- (7) Whether the Sign could have been included in a Master Sign Plan. Master Sign plans are highly encouraged. The City will be more inclined to favorably consider a Variance request when the Variance is part of a Master Sign Plan. There will be a presumption against granting variances piecemeal, ad hoc, on a case-by-case basis when the Sign for which a Variance is sought could have been included in a Master Sign Plan and considered in the course of a comprehensive review of the entire Project's signage.
- (8) The Sign Administrator may authorize the remodeling, renovation, or alteration of a Sign when some nonconforming aspect of the Sign is thereby reduced.
- (f) Where a permit was required for a Sign's erection according to the law in effect at the time the Sign was erected and where the Sign Administrator finds no record of a permit being issued, the Sign Administrator may authorize the issuance of a replacement permit when, from the evidence presented, the Sign Administrator finds either that a permit was issued or that arrangements were made with a sign company to obtain such permit.

(g) If a Variance applicant wishes to appeal the decision of the Sign Administrator, the applicant shall file for an appeal with the ZBA within 10 days of receipt of the Sign Administrator's decision. The ZBA shall consider the appeal at its next regular meeting or as soon as practicable. The ZBA shall either:

- (1) Approve, reject, or approve upon condition the Variance Application, if any, at its meeting;
- (2) Postpone its decision on the request of the applicant;  
or,
- (3) Postpone its decision to its next regular meeting for good cause based on need for further review by the board of adjustment. Upon approval by the board of adjustment, the Sign permit and variances, if any, the permit shall be issued by the city administrator or the administrator's designee.

#### **SEC. 8.2.004 CONDITIONS**

(a) The Sign Administrator or ZBA may impose conditions upon the granting of a Variance under this chapter. Such conditions must be related to the Variance sought and be generally intended to mitigate the adverse effects of the Sign on neighboring tracts and the general aesthetic ambiance of the community. A non-exhaustive list of

examples of conditions include increased setbacks, added vegetation, muted colors, and decreased Lighting. The ZBA may condition Sign variances on the Responsible Party bringing other existing, nonconforming Signs into compliance with current regulations. A Responsible Party's failure to comply with conditions placed on a Variance may result in the ZBA voiding the Variance and authorizing all available code enforcement actions and other remedies available in equity or at law.




**ARTICLE 8.3 ON-PREMISE SIGN TYPES & STANDARDS**

ADDRESS SIGN

DESCRIPTION

SIGN DETAILS


a)

	PLACE TYPES ▶	P2	P3	P4	P5	SPECIFICATIONS ▼
AWNINGS & SIGNS				P	P	<ul style="list-style-type: none"> <li>a. <b>Quantity:</b> 1 per awning section max.</li> <li>b. <b>Area:</b> n/a</li> <li>c. <b>Width:</b> width of face max.</li> <li>d. <b>Height:</b> n/a</li> <li>e. <b>Depth / Projection:</b> 4 ft min.</li> <li>f. <b>Clearance:</b> 8 ft min.</li> <li>g. <b>Letter Height:</b> 5 in min., 10 in max.</li> <li>h. <b>Valance Height:</b> 12 in max.</li> <li>i. <b>Distance from Curb:</b> 2 ft min.</li> </ul>

DESCRIPTION  
Awning Signage shall be limited to no more than 70% of the Valance of the awning or the vertical portion of a dome awning. The Height of the Valance shall not exceed 12 inches. For a flat roof awning, Awning Signage can extend 12 inches above the top of the awning. Awning Signs shall contain only the Business name, Logo, and/or Street address.

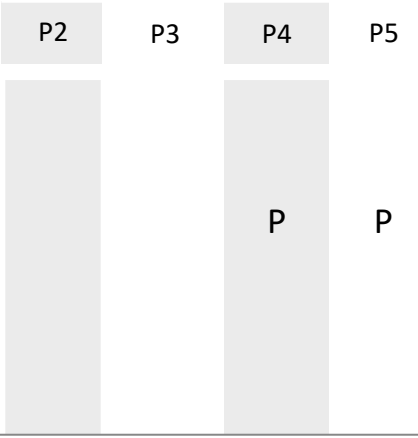
- SIGN DETAILS
- i. The following variations of awnings, with or without Sign Bands, are permitted: (1) Fixed or retractable awnings; (2) Shed awnings; (3) Dome awnings; 4) Flat roof awnings.
  - ii. Other awning types may be permitted by Warrant.
  - iii. Signage shall be limited to the Valance of the awning, the vertical portion of a dome awning, or along the front edge of a flat roof awning.
  - iv. No portion of an awning shall be lower than 8 feet Clearance.
  - v. Awnings shall be a minimum of 4 feet in depth.
  - vi. Awnings shall not extend beyond the width of the Building or tenant space, nor encroach above the roof line or the Story above.
  - vii. The Height of the Valance shall not exceed 12 inches.
  - viii. Awning Signs shall contain only the Business name, Logo, and/or Street address.
  - ix. Letters, numbers, and graphics shall cover no more than 70% of the Valance area or 70% of the width of a flat roof awning.
  - x. Awning Signs shall not be internally illuminated or backlit.

b)

	PLACE TYPES ▶	P2	P3	P4	P5	SPECIFICATIONS ▼
BAND SIGNS				P	P	<ul style="list-style-type: none"> <li>a. <b>Quantity:</b> 1 max. (1 per street facade for corner buildings)</li> <li>b. <b>Area:</b> 1.5 sf per linear ft Facade</li> <li>c. <b>Width:</b> 90% max. width of Facade</li> <li>d. <b>Height:</b> 3 ft max.</li> <li>e. <b>Depth / Projection:</b> 7 in max.</li> <li>f. <b>Clearance:</b> 8 ft min.</li> <li>g. <b>Apex:</b> n/a</li> <li>h. <b>Letter Height:</b> 18 in max.</li> </ul>
DESCRIPTION	1 Band Sign limited to 90% of the width of the Building Facade shall be permitted for each Building with a Commercial Use. Information shall consist only of the name and/or Logo of the Business.					
SIGN DETAILS	<ul style="list-style-type: none"> <li>i. All businesses are permitted 1 Band Sign on each first Story Facade.</li> <li>ii. Band Signs shall include only letters, background, Lighting, and an optional Logo. Information shall consist only of the name and/or Logo of the Business. Band Signs shall not list products, sales, or other promotional messages, or contact information.</li> <li>iii. The following Band Sign Construction types are permitted: Cut-out Letters. Letters shall be individually attached to the wall or on a separate background panel, and shall be externally illuminated.               <ul style="list-style-type: none"> <li>(1) Flat Panel. Letters shall be printed or etched on same surface as the background, that is then affixed to the wall and externally illuminated.</li> <li>(2) Channel Letters by Warrant. Each letter shall have its own internal Lighting element, individually attached to the wall or onto a separate background panel.</li> </ul> </li> </ul>					

c)

PLACE TYPES ▶



SPECIFICATIONS ▼

**BAND SIGNS**  
– SH 71, SH  
95, Loop 150  
Sign  
Corridors

- a. **Area:** 15% of tallest floor facade. (located on street facades)
- b. **Width:** 90% max. width of Facade
- c. **Height:** 90% height of wall sign area. Over 4 feet, see iv.
- e. **Depth / Projection:** 7 in max.
- i. **Clearance:** 8 ft min.
- j. **Letter Height:** 18 in max.

DESCRIPTION

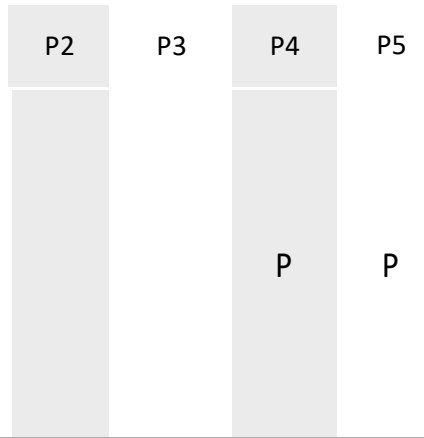
Band Signs limited to 90% of the width of the Building Facade shall be permitted for each Building with a Commercial Use. Information shall consist only of the name and/or Logo of the Business.

SIGN DETAILS

- i. All businesses are permitted Band Signs on each street facing facade. Businesses with no street frontage are allowed Band Signs on the façade with the primary entrance.
- ii. Band Signs shall include only letters, background, Lighting, and an optional Logo. Information shall consist only of the name and/or Logo of the Business. Band Signs shall not list products, sales, or other promotional messages, or contact information.
- iii. The following Band Sign Construction types are permitted:
  - (1) Flat Panel. Letters shall be printed or etched on same surface as the background, that is then affixed to the wall and externally illuminated.
- iv. Channel Letters . Each letter shall have either 1.) its own internal Lighting element, individually attached to the wall or onto a separate background panel; or 2.) The raceway must be mounted to not be visible. For band signs that exceed 4 feet, sites cannot have a pylon or pole sign and monument signs are limited to 8 feet in height.

d)

PLACE TYPES ►



SPECIFICATIONS ▼

BLADE SIGNS

- a. **Quantity:** 1 per Facade max. 2 max.
- b. **Area:** 4 sf max. In P2, P3 & 6 sf max. in P4, P5
- c. **Width:** 4 ft max.
- d. **Height:** 4 ft max.
- e. **Depth / Projection:** 4 ft max.
- f. **Clearance:** 8 ft min.
- g. **Apex:** n/a
- h. **Letter Height:** 8 in max.


DESCRIPTION

Blade Signs shall be permitted only for businesses that have a Principal Entrance on the first Story. One Blade Sign shall be permitted for each Business if the Facade is no more than 5 feet from the Principal Frontage Line. Blade Signs may encroach into the Public Frontage up to 4 feet, shall clear the Sidewalk by at least 8 feet, and shall not encroach above the bottom of any second Story windows. Blade Signs shall be limited to the name and/or Logo of the Business.

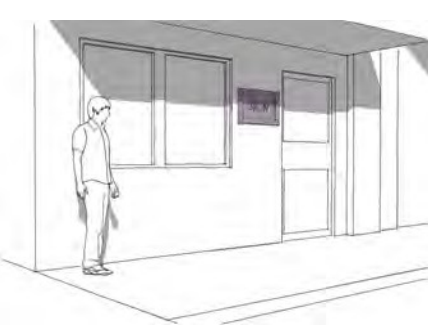
SIGN DETAILS

- i. Blade Signs may be double-sided.
- ii. Blade Signs shall be permitted only for businesses that have a Principal Entrance on the first Story.
- iii. Businesses shall be permitted 1 Blade Sign where its Principal Frontage Lin is no more than 5 feet from the Facade. Businesses that have a Secondary Frontage line that is no more than 2 feet from the Facade shall be permitted 1 additional blade Sign on that Facade.
- iv. Blade Signs may encroach into the Public Frontage up to 4 feet and shall clear the Sidewalk by at least 8 feet.
- v. Blade Signs shall not encroach above the roof line nor above the bottom of the second Story window.
- vi. Text and graphics on the Blade Sign shall be limited to the name and/or Logo of the Business. Slogans, address labels, operating hours and contact information shall not be permitted.
- vii. Mounting hardware, such as supports and brackets, may be simple and unobtrusive or highly decorative, but shall complement the design of the Sign, the Building, or both.
- viii. For buildings with multiple Signs, mounting hardware or Sign shapes, sizes and colors shall be Coordinated.

e)

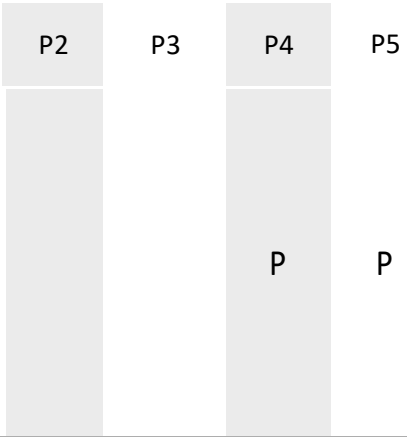
	PLACE TYPES ▶	P2	P3	P4	P5	SPECIFICATIONS ▼
MARQUEE SIGNS					P	<ul style="list-style-type: none"> <li>a. <b>Quantity:</b> 1 per Business max.</li> <li>b. <b>Area:</b> n/a</li> <li>c. <b>Width:</b> entrance plus 2 ft each side</li> <li>d. <b>Height:</b> 50% Story Height max.</li> <li>e. <b>Depth / Projection:</b> 4 ft min.; 10 ft max.</li> <li>f. <b>Clearance:</b> 10 ft min</li> <li>g. <b>Apex:</b> n/a</li> <li>h. <b>Letter Height:</b> n/a</li> <li>i. <b>Distance from Curb:</b> 3 ft min.</li> </ul>
DESCRIPTION	Marquees shall be located only above the Principal Entrance of a Building, shall provide a minimum clearance of 10 feet, and may Encroach the Public Frontage to within 2 feet of the Curb. Message Boards shall be permitted as part of Marquees.					
SIGN DETAILS	<ul style="list-style-type: none"> <li>i. Marquees shall be located only above the Principal Entrance of a Building.</li> <li>ii. No Marquee shall be wider than the entrance it serves, plus 2 feet on each side thereof.</li> <li>iii. No portion of a Marquee shall be lower than 10 feet Clearance.</li> <li>iv. No Marquee shall extend closer to the Curb than 3 feet.</li> <li>v. Columns or posts may be used as supports for Marquees 8 feet deep or deeper if approved by the DRC.</li> <li>vi. All Marquees, including anchors, bolts, supporting rods, and braces, shall be constructed of non-combustible materials and shall be designed by a structural engineer submitted for approval to the Building Official.</li> <li>vii. Marquee components and materials may vary. Anchors, bolts, and supporting rods should be limited to the interior of the Marquee.</li> <li>viii. Message Boards shall be permitted as part of Marquees.</li> <li>ix. A Band Sign shall be permitted above a Marquee.</li> </ul>					

f)

	PLACE TYPES ▶	P2	P3	P4	P5	SPECIFICATIONS ▼
NAMEPLATE SIGNS				P	P	<ul style="list-style-type: none"> <li>a. <b>Quantity:</b> 1 max.</li> <li>b. <b>Area:</b> 3 sf max.</li> <li>c. <b>Width:</b> 18 in max.</li> <li>d. <b>Height:</b> 2 ft max.</li> <li>e. <b>Depth / Projection:</b> 3 in max.</li> <li>f. <b>Clearance:</b> 4 ft min.</li> <li>g. <b>Apex:</b> 7 ft max.</li> <li>h. <b>Letter Height:</b> n/a</li> </ul>
DESCRIPTION	1 Nameplate per address limited to 3 square feet may be attached to a Building wall within 10 feet of a Principal Entrance.					
SIGN DETAILS	<ul style="list-style-type: none"> <li>i. Nameplates shall consist of either a panel or individual letters applied to a Building wall within 10 feet of an entrance to the Building.</li> <li>ii. One Nameplate shall be permitted per address.</li> <li>iii. Nameplates shall not exceed 3 square feet.</li> <li>iv. Nameplates shall be constructed of durable materials.</li> </ul>					

g)

PLACE TYPES ►



SPECIFICATIONS ▼

OUTDOOR  
DISPLAY CASE



- a. **Quantity:** 1 max.
- b. **Area:** 6 sf max.
- c. **Width:** 3.5 ft max.
- d. **Height:** 3.5 ft max.
- e. **Depth / Projection:** 5 in max.
- f. **Clearance:** 4 ft min.
- g. **Apex:** n/a
- h. **Letter Height:** n/a

DESCRIPTION

Outdoor Display Cases shall not exceed 6 square feet and may be internally illuminated.

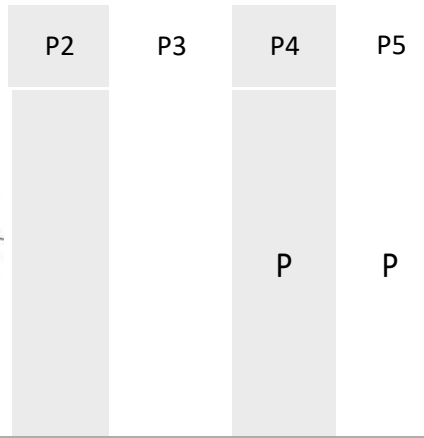
SIGN DETAILS

- i. Each Outdoor Display Case shall not exceed 6 square feet.
- ii. Outdoor display cases may be externally or internally illuminated.
- iii. Theaters may be permitted larger outdoor display cases by Warrant.
- iv. Outdoor display cases shall not be attached to Shopfront windows.



h)

PLACE TYPES ▶



SPECIFICATIONS ▼

SIDEWALK SIGN


- a. **Quantity:** 1 Building max.
- b. **Area:** 3 sf max.
- c. **Width:** 24 in max.
- d. **Height:** 2 ft max.
- e. **Depth / Projection:** 3 in max.
- f. **Clearance:** 4 ft min.
- g. **Apex:** 7 ft max.
- h. **Letter Height:** n/a

DESCRIPTION

1 Freestanding, double-sided, temporary Sidewalk Sign may be placed within the Parking Strip of the Public Frontage for each Business. Sidewalk Signs shall be removed at the close of Business each day.

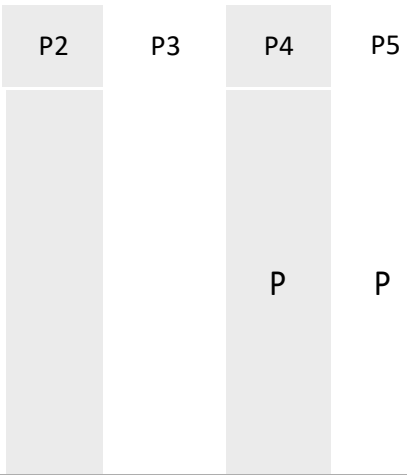
SIGN DETAILS

- i. Sidewalk Signs shall consist of Freestanding, double-sided temporary Signs placed at the entrance to a Business in a primarily Pedestrian environment.
- ii. Sidewalk Signs shall be removed at the close of Business each day.
- iii. 1 Sidewalk Sign shall be permitted for each Business.
- iv. Sidewalk Signs shall not exceed 42 inches in Height or 26 inches in width.
- v. Sidewalk Signs shall be moved inside during high winds or other weather conditions that might pose a hazard to public safety.

i)	PLACE TYPES ►	P2	P3	P4	P5	SPECIFICATIONS ▼
WINDOW SIGN				P	P	<ul style="list-style-type: none"> <li>a. <b>Quantity:</b> 1 per window max.</li> <li>b. <b>Area:</b> 25% coverage per window</li> <li>c. <b>Width:</b> n/a</li> <li>d. <b>Height:</b> n/a</li> <li>e. <b>Depth / Projection:</b> n/a</li> <li>f. <b>Clearance:</b> 4 FT min.</li> <li>g. <b>Apex:</b> n/a</li> <li>h. <b>Letter Height:</b> 8 in max.</li> </ul>
DESCRIPTION	<p>Window Signs shall not interfere with the primary function of windows, that is to enable passersby and public safety personnel to see through windows into Premises and view product displays.</p>					
SIGN DETAILS	<ul style="list-style-type: none"> <li>i. Only the following Window Sign types shall be permitted: <ul style="list-style-type: none"> <li>(a) Vinyl applique letters applied to the window. Appliques shall consist of individual letters or graphics with no visible background.</li> <li>(b) Letters painted directly on the window.</li> <li>(c) Hanging Signs that hang from the ceiling behind the window.</li> <li>(d) Neon Signs.</li> <li>(e) Door Signs applied to or hanging inside the glass portion of an entrance doorway.</li> </ul> </li> <li>ii. Window Signs shall not interfere with the primary function of windows, that is to enable passersby and public safety personnel to see through windows into Premises and view product displays.</li> <li>iii. Window Signs shall be no larger than 25% of the total area of the window onto which they are applied. Sign area shall be measured using smallest rectangle that fully encompasses the entire extent of letters, Logo and background.</li> <li>iv. Window Signs may list services and/or products sold on the Premises, or provide phone numbers, operating hours or other messages, provided that the total aggregate area of these messages not exceed the limit provided above.</li> <li>v. Letters on window Signs shall be no taller than 8 inches.</li> </ul>					

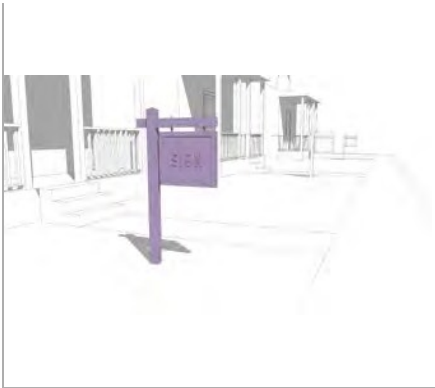
K)

PLACE TYPES ►



SPECIFICATIONS ▼

YARD SIGN



- a. **Quantity:** 1 max per Lot
- b. **Area:** 6 sf max.
- c. **Width:** 3 ft max. (not counting post)
- d. **Height:** 2 ft max. (not counting post)
- e. **Depth / Projection:** n/a
- f. **Clearance:** min. 3 ft to Sign edge
- g. **Apex:** max. 6 ft to top of post
- h. **Letter Height:** 8 in max.

DESCRIPTION 1 single- or double-post Yard Sign may be placed with the Private Frontage.

SIGN DETAILS

- i. One single- or double-post Yard Sign for each Business may be permitted , provided it is set back at least 6 feet from the Frontage Line, does not exceed 6 square feet excluding posts, and does not exceed 6 feet high including posts, measured from the yard at the post location.

K)

PLACE TYPES ▶

P2

P3

P4

P5

SPECIFICATIONS ▼

MONUMENT



P

- a. **Quantity:** 1 max per Frontage
- b. **Height:** 35 ft max. in P5 on SH 71 \*see v  
20 ft max in P5 on SH 95 & Loop 150  
6 ft max in P5
- c. **Max Height to width ratio:** 4:1

DESCRIPTION

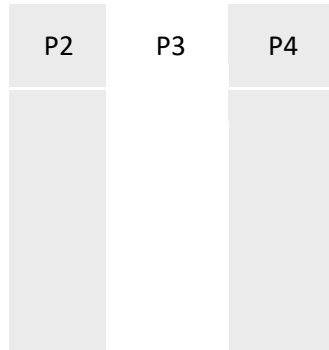
A Sign permanently affixed to the ground at its base or by poles that are enclosed by natural stone, stucco, brick, or wood and not mounted to a part of a Building. Pole(s) may be used to construct a Monument Sign so long as the poles are not visible below the Sign.

SIGN DETAILS

- i. A Monument Sign can be defined as a ground Sign generally having a low profile with little or no Open Space between the ground and the Sign and having a Structure constructed of masonry, wood, or materials similar in appearance.
- ii. How to Measure:
  - (1) Maximum total Height is measured from the finished grade at the center of the Sign. If the finished grade at the center of the Sign is higher than the finished grade of the closest paved surface, then the Height shall be measured from the finished grade of the closest paved surface.
  - (2) The monument base shall be a maximum of 2 feet in Height and shall be included in the calculation of total Height.
  - (3) A Monument Sign width cannot exceed 2 times the allowable Sign Height.
- iii. The max Height allowed along SH. 71 is 35 feet. Height limit is 8 feet if Band Sign Height exceeds 4 feet.
- iv. The max Height allowed along Loop 150 and SH 95 is 20 feet. Height limit is 8 feet if Band Sign height exceeds 4 feet.
- v. Signs along SH 71, SH 95 and Loop 150 can be internally illuminated.
- vi. A warrant for internal illumination can be requested.

K)

PLACE TYPES ▶



SPECIFICATIONS ▼

PYLON/POLE  
SIGN

P<sup>v</sup>

- d. **Quantity:** 1 max per Frontage
- e. **Height:** 35 ft max. in P5 on SH 71  
20 ft max in P5 on SH 95 & Loop 150
- f. **Max Height to width ratio:** 4:1

DESCRIPTION

A Sign permanently affixed to the ground at its base by a single- or double-poles, that are enclosed by a base of natural stone, stucco, brick, or wood and not mounted to a part of a Building. Only allowed in State Highway 71 & SH 95

SIGN DETAILS

- i. How to Measure:
  - (1) Maximum total Height is measured from the finished grade at the center of the Sign. If the finished grade at the center of the Sign is higher than the finished grade of the closest paved surface, then the Height shall be measured from the finished grade of the closest paved surface.
  - (2) The pylon/pole base shall be a maximum of 2 feet in Height and shall be included in the calculation of total Height.
- ii. The max Height allowed along SH 71 is 35 feet.
- iii. The max Height allowed along Loop 150 and SH 95 is 20 feet.
- iv. Signs along SH 71, SH 95 and Loop 150 can be internally illuminated.
- v. Only allowed in a Sign Corridor and not allowed if Band Sign exceeds 4 feet in height.

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**ARTICLE 8.4 TEMPORARY SIGNS**  
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**SEC. 8.4.001 STANDARDS FOR TEMPORARY SIGNS**

Temporary signs are allowed for a limited time period in accordance with the permitting requirements.

**a) Permits Required for:**

Banner signs

Construction Site Signs

Development Information Signs

**b) Banner signs**

- (1) Maximum sign area is forty-eight (48) square feet and not to exceed 75% of the building or lease space width upon which the sign is to be located.
- (2) Maximum banner height dimension is four (4) feet.
- (3) One banner sign may be placed on a building for up to two (2) weeks four (4) times per calendar year. The periods may be combined. Each tenant space or building located on a single lot or in a complex shall be allowed an individual banner as allowed per this article.
- (4) All four (4) corners of a banner sign shall be securely

attached to the building.

**c) Bandit Signs**

- (1) Bandit signs shall not exceed four (4) square feet and shall not be more than three (3) feet above the natural grade.
- (2) Bandit signs shall be authorized for new residential subdivisions during the development and sale phases only.
- (3) Bandit signs shall not be placed on the public right-of-way, or within the visibility triangle of an intersection.
- (4) The posting of bandit signs shall only be allowed between the hours of 5:00 a.m. Saturday through 6:00 a.m. Monday.
- (5) The bandit signs shall be set back from the property line a minimum of five (5) feet and shall not exceed three (3) feet in height above the natural grade.
- (6) Any bandit sign placed prior to 5:00 a.m. on Saturday or not removed by 6:00 a.m. Monday shall be in violation of this article. The city shall remove bandit

signs in violation of this article within twenty-four (24) hours. The owner of the bandit sign shall be fined in accordance with this article.

(b) Construction Site Signs

(1) The maximum sign area for a construction site sign is as follows:

A. Freestanding: Thirty-two (32) square feet.

B. Wall signs: 10% of building or lease space facade on which it is attached.

(3) Only one freestanding sign per street frontage on the property where the activity is to occur is permitted.

(4) Only one wall sign per building is permitted.

(5) The construction site sign shall be displayed no earlier than thirty (30) days before the commencement of the activity and must be removed no later than thirty (30) days after the activity is completed, or the installation of a permanent sign, whichever occurs first.

d) Development information signs

(1) The maximum sign area shall not exceed forty (40) square feet.

(2) One sign is allowed for every fifty (50) lots, not to exceed thirty-two (32) signs unless the project exceeds four (4) square miles.

(3) All signs must conform to a unified design, shape and neutral color scheme and be constructed of strong, durable weather-resistant materials.

(4) For a residential subdivision, the sign may be displayed once the plat is recorded and shall be removed when 90% of each phase to which the sign is a part of is completed.

(5) For a commercial development not requiring platting, the sign may be displayed with the approval of either the site plan or the building permit.

(6) Development information signs shall be located on private property within the project subdivision/development to which the signs pertain. Signs may not be located on boundary streets of the project subdivision.

(c) Garage sale signs

- (1) Must be located on private property (i.e., not in the right-of-way or on a utility pole) at a distance not less than three (3) feet from a curb.
- (2) A maximum sign area of four (4) square feet.
- (3) Allowed from 5:00 p.m. Thursday until 8:00 a.m. Monday (unless Monday is a holiday, in which case the sign can remain until 8:00 a.m. Tuesday).



e) Model Home Signs

- (1) The maximum sign area is eighteen (18) square feet.
- (2) The maximum height is six (6) feet.
- (3) One sign per cluster of model homes per builder.
- (4) A nameplate sign that identifies the individual product name is exempt if it does not exceed three (3) square feet nor three (3) feet in height.
- (5) Must be placed in front of a cluster of one or more model homes per builder.
- (6) All model home signage must be removed from the premises upon sale of the last model in the cluster.

**Sidewalk Sign** shall mean an A-framed, hinged, or folding Sign that is Freestanding and portable and not affixed to a base or pole structure. A Sidewalk Sign can be in the form of a board or an easel.

**Sideyard** shall mean the placement of a Building within the boundaries of its Lot to create a private Sideyard, with a Setback to one side. Sideyard is a Building Type.

**Sight Triangle** shall mean a triangular shaped area required on corner lots at the intersection of two streets including alleys that impact multi-modal traffic safety. See Section 2.1.011 of the B3TM for Sight Triangle figures and tables to calculate the appropriate area.

**Sign** shall mean a structure, Sign, display, light device, figure, painting, drawing, message, plaque, poster, billboard, or other object that is designed, intended, or used that includes text or images designed to communicate. Signs located completely within an enclosed Building and not exposed to view from outside the Building or Structure shall not be considered a Sign. Each display surface of a Sign or Sign Face shall be a Sign.

**Sign Administrator** shall mean the City's Director of Planning & Development or designee given the authority to enforce this Code. The Sign Administrator or designee shall review Sign Standards and applications. The term also includes any person designated to act on behalf of the Sign Administrator.

**Sign Face** shall mean the total surface including frame and mounting. The actual area of the Sign shall be calculated using trigonometric methods when the Sign is not a simple rectangle. The allowed area of the Sign as stated in the ordinance equals one side of a Freestanding back-to-back Sign provided the Freestanding Sign's sides are back to back or angled with no greater separation between sides at its widest point than 4 feet and provided that both sides have the identical Sign. Frame and mounting shall not exceed 30% of the total surface area of Sign. When referring to area limitations of monument Signs, area and signable area refers to an area within a continuous perimeter that includes the Sign structure as well as the lettering, illustrations,



# STAFF REPORT

**MEETING DATE:** April 29, 2021

**AGENDA ITEM:** 4A

**TITLE:**

Discussion on Comprehensive Plan Chapter 5 – Land Use & Community Image and Chapter 6 – Transportation.

**STAFF REPRESENTATIVE:**

Jennifer C. Bills, AICP, LEED AP, Assistant Planning Director

**BACKGROUND/HISTORY:**

The 2036 Comprehensive Plan was adopted on November 22, 2016. This document takes a proactive, comprehensive approach to addressing a community's growth and development as we plan for the City over a 30-year time frame. In the Implementation Plan in Chapter 9, it is recommended that the Commission review and update the Short-term Work Program. Every five years, a broader review of the entire plan is recommended. As we approach the five-year mark since adoption, we will begin the process of defining the scope for the review to be completed. This five-year review is not a re-write of the Comprehensive Plan, but an update to reflect completed projects and new focus areas of the City.

For this meeting, please read the Chapter 5 – Land Use & Community Image and Chapter 6 – Transportation. Staff recommends specifically reviewing the Goals and Objectives to identify specific goals that have been met or need to be updated. Also, if you have any follow up from the discussion from the March meeting, please bring any additional questions or comments.

**REFERENCE DOCUMENTS:**

**2036 Comprehensive Plan**

[https://www.cityofbastrop.org/page/plan.comp\\_plan](https://www.cityofbastrop.org/page/plan.comp_plan)