Planning & Zoning Commission Meeting Agenda

City Council Chambers 1311 Chestnut Street Bastrop, TX 78602

This meeting will be live streamed on the City of Bastrop Facebook Page



(<u>www.facebook.com/bastroptx</u>) and broadcast on Spectrum channel 10 and AT&T U-verse channel 99. A recording of the meeting will also be available within 72 hours after the meeting on the City's YouTube channel (Bastrop TX Network) and in the Agendas & Minutes section of the City website (<u>www.cityofbastrop.org</u>).

April 29, 2021 at 6:00 P.M.

City of Bastrop Planning & Zoning Commission meetings are available to all persons regardless of disability. If you require special assistance, please contact the Commission Secretary at (512) 332-8840 or write 1311 Chestnut Street, 78602, or by calling through a T.D.D. (Telecommunication Device for the Deaf) to Relay Texas at 1-800-735-2989 at least 48 hours in advance of the meeting.

As authorized by Section 551.071 of the Texas Government Code, this meeting may be convened into closed Executive Session for the purposes of seeking confidential legal advice from the City Attorney on any item on the agenda at any time during the meeting.

The City of Bastrop reserves the right to reconvene, recess, or realign the Regular Session or called Executive Session or order of business at any time prior to adjournment.

1. CALL TO ORDER

2. CITIZEN COMMENTS

At this time, comments will be taken from the audience on any topic.

In accordance with the Texas Open Meetings Act, if a citizen discusses any item not on the agenda, the Commission cannot discuss issues raised or make any decision at this time. Instead, city Commissions are limited to making a statement of specific information or a recitation of existing policy in response to the inquiry. Issues may be referred to the Staff Liaison for research and possible future action.

It is not the intention of the City of Bastrop to provide a public forum for the embarrassment or demeaning of any individual or group. Neither is it the intention of the Commission to allow a member of the public to slur the performance, honesty, and/or integrity of the Commission, as a body or any member or members of the Commission, individually or collectively, nor any members of the city's staff. Accordingly, profane, insulting, or threatening language directed toward the Commission and/or any person in the Commission's presence will not be tolerated.

3. ITEMS FOR INDIVIDUAL CONSIDERATION

- 3A. Consider action to approve meeting minutes from the March 25, 2021 Planning and Zoning Commission Regular Meeting.
- 3B. Consider action on the appeal of an administrative denial a Site Development Plan for First National Bank on Lot 2 of the Main & Spring Subdivision, located at 714 Spring Street, that was previously denied by the Director of Planning & Development due to non-compliance with the Bastrop Building Block (B³) Code Section 6.3.005 Alleys & Driveway Locations.
- 3C. Consider action to approve The Colony MUD 1F, Section 1 Preliminary Plat, being 11.948 acres out of the Jose Manuel Bangs Survey, Abstract No. 5, located west of FM 969, within the Statutory Extra-Territorial Jurisdiction of Bastrop, Texas, as shown in Exhibit A.
- 3D. Consider action on the appeal of the administrative denial of the Majestic Pines Neighborhood Regulating Plan and Warrant for Block Size, located on Pine Forest Unit 6, Phase II, Lot Reserve A Fraction (15.409 acres), within the City of Bastrop Texas as attached in the Neighborhood Regulating Plan with Exhibits A & B.
- 3E. Consider action to deny a Building Placement Warrant Request and Parking Lot Placement Warrant Request for The Leaning Place at Lost Pines being 1.160 acres out of the Riverside Grove Subdivision Phase 1, Block A, Lot 33, located west of Hasler Shores Drive.
- 3F. Public hearing and consider action to recommend approval of an ordinance for amendments to Chapter 8 Signs, including, Section 8.1.007 Non-conforming Signs, Section 8.1.009 Signs Requiring a Permit, Section 8.1.011 Sign Permit Requirements, Article 8.2 Master Plans, Article 8.3 On-Premises Sign Types & Standards, and Article 8.4 Temporary Signs, and Chapter 10 Section 10.1.002 Definitions of the Bastrop Building Block B3 Code and forward to the May 25, 2021 City Council meeting for adoption.

4. WORKSHOP

4A. Discussion on Comprehensive Plan Chapter 5 – Land Use & Community Image and Chapter 6 – Transportation.

5. UPDATES

- 5A. Update on recent City Council actions regarding Planning Department items.
- 5B. Individual Requests from Planning & Zoning Commissioners that particular items to be listed on future agendas (no group discussion allowed).
- 5C. Building Department and Planning Department Monthly Projects Volume Report.

6. ADJOURNMENT

I, the undersigned authority, do hereby certify that this Notice of Meeting as posted in accordance with the regulations of the Texas Open Meetings Act on the bulletin board located at the entrance to the City of Bastrop City Hall, a place of convenient and readily accessible to the general public,

as well as to the City's website, www.cityofbastrop.org and said Notice was pos following date and time: Monday, April 26, 2021 at 5:00 p.m. and remained posted two hours after said meeting was convened.	ted on the for at least
Vivianna Andres, Development Coordinator	



STAFF REPORT

MEETING DATE: April 29, 2021 AGENDA ITEM: 3A

TITLE:

Consider action to approve meeting minutes from the March 25, 2021 meeting of the Planning & Zoning Commission.

STAFF REPRESENTATIVE:

Nicole Peterson, Planning Technician



Planning and Zoning Commission March 25, 2021 Meeting Minutes

The City of Bastrop Planning and Zoning Commission met Thursday, March 25, 2021 at 6:00 p.m. in the Council Chambers located at 1311 Chestnut Street, Bastrop, Texas 78602.

1. CALL TO ORDER

Debbie Moore called the meeting to order at 6:00 p.m.

Debbie Moore	Present
Glenn Johnson	Present
Cynthia Meyer	Present
Matt Lassen	Present
Cheryl Lee	Present
Greg Sherry	Present
Ishmael Harris	Absent
Pablo Serna	Present
Carrie Caylor	Present

2. CITIZEN COMMENTS

There were no citizen comments.

3. ITEMS FOR INDIVIDUAL CONSIDERATION

3A. Consider action to approve meeting minutes from the February 25, 2021 Planning & Zoning Commission Meeting, and the March 1, 2021 Planning and Zoning Commission Special Meeting.

Glenn Johnson made a motion to recommended approval of the February 25, 2021 meeting minutes. Pablo Serna seconded the motion and the motion carried unanimously.

Cynthia Meyer made a motion to recommended approval of the March 1, 2021 meeting minutes. Cheryl Lee seconded the motion and the motion carried unanimously.

3B. Consider action to deny a Site Development Plan for First National Bank on Lot 2 of the Main & Spring Subdivision, located at 714 Spring Street, that was previously denied by the Director of Planning & Development due to non-compliance with the Bastrop Building Block (B³) Code Section 6.3.005 Alleys & Driveway Locations.

Jennifer Bills presented. She stated the request is a minor deviation from code, and Staff could not approve the number of driveways requested. Jennifer presented the map showing driveway locations with an entrance and exits totaling 5 driveways. She stated this layout did not match with the B3 Code intent to make Bastrop to be a walkable place.

Question: What is the amount of impervious cover they are creating? Jennifer said it was less than what was there today.

Planning and Zoning Commission March 25, 2021 Meeting Minutes

David Lapp, the consultant for First National Bank on the project, presented his case for the driveway request on the site plan. He also discussed other site elements such as future plans for the ATM, traffic flow, reasons why FNB wants to keep the ATM a drive-up ATM, the current walkability of the surrounding neighborhood, and ingress and egress onto the site.

There was a suggestion from the Commission about perhaps approaching this at two separate items for evaluation, one being the way patrons will access the site, and the other being the method of access to the ATM. The Commission also asked the engineer on the project, Luke Stewart, if he felt this site was designed with engineering best practices in mind. Luke replied he felt it was.

David Lapp stated he would need to confer with his client prior to making any compromises on the site.

The Commission suggested the meeting be tabled so David could have time to confer with his client. David stated he would be in favor of tabling the item until a further date.

Cynthia Meyer made a motion to defer the Site Development Plan for First National Bank on Lot 2 of the Main & Spring Subdivision, located at 714 Spring Street, that was previously denied by the Director of Planning and Development due to non-compliance with the Bastrop Building Block (B³) Code Section 6.3.005 Alleys & Driveway Locations. Cheryl Lee seconded the motion and the motion carried seven to one with Glenn Johnson not in favor.

4. WORKSHOP

4A. Discussion on Rules of Procedure for the City Council and Boards and Commission of the City of Bastrop, Texas.

Jennifer Bills informed the Commission copies of the Discussion on Rules of Procedure for the City Council and Boards and Commission of the City of Bastrop, Texas were handed out at the last meeting.

4B. Discussion on Comprehensive Plan Executive Summary, Chapter 4 – Housing & Neighborhoods and any other follow up the February meeting.

Jennifer Bills and the Commission discussed looking at what needs to be updated and budgeted for with the Comprehensive Plan. The agreed topics should include addressing the voluntary ETJ, Housing and Neighborhood in Section 4 –updating some key items: demographics, growth, housing.

4C. Discussion on the direction of amendments to the Bastrop Building Block (B³) Code, Chapter 8 - Signs.

Jennifer presented her recommendations on what needs to be changed within the Sign Code.

The Commission asked if the size of the Harbor Freight sign could be evaluated to see if it would be allowed under our current sign ordinance. Discussion was had about the back lite signs.

Planning and Zoning Commission March 25, 2021 Meeting Minutes

5. UPDATES

5A. Update on recent City Council actions regarding Planning Department items.

There were no updates at this time.

5B. Individual Requests from Planning & Zoning Commissioners that particular items to be listed on future agendas (no group discussion allowed).

Jennifer informed the Commission there would be a departmental activity report in their packet at the next meeting.

6. ADJOURNMENT

Cynthia Meyer made a motion motion carried unanimously.	to adjourn at 8:17 p.m. Matt Lassen seconded the motion, and the
Debbie Moore, Chair	_
Pablo Serna, Vice-Chair	



STAFF REPORT

MEETING DATE: April 29, 2021 AGENDA ITEM: 3B

TITLE:

Consider action on the appeal of an administrative denial a Site Development Plan for First National Bank on Lot 2 of the Main & Spring Subdivision, located at 714 Spring Street, that was previously denied by the Director of Planning & Development due to non-compliance with the Bastrop Building Block (B³) Code Section 6.3.005 Alleys & Driveway Locations.

STAFF REPRESENTATIVE:

Jennifer C. Bills, AICP, LEED AP, Assistant Planning Director

ITEM DETAILS:

Site Address: 714 Spring Street (Attachment 1)

Total Acreage: 0.588 acres

Legal Description: Main & Spring Subdivision, Lot 2

Property Owner: First National Bank

Agent Contact: Luke Stewart/Southwest Engineers

Existing Use: Parking lot/Drive-thru ATM

Existing Zoning: P-5, Core Character District: Old Town

Future Land Use: Downtown Bastrop

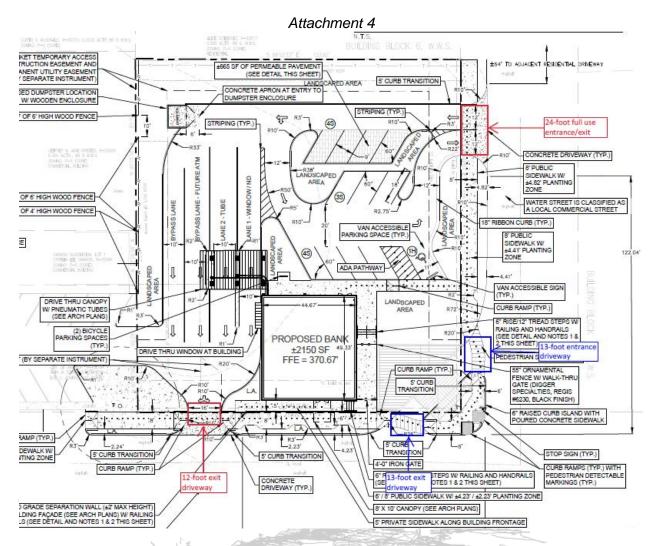
BACKGROUND/HISTORY:

The Planning & Zoning Commission first considered this appeal at the March 25, 2021 regular meeting. After discussion on the conflicts created by five driveways for the site and the possibility of closing the two driveways for the existing Cash Station ATM, the P&Z postponed the item so the applicant could revise the site development plan to see if there is a solution that could be reached administratively. After discussion between the applicant and the Assistant City Manager, a solution could not be reached.

The applicant has revised the previous plan from five driveways to four and revised the widths.

Driveway Location	March 25, 2021 Draft	April 29, 2021 Draft
New Spring Street	12'	16'
Existing Spring Street	Approx. 20' crossing	Approx. 13' crossing
Existing Water Street	Approx. 20' crossing	Approx. 13' crossing
New Water Street Exit	12'	Combined into one 24'
New Water Street Entrance	12'	entrance/exit

The revised Site Development Plan with the changes in driveways was submitted for P&Z consideration (Attachment 3). For the Cash Station ATM, the applicant is unwilling to close the drive thru, but is willing to narrow down the lanes from approximately 20 feet to 13 feet. On Water Street, the same driveway width cut to the sidewalk is proposed but is consolidated into one spot (24 feet).



The Assistant City Manager (Acting Director of Planning & Development) has denied approval of the plan for non-compliance with the driveway requirements. Per the Code, on a corner must take access off the Secondary Frontage and sites zoned P-4 or P-5 must have the driveway set a minimum of 40 feet from the street intersection. The B³ Code is designed to create pedestrian focused multi-modal streets. Allowing of multiple auto centric driveways creates multiple breaks in the sidewalk and intersections with the street driving lanes, generating conflicts for pedestrians and other auto traffic.

Per the code requirements, the site is allowed one driveway up to 24-feet wide for two-way traffic on Water Street (secondary frontage).

Other Items

- Easement Vacation: There is an existing Public Utility Easement and Access Easement
 that will have to be vacated before the Site Development Plan can be approved. The
 applicant has submitted the basic application, but staff is still waiting on additional
 documents and payment.
- Blanket Easement for Bastrop Power & Light for line relocation will need to be submitted.
- A Certificate of Appropriateness was approved by the Historic Landmark Commission on March 17, 2021 to allow a decrease in required clear window glass on the front façade from 60% to 6.5% clear and 6.5% frosted glass (13% window glass total).

POLICY EXPLANATION:

Per Table 2.4.001A Development Application Approval Process, if an applicant disagrees with the Director of Planning's denial of a Site Development Plan, the applicant can appeal the decision the Planning & Zoning Commission.

Compliance with the Bastrop Building Block (B3) Code:

SEC. 6.3.005 ALLEYS & DRIVEWAY LOCATIONS

- (a) Intent: Building walkable cities means that while vehicles are part of modern life, they should have minimal disruption to the Public Realm. The Standards of the Code intend to ensure all modes of Transportation are respected.
- (b) The preferred means of vehicular access to lots is through the use of Alleys. Alleys provide a location to hide unsightly functions of our communities such as garages, garbage cans, transformers, electric meters, and telephone equipment.
- (c) Other benefits of Alleys include:
 - (1) Alleys make it possible for rear accessed lots to be created, preserving the public frontages from interruptions of driveways and Curb-cuts.
 - (2) Safety as sidewalks and pedestrians become separated from the access requirements of vehicles.
 - (3) They create a more casual neighborhood space adjacent to backyard activity centers leaving the front of the House as a more formal community space.

(d) Driveways:

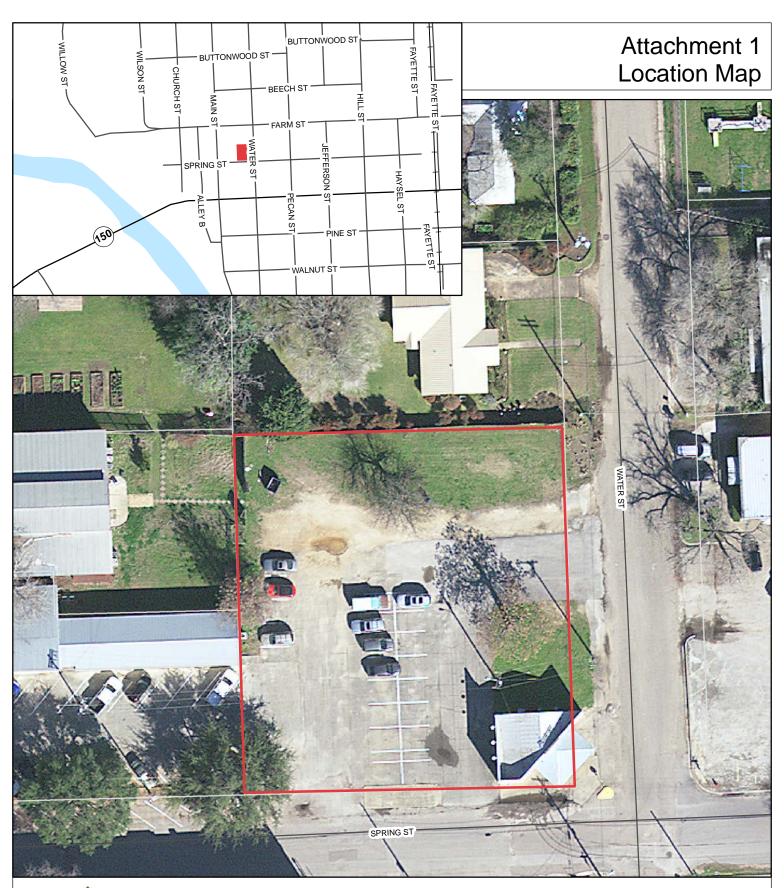
- (1) Where Alleys are present, all vehicular access shall be provided from the Alley.
- (2) Where a Lot does not have access to an Alley, driveways are allowed in accordance with this section.
- (3) For corner lots, all driveways shall be located at the Secondary Frontage.
- (4) Driveways shall be located as far from the adjacent public Street intersection as practical to achieve maximum available corner clearance, with consideration of property limits, adjacent Curb cuts, topography, and existing Drainage facilities. Non-Alley loaded driveways may intersect a Street no closer than twenty (20) feet from the intersection of 2 Street rights-of-way in P1, P2, and P3, and forty (40) feet in P4 and P5.
- (5) Mid-Block lots greater than 40' in width at the Frontage are allowed one Driveway with a maximum width of 24' for two-way and 12' for one-way driveways.
- (6) In P4 and P5, driveways accessing up to 80 feet wide of Street right-of-way must be spaced 200 feet apart centerline to centerline, and driveways accessing more than an 80 feet wide Street right-of-way must be spaced 300 feet apart centerline to centerline.
- (7) Nothing in this section shall prevent all Site access to any property.

RECOMMENDATION:

Consider action to deny the appeal of the administrative denial of a Site Development Plan for First National Bank on Lot 2 of the Main & Spring Subdivision, located at 714 Spring Street, that was previously denied by the Director of Planning & Development due to non-compliance with the Bastrop Building Block (B³) Code Section 6.3.005 Alleys & Driveway Locations.

ATTACHMENTS:

- Attachment 1: Location Map
- Attachment 2: Revised First National Bank Site Development Plan
- Attachment 3: Driveway Locations
- Attachment 4: Applicant Response





Appeal of Site Development Plan Denial 714 Spring Street

1 inch = 45 feet

Date: 3/12/2021

Date: 3/12/20/21

The accuracy and precision of this cartographic data is limited and should be used for information /planning purposes only. This data does not replace surveys conducted by registered Texas land surveyors nor does it constitute an 'official' verification of zoning, land use classification, or other classification set forth in local, state, or tederal regulatory processes. The City of Bastrop, nor any of its employees, do not make any warranty of merchantability and fitness for particular purpose, or assumes any legal liability or responsibility for the accuracy, completeness or usefullness of any such information, nor does it represent that its use would not infringe upon privately owned rights.

ENGINEER:

SOUTHWEST ENGINEERS, INC. 205 CIMARRON PARK LOOP, SUITE B

FIRST NATIONAL BANK OF BASTROP P O DRAWER F BUDA. TX 78610 BASTROP, TEXAS 78602

PH: (512) 312-4336 CONTACT: REID SHARP, PRESIDENT/CEO CONTACT: LUKE STEWART PHONE: (512) 581-4400

LANDSCAPE ARCHITECT:

SURVEYOR: **OLSON SURVEYING EVERGREEN DESIGN GROUP** 9600 GREAT HILLS TRAIL #150W 711 WATER STREET BASTROP, TEXAS 78602 AUSTIN, TEXAS 78759 CONTACT: RODNEY MCNABB PHONE: (512) 321-5476 PHONE: (800) 680-6630

FLOODPLAIN STATUS:

THE PROPERTY LIES IN UNSHADED ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOODPLAIN). AS SHOWN ON THE FEMA MAP PANEL NO. 48021C0355E, FOR BASTROP COUNTY-TEXAS, DATED JANUARY 19, 2006.

OWNER/DEVELOPER:

LEGAL DESCRIPTION:

MAIN & SPRING SUBDIVISION, LOT 2, ACRES 0.588

JURISDICTION:

CITY OF BASTROP (FULL PURPOSE)

UTILITY PROVIDERS:

WATER SERVICE: CITY OF BASTROP WASTEWATER SERVICE: CITY OF BASTROP ELECTRIC SERVICE:

DESIGN CODES:

BASTROP BUILDING BLOCK (B3) CODE

ZONING:

BLOCK DESIGNATION BUILDING BLOCK 6

NOTES:

- 1. CONTRACTOR IS FULLY RESPONSIBLE FOR FIELD LOCATING ALL EXISTING UTILITIES, PRIVATE AND PUBLIC, WITHIN THE WORK AREA. NEITHER OWNER NOR ENGINEER HAS AS-BUILT INFORMATION FOR UNDERGROUND UTILITIES AND MAKES NO GUARANTEE AS TO THEIR LOCATION. CONTRACTOR WILL EMPLOY CONSTRUCTION METHODS NECESSARY TO ENSURE UNDERGROUND UTILITIES ARE NOT DAMAGED (IE. HAND DIGGING ETC.) THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING UTILITIES, PRIVATE OR PUBLIC, AND SHALL REPAIR ANY UTILITIES DAMAGED TO THE OWNER'S SPECIFICATIONS AT NO COST TO HIM.
- THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF BASTROP RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. BASTROP POWER AND LIGHT (BP&L) WILL NOT RENDER ELECTRIC SERVICES UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.

SITE DEVELOPMENT PLAN **FOR** FIRST NATIONAL BANK OF BASTROP

714 SPRING STREET BASTROP, BASTROP COUNTY, TEXAS 78602 **APRIL 2021**

SWE PROJECT # 0930-001-20



LOCATION MAP

BASTF	ROP FIRE DEPARTMENT
FIRE DESIGN CODES	2018 INTERNATIONAL FIRE CODE WITH CITY OF BASTROP LOCAL AMENDMENTS
FIRE FLOW DEMAND @ 20 PSI	1,855 GPM
INTENDED USE	BANK
CONSTRUCTION CLASSIFICATION	V-B
BUILDING FIRE AREA	± 2,150 SF
AUTOMATIC FIRE SPRINKLER SYSTEM	NO
REDUCED FIRE FLOW DEMAND @ 20 PSI	1,500 GPM (MINIMUM)
FIRE HYDRANT FLOW TEST DATE	11/18/2020
FIRE HYDRANT FLOW TEST LOCATION	SPRING ST. / WATER ST.
ALTERNATIVE METHOD OF COMPLIANCE AMOC (IF APPLICABLE)	N/A

Sheet Number Sheet Title **COVER SHEET** NOTES SHEET PLAT SHEET **EXISTING CONDITIONS SHEET** EROSION & SEDIMENTATION CONTROL PLAN **EXISTING DRAINAGE AREA MAP** PROPOSED DRAINAGE AREA MAP SITE & DIMENSION CONTROL PLAN UTILITY PLAN 10 **GRADING PLAN** 11 TRAFFIC CONTROL PLAN 12 SITE DETAILS 13 LANDSCAPE & PUBLIC FRONTAGE PLAN 14 LANDSCAPE DETAILS & SPECIFICATIONS 15 LANDSCAPE IRRIGATION PLAN IRRIGATION DETAILS & SPECIFICATIONS (1 OF 2) IRRIGATION DETAILS & SPECIFICATIONS (2 OF 2) PHOTOMETRIC PLAN (SHEET 1 OF 3) PHOTOMETRIC PLAN (SHEET 2 OF 3) 19 PHOTOMETRIC PLAN (SHEET 3 OF 3) EXTERIOR ELEVATIONS (SHEET 1 OF 3) EXTERIOR ELEVATIONS (SHEET 2 OF 3) **EXTERIOR ELEVATIONS (SHEET 3 OF 3)**

Sheet List Table

SUBMITTED BY: SOUTHWEST ENGINEERS, INC. **DATE: JANUARY 19, 2021**

I, PAUL VIKTORIN, DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED IN THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE, AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL



AS OWNER OF THIS PROPERTY, I PROMISE TO DEVELOP AND MAINTAIN THIS PROPERTY AS DESCRIBED BY THIS PLAN

NAME OF OWNER/TRUSTEE	DATE

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN ACCEPTING THESE PLANS, THE CITY OF BASTROP MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

ACCEPTED FOR CONSTRUCTION:

CITY OF BASTROP FIRE DEPARTMENT

COVER SHEET

DIRECTOR OF PLANNING AND DEVELOPMENT	DATE
CITY OF BASTROP ENGINEER	DATE
CITY OF BASTROP ENGINEER	DATE

CORRECTION / REVISION

NO.	DESCRIPTION	REVISE (R) ADD (A) VOID (V) SHEET NO.'S	TOTAL SHEETS IN PLAN SET	NET CHANGE IMP. COVER	SITE IMP. COVER	% SITE IMP. COVER	APPROVED DATE	IMAGED DATE
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IE SEAL APPEARING ON THIS UMENT WAS AUTHORIZED BY IL VIKTORIN, P.E. # 66879 ON HE DATE INDICATED. ANY TERATIONS OF THIS SEALED CUMENT WITHOUT PROPER NOTIFICATION TO THE SPONSIBLE ENGINEER IS AN FFENSE UNDER THE TEXAS NGINEERING PRACTICE ACT.



www.swengineers.com

HEADQUARTERS 307 Saint Lawrence Street, Gonzales TX 78629 P: 830.672.7546 F:830.672.2034

CENTRAL TEXAS 205 Cimarron Park Loop, Ste. B, Buda TX 78610 P: 512.312.4336

IF THIS BAR DOES NOT MEASURE 1". DRAWN BY: LS

CHECKED BY: PV

714 SPRING STREET, BASTROP, TX 78602

FIRST NATIONAL BANK OF BASTROP

PROJECT NO. <u>0930-001-20</u> DRAWING NO. __

SHEET 1 OF 23

GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BASTROP DESIGN AND CONSTRUCTION
- 2. ANY EXISTING UTILITIES, PAVEMENT, CURBS, SIDEWALKS, STRUCTURES, TREES, ETC., NOT PLANNED FOR DEMOLITION THAT ARE DAMAGED OR REMOVED SHALL BE REPAIRED OR REPLACED AT THE APPLICANT'S
- 3. THE CONTRACTOR SHALL VERIFY ALL DEPTHS AND LOCATIONS OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES WITH THE CONSTRUCTION PLANS FOUND IN THE FIELD SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER WHO SHALL BE RESPONSIBLE FOR REVISING THE PLANS ARE APPROPRIATE.
- 4. MANHOLE FRAMES, COVERS, VALVES, CLEANOUTS, ETC. SHALL BE RAISED TO FINISHED GRADE AFTER TO FINAL PAVING CONSTRUCTION. A CONCRETE SQUARE SHALL BE POURED AROUND ALL APPURTENANCES.
- 5. THE CONTRACTOR SHALL GIVE THE CITY OF BASTROP 48 HOURS NOTICE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION. NOTICE SHALL BE GIVEN TO THE PLANNING AND DEVELOPMENT DEPARTMENT: 512-332-8840.
- 6. ALL AREAS DISTURBED OR EXPOSED DURING CONSTRUCTION SHALL BE RE-VEGETATED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. RE-VEGETATION IS TO TAKE PLACE WITHIN 14 DAYS OF CONSTRUCTION INACTIVITY. RE-VEGETATION OF ALL DISTURBED OR EXPOSED AREAS SHALL CONSIST OF SODDING OR SEEDING, AT THE CONTRACTOR'S OPTION. HOWEVER, THE TYPE OF RE-VEGETATION MUST EQUAL OR EXCEED THE TYPE OF VEGETATION PRESENT BEFORE CONSTRUCTION
- 7. PRIOR TO ANY CONSTRUCTION, THE APPLICANT'S ENGINEER SHALL CONVENE A PRECONSTRUCTION CONFERENCE BETWEEN HIMSELF, THE CITY OF BASTROP, THE CONTRACTOR, UTILITY COMPANIES, ANY AFFECTED PARTIES AND ANY OTHER ENTITY THE CITY OR THE ENGINEER MAY REQUIRE. REFERENCE DEVELOPMENT PACKET FOR GUIDANCE ON HOW TO SCHEDULE A PRECONSTRUCTION CONFERENCE.
- 8. THE CONTRACTOR AND THE ENGINEER SHALL KEEP ACCURATE RECORDS OF ALL CONSTRUCTION THAT DEVIATES FROM THE PLANS. THE ENGINEER SHALL FURNISH THE CITY OF BASTROP ACCURATE "AS-BUILT" DRAWINGS FOLLOWING COMPLETION OF ALL CONSTRUCTION. THESE "AS-BUILT" DRAWINGS SHALL MEET WITH THE SATISFACTION OF THE PLANNING AND DEVELOPMENT DEPARTMENT PRIOR TO FINAL ACCEPTANCE.
- 9. THE BASTROP CITY COUNCIL SHALL NOT BE PETITIONED FOR ACCEPTANCE UNTIL ALL NECESSARY EASEMENT DOCUMENTS HAVE BEEN SIGNED AND RECORDED.
- 10. WHEN CONSTRUCTION IS BEING CARRIED OUT WITHIN EASEMENTS, THE CONTRACTOR SHALL CONFINE HIS WORK TO WITHIN THE PERMANENT AND ANY TEMPORARY EASEMENTS. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL TRASH AND DEBRIS WITHIN THE PERMANENT AND TEMPORARY EASEMENTS. CLEAN-UP SHALL BE TO THE SATISFACTION OF THE DIRECTOR.
- 11.PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL APPLY FOR AND SECURE ALL PROPER PERMITS FROM THE APPROPRIATE AUTHORITIES.
- 12. AVAILABLE BENCHMARKS THAT MAY BE UTILIZED FOR THE CONSTRUCTION OF THIS PROJECT ARE DESCRIBED AS FOLLOWS: BENCHMARK 369.4'-60d NAIL SET IN NORTH FACE OF UTILITY POLE LOCATED NORTHWEST OF EXISTING CASH STATION.

TRENCH SAFETY NOTES

- 1. IN ACCORDANCE WITH THE LAWS OF THE STATE OF TEXAS AND THE U. S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS, ALL TRENCHES OVER 5 FEET IN DEPTH IN EITHER HARD AND COMPACT OR SOFT AND UNSTABLE SOIL SHALL BE SLOPED, SHORED, SHEETED, BRACED OR OTHERWISE SUPPORTED. FURTHERMORE, ALL TRENCHES LESS THAN 5 FEET IN DEPTH SHALL ALSO BE EFFECTIVELY PROTECTED WHEN HAZARDOUS GROUND MOVEMENT MAY BE EXPECTED. TRENCH SAFETY SYSTEMS TO BE UTILIZED FOR THIS PROJECT WILL BE PROVIDED BY THE CONTRACTOR TO THE CITY. TRENCH SAFETY SYSTEM PLANS ARE ON SHEET 9 OF THE PLAN SET.
- 2. IN ACCORDANCE WITH THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS, WHEN PERSONS ARE IN TRENCHES 4-FEET DEEP OR MORE, ADEQUATE MEANS OF EXIT, SUCH AS A LADDER OR STEPS, MUST BE PROVIDED AND LOCATED SO AS TO REQUIRE NO MORE THAN 25 FEET OF LATERAL TRAVEL.
- 3. IF TRENCH SAFETY SYSTEM DETAILS WERE NOT PROVIDED IN THE PLANS BECAUSE TRENCHES WERE ANTICIPATED TO BE LESS THAN 5 FEET IN DEPTH AND DURING CONSTRUCTION IT IS FOUND THAT TRENCHES ARE IN FACT 5 FEET OR MORE IN DEPTH OR TRENCHES LESS THAN 5 FEET IN DEPTH ARE IN AN AREA WHERE HAZARDOUS GROUND MOVEMENT IS EXPECTED, ALL CONSTRUCTION SHALL CEASE, THE TRENCHED AREA SHALL BE BARRICADED AND THE ENGINEER NOTIFIED IMMEDIATELY. CONSTRUCTION SHALL NOT RESUME UNTIL APPROPRIATE TRENCH SAFETY SYSTEM DETAILS, AS DESIGNED BY A PROFESSIONAL ENGINEER, ARE RETAINED AND COPIES SUBMITTED TO THE CITY OF BASTROP.

STREET AND DRAINAGE NOTES

- 1. ALL TESTING SHALL BE DONE BY AN INDEPENDENT LABORATORY AT THE APPLICANT'S EXPENSE. A CITY INSPECTOR SHALL BE PRESENT DURING ALL TESTS. TESTING SHALL BE COORDINATED WITH THE CITY INSPECTOR AND HE SHALL BE GIVEN A MINIMUM OF 24 HOURS NOTICE PRIOR TO ANY TESTING. CONTACT THE PLANNING AND DEVELOPMENT DEPARTMENT WITH NOTICE 512-332-8840.
- 2. BACKFILL BEHIND THE CURB SHALL BE COMPACTED TO OBTAIN A MINIMUM OF 85% MAXIMUM DENSITY TO WITHIN 3 INCHES OF TOP OF CURB. MATERIAL USED SHALL BE PRIMARILY GRANULAR WITH NO ROCKS LARGER THAN 3 INCHES IN THE GREATEST DIMENSION. THE REMAINING 3 INCHES SHALL BE CLEAN TOPSOIL FREE FROM ALL CLODS AND SUITABLE FOR SUSTAINING PLANT LIFE.
- 3. DEPTH OF COVER FOR ALL CROSSINGS UNDER PAVEMENT INCLUDING GAS, ELECTRIC, TELEPHONE, CABLE TV,
- WATER SERVICES, ETC., SHALL BE A MINIMUM OF 30 INCHES BELOW SUBGRADE.
- 4. STREET RIGHTS-OF-WAY SHALL BE GRADED AT A SLOPE OF 1/4 INCH PER FOOT TOWARD THE CURB UNLESS OTHERWISE INDICATED. HOWEVER, IN NO CASE SHALL THE WIDTH OF RIGHT-OF-WAY AT 1/4 INCH PER FOOT SLOPE BE LESS THAN 10 FEET UNLESS A SPECIFIC REQUEST FOR AN ALTERNATE GRADING SCHEME IS MADE TO AND ACCEPTED BY THE CITY OF BASTROP PLANNING AND DEVELOPMENT DEPARTMENT.
- 5. BARRICADES BUILT TO CITY OF BASTROP STANDARDS SHALL BE CONSTRUCTED ON ALL DEAD-END STREETS AND AS NECESSARY DURING CONSTRUCTION TO MAINTAIN JOB AND PUBLIC SAFETY.
- 6. ALL RCP SHALL BE MINIMUM CLASS III.
- 7. THE SUBGRADE MATERIAL FOR THE STREETS SHOWN HEREIN WAS TESTED BY ECS SOUTHWEST, LLP. THE PAVING SECTIONS WERE DESIGNED BY ECS SOUTHWEST, LLP IN ACCORDANCE WITH THE CURRENT CITY OF BASTROP DESIGN CRITERIA. THE PAVING SECTIONS ARE TO BE CONSTRUCTED AS FOLLOWS:

PCC THICKNESS HMAC THICKNESS LIME STAB. THICKNESS

RIGID	LIGHT	5.0 IN	-	-
	MODERATE	5.5 IN	-	-
	HEAVY	7.0 IN	-	-
ASPHALT	LIGHT	-	2.0 IN	8.0 IN
	MODERATE	-	2.5 IN	10.0 IN

- 8. THE GEOTECHNICAL ENGINEER SHALL INSPECT THE SUBGRADE FOR COMPLIANCE WITH THE DESIGN ASSUMPTIONS MADE DURING PREPARATION OF THE SOILS REPORT. ANY ADJUSTMENTS THAT ARE REQUIRED SHALL BE MADE THROUGH REVISION OF THE CONSTRUCTION PLANS.
- 9. WHERE PI'S ARE OVER 20, SUBGRADES MUST BE STABILIZED UTILIZING A METHOD ACCEPTABLE TO THE CITY ENGINEER. THE GEOTECHNICAL ENGINEER SHALL RECOMMEND AN APPROPRIATE SUBGRADE STABILIZATION IF SULFATES ARE DETERMINED TO BE PRESENT.

WATER AND WASTEWATER NOTES

OR EQUAL ACCEPTED BY THE CITY ENGINEER.

- 1. PIPE MATERIAL FOR WATER MAINS SHALL BE PVC (AWWA C-900, MINIMUM CLASS 200), OR DUCTILE IRON (AWWA C-100, MINIMUM CLASS 200). WATER SERVICES (2 INCHES OR LESS) SHALL BE POLYETHYLENE TUBING (BLACK, 200 PSI, DR 9).
- 2. PIPE MATERIAL FOR PRESSURE WASTEWATER MAINS SHALL BE PVC, OR DUCTILE IRON (MINIMUM CLASS 250). PIPE MATERIAL FOR GRAVITY WASTEWATER MAINS SHALL BE PVC (ASTM D2241 OR D3034, MAXIMUM DR-26), DUCTILE IRON (AWWA C-100, MINIMUM CLASS 200200).
- 3. UNLESS OTHERWISE ACCEPTED BY THE CITY ENGINEER, DEPTH OF COVER FOR ALL LINES OUT OF THE PAVEMENT SHALL BE 42 INCHES MINIMUM, AND DEPTH OF COVER FOR ALL LINES UNDER PAVEMENT SHALL BE A MINIMUM OF 30 INCHES BELOW SUBGRADE.
- 4. ALL FIRE HYDRANT LEADS SHALL BE PVC (AWWA C-900, MINIMUM CLASS 200) OR DUCTILE IRON PIPE (AWWA C-100, MINIMUM CLASS 200). AS APPROVED BY THE DIRECTOR OF WATER AND WASTEWATER DURING PLAN REVIEW.
- 5. ALL IRON PIPE AND FITTINGS SHALL BE WRAPPED WITH MINIMUM 8-MIL POLYETHYLENE AND SEALED WITH DUCT TAPE
- 6. THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR, TELEPHONE AT 512-332-8840 TO COORDINATE UTILITY TIE-INS AND NOTIFY HIM AT LEAST 48 HOURS PRIOR TO CONNECTING TO EXISTING LINES.
- 7. ALL MANHOLES SHALL BE CONCRETE WITH CAST IRON RING AND COVER. ALL MANHOLES LOCATED OUTSIDE OF THE PAVEMENT SHALL HAVE BOLTED COVERS. TAPPING OF FIBERGLASS MANHOLES SHALL NOT BE ALLOWED.
- 8. THE CONTRACTOR MUST OBTAIN A BULK WATER PERMIT OR PURCHASE AND INSTALL A WATER METER FOR ALL WATER USED DURING CONSTRUCTION. A COPY OF THIS PERMIT MUST BE CARRIED AT ALL TIMES BY ALL WHO USE
- 9. LINE FLUSHING OR ANY ACTIVITY USING A LARGE QUANTITY OF WATER MUST BE SCHEDULED WITH THE CITY INSPECTOR, TELEPHONE AT 512-332-8840.
- 10. THE CONTRACTOR, AT HIS EXPENSE, SHALL PERFORM STERILIZATION OF ALL POTABLE WATER LINES CONSTRUCTED AND SHALL PROVIDE ALL EQUIPMENT (INCLUDING TEST GAUGES), SUPPLIES (INCLUDING CONCENTRATED CHLORINE DISINFECTING MATERIAL), AND NECESSARY LABOR REQUIRED FOR THE STERILIZATION PROCEDURE. THE STERILIZATION PROCEDURE SHALL BE MONITORED BY CITY OF BASTROP PERSONNEL. WATER SAMPLES WILL BE COLLECTED BY THE CITY OF BASTROP TO VERIFY EACH TREATED LINE HAS ATTAINED AN INITIAL CHLORINE CONCENTRATION OF 50 PPM. WHERE MEANS OF FLUSHING IS NECESSARY, THE CONTRACTOR, AT HIS EXPENSE, SHALL PROVIDE FLUSHING DEVICES AND REMOVE SAID DEVICES PRIOR TO FINAL ACCEPTANCE BY THE CITY OF BASTROP.
- 11. SAMPLING TAPS SHALL BE BROUGHT UP TO 3 FEET ABOVE GRADE AND SHALL BE EASILY ACCESSIBLE FOR CITY PERSONNEL. AT THE CONTRACTOR'S REQUEST, AND IN HIS PRESENCE, SAMPLES FOR BACTERIOLOGICAL TESTING WILL BE COLLECTED BY THE CITY OF BASTROP NOT LESS THAN 24 HOURS AFTER THE TREATED LINE HAS BEEN FLUSHED OF THE CONCENTRATED CHLORINE SOLUTION AND CHARGED WITH WATER APPROVED BY THE CITY. THE CONTRACTOR SHALL SUPPLY A CHECK OR MONEY ORDER, PAYABLE TO THE CITY OF BASTROP, TO COVER THE FEE CHARGED FOR TESTING EACH WATER SAMPLE. CITY OF BASTROP FEE AMOUNTS MAY BE OBTAINED BY CALLING THE WATER AND WASTEWATER DEPARTMENT, TELEPHONE AT 512-332-8960.
- 12. THE CONTRACTOR, AT HIS EXPENSE, SHALL PERFORM QUALITY TESTING FOR ALL WASTEWATER PIPE INSTALLED AND PRESSURE PIPE HYDROSTATIC TESTING OF ALL WATER LINES CONSTRUCTED AND SHALL PROVIDE ALL EQUIPMENT (INCLUDING PUMPS AND GAUGES), SUPPLIES AND LABOR NECESSARY TO PERFORM THE TESTS. QUALITY AND PRESSURE TESTING SHALL BE MONITORED BY CITY OF BASTROP PERSONNEL.
- 13. THE CONTRACTOR SHALL COORDINATE TESTING WITH THE CITY OF INSPECTOR AND PROVIDE NO LESS THAN 24 HOURS NOTICE PRIOR TO PERFORMING STERILIZATION, QUALITY TESTING OR PRESSURE TESTING.
- 14. THE CONTRACTOR SHALL NOT OPEN OR CLOSE ANY VALVES UNLESS AUTHORIZED BY THE CITY OF BASTROP.
- 15. ALL VALVE BOXES AND COVERS SHALL BE PLASTIC.
- 16. CONTACT THE WATER AND WASTEWATER DEPARTMENT, TELEPHONE AT 512-332-8960 FOR ASSISTANCE IN OBTAINING EXISTING WATER AND WASTEWATER LOCATIONS.
- 17. THE PLANNING AND DEVELOPMENT DEPARTMENT, TELEPHONE AT 512-332-8840, SHALL BE NOTIFIED 48 HOURS PRIOR TO TESTING OF ANY BUILDING SPRINKLER PIPING IN ORDER THAT THE BUILDING OFFICIAL AND/OR FIRE DEPARTMENT MAY MONITOR SUCH TESTING.
- 18. SAND, AS DESCRIBED IN SPECIFICATION ITEM 510 PIPE, SHALL NOT BE USED AS BEDDING FOR WASTEWATER LINES. ACCEPTABLE BEDDING MATERIALS ARE PIPE BEDDING STONE, PEA GRAVEL AND IN LIEU OF SAND, A NATURALLY OCCURRING OR MANUFACTURED STONE MATERIAL CONFORMING TO ASTM C33 FOR STONE QUALITY AND MEETING THE FOLLOWING GRADATION SPECIFICATION:

SIEVE SIZE	PERCENT RETAINED BY WEIGHT
1/2"	0
3/8"	0-2
#4	40-85

95-100

- 19. THE CONTRACTOR IS HEREBY NOTIFIED THAT CONNECTING TO, SHUTTING DOWN, OR TERMINATING EXISTING UTILITY LINES MAY HAVE TO OCCUR AT OFF-PEAK HOURS. SUCH HOURS ARE USUALLY OUTSIDE NORMAL WORKING HOURS AND POSSIBLY BETWEEN 12 A.M. AND 6 A.M.
- 20. ALL WASTEWATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) REGULATIONS, 30 TAC CHAPTER 213 AND 317, AS APPLICABLE. WHENEVER TCEQ AND CITY OF BASTROP SPECIFICATIONS CONFLICT, THE MORE STRINGENT SHALL APPLY.

TRAFFIC MARKING NOTES

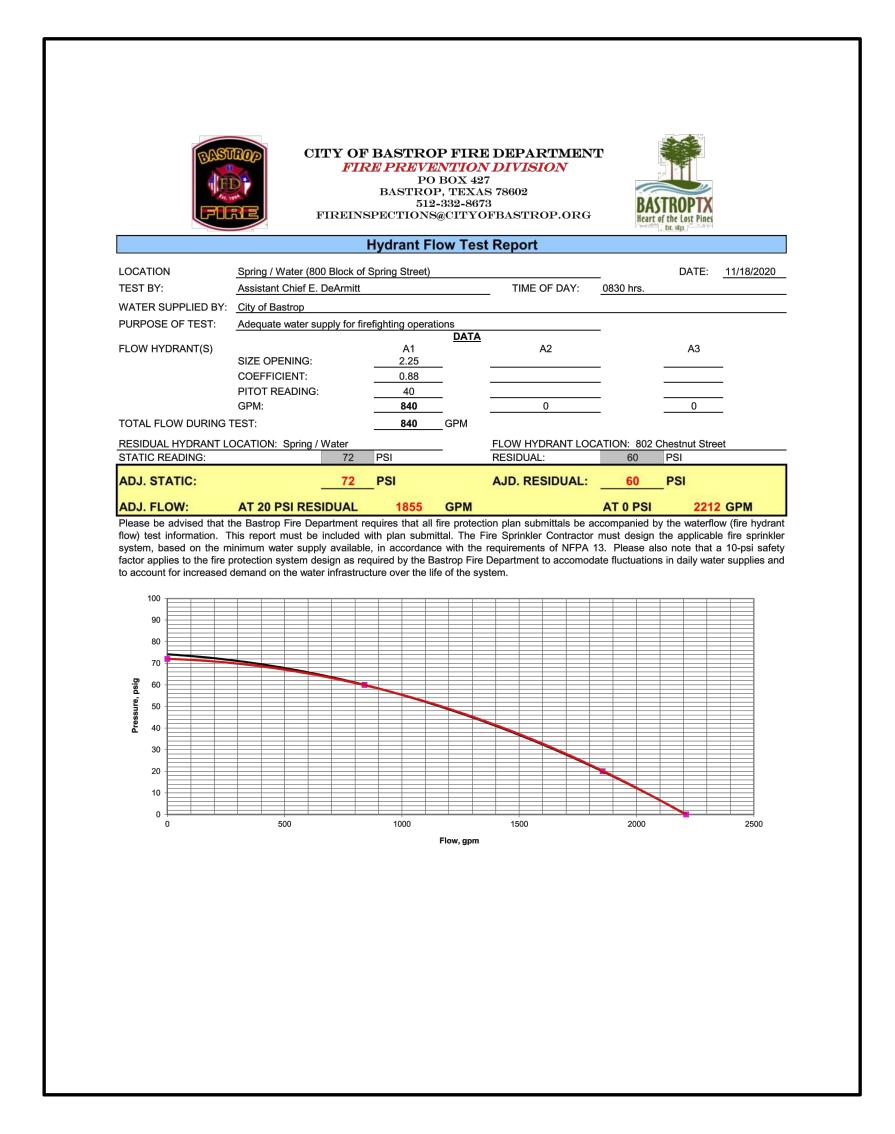
- 1. ANY METHODS, STREET MARKINGS AND SIGNAGE NECESSARY FOR WARNING MOTORISTS, WARNING PEDESTRIANS OR DIVERTING TRAFFIC DURING CONSTRUCTION SHALL CONFORM TO THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITION.
- 2. ALL PAVEMENT MARKINGS, MARKERS, PAINT, TRAFFIC BUTTONS, TRAFFIC CONTROLS AND SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE TEXAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS AND BRIDGES AND, THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITIONS.

EROSION AND SEDIMENTATION CONTROL NOTES

- 1. EROSION CONTROL MEASURES, SITE WORK AND RESTORATION WORK SHALL BE IN ACCORDANCE WITH THE CITY OF BASTROP CODE OF ORDINANCES.
- 2. ALL SLOPES SHALL BE SODDED OR SEEDED WITH APPROVED GRASS, GRASS MIXTURES OR GROUND COVER SUITABLE TO THE AREA AND SEASON IN WHICH THEY ARE APPLIED.
- 3. SILT FENCES, ROCK BERMS, SEDIMENTATION BASINS AND SIMILARLY RECOGNIZED TECHNIQUES AND MATERIALS SHALL BE EMPLOYED DURING CONSTRUCTION TO PREVENT POINT SOURCE SEDIMENTATION LOADING OF DOWNSTREAM FACILITIES. SUCH INSTALLATION SHALL BE REGULARLY INSPECTED BY THE CITY OF BASTROP FOR EFFECTIVENESS. ADDITIONAL MEASURES MAY BE REQUIRED IF, IN THE OPINION OF THE CITY ENGINEER, THEY ARE WARRANTED.
- 4. ALL TEMPORARY EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL FINAL INSPECTION AND APPROVAL OF THE PROJECT BY THE CITY INSPECTOR. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL TEMPORARY EROSION CONTROL STRUCTURES AND TO REMOVE EACH STRUCTURE AS APPROVED BY THE CITY
- 5. ALL MUD, DIRT, ROCKS, DEBRIS, ETC., SPILLED, TRACKED OR OTHERWISE DEPOSITED ON EXISTING PAVED STREETS, DRIVES AND AREAS USED BY THE PUBLIC SHALL BE CLEANED UP IMMEDIATELY.

BASTROP FIRE DEPARTMENT GENERAL NOTES

- 1. THE BASTROP FIRE DEPARTMENT REQUIRES FINAL ASPHALT OR CONCRETE PAVEMENT ON REQUIRED ACCESS ROADS PRIOR TO THE START OF COMBUSTIBLE CONSTRUCTION. ANY OTHER METHOD OF PROVIDING "ALL-WEATHER DRIVING CAPABILITIES" SHALL BE REQUIRED TO BE DOCUMENTED AND APPROVED AS AN ALTERNATE METHOD OF CONSTRUCTION IN ACCORDANCE WITH THE APPLICABLE RULES FOR TEMPORARY ROADS.
- FIRE HYDRANTS SHALL BE INSTALLED WITH THE CENTER OF THE LARGE DIAMETER HOSE CONNECTION (STEAMER) LOCATED AT LEAST 18 INCHES ABOVE FINISHED GRADE. THE STEAMER OPENING OF FIRE HYDRANTS SHALL FACE THE APPROVED FIRE ACCESS DRIVEWAY OR PUBLIC-STREET AND SET BACK FROM THE CURB LINE(S) AN APPROVED DISTANCE, TYPICALLY THREE (3) TO SIX (6) FEET. THE AREA WITHIN THREE (3) FEET IN ALL DIRECTIONS FROM ANY FIRE HYDRANT SHALL BE FREE OF OBSTRUCTIONS AND THE AREA BETWEEN THE STEAMER OPENING AND THE STREET OR DRIVEWAY GIVING EMERGENCY VEHICLE ACCESS SHALL BE FREE OF OBSTRUCTIONS.
- 3. TIMING OF INSTALLATIONS: WHEN FIRE PROTECTION FACILITIES ARE INSTALLED BY THE CONTRACTOR, SUCH FACILITIES SHALL INCLUDE SURFACE ACCESS ROADS. EMERGENCY ACCESS ROADS OR DRIVES SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION. WHEN THE FIRE DEPARTMENT APPROVES AN ALTERNATE METHOD OF PROTECTION, THIS REQUIREMENT MAY BE MODIFIED AS DOCUMENTED IN THE APPROVAL OF THE ALTERNATE METHOD.
- 4. ALL EMERGENCY ACCESS ROADWAYS AND FIRE LANES, INCLUDING PERVIOUS/DECORATIVE PAVING, SHALL BE ENGINEERED AND INSTALLED AS REQUIRED TO SUPPORT THE AXLE LOADS OF EMERGENCY VEHICLES. A LOAD CAPACITY SUFFICIENT TO MEET THE REQUIREMENTS FOR HS-20 LOADING (16 KIPS/WHEEL) AND A TOTAL VEHICLE LIVE LOAD OF 80,000 POUNDS IS CONSIDERED COMPLIANT WITH THIS REQUIREMENT.
- 5. FIRE LANES DESIGNATED ON SITE PLANS SHALL BE REGISTERED WITH THE BASTROP FIRE DEPARTMENT AND INSPECTED FOR FINAL APPROVAL.
- 6. THE MINIMUM VERTICAL CLEARANCE REQUIRED FOR EMERGENCY VEHICLE ACCESS ROADS OR DRIVES IS 13 FEET - 6 INCHES FOR THE FULL WIDTH OF THE ROADWAY OR DRIVEWAY.
- 7. DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CUBIC YARDS OR MORE SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN TEN FEET OF COMBUSTIBLE WALLS, OPENINGS, OR COMBUSTIBLE ROOF EAVE LINES.



REVISION DATE AIA PAUL J. VIKTORIN 66879 04/19/2021

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NOTES SHEET

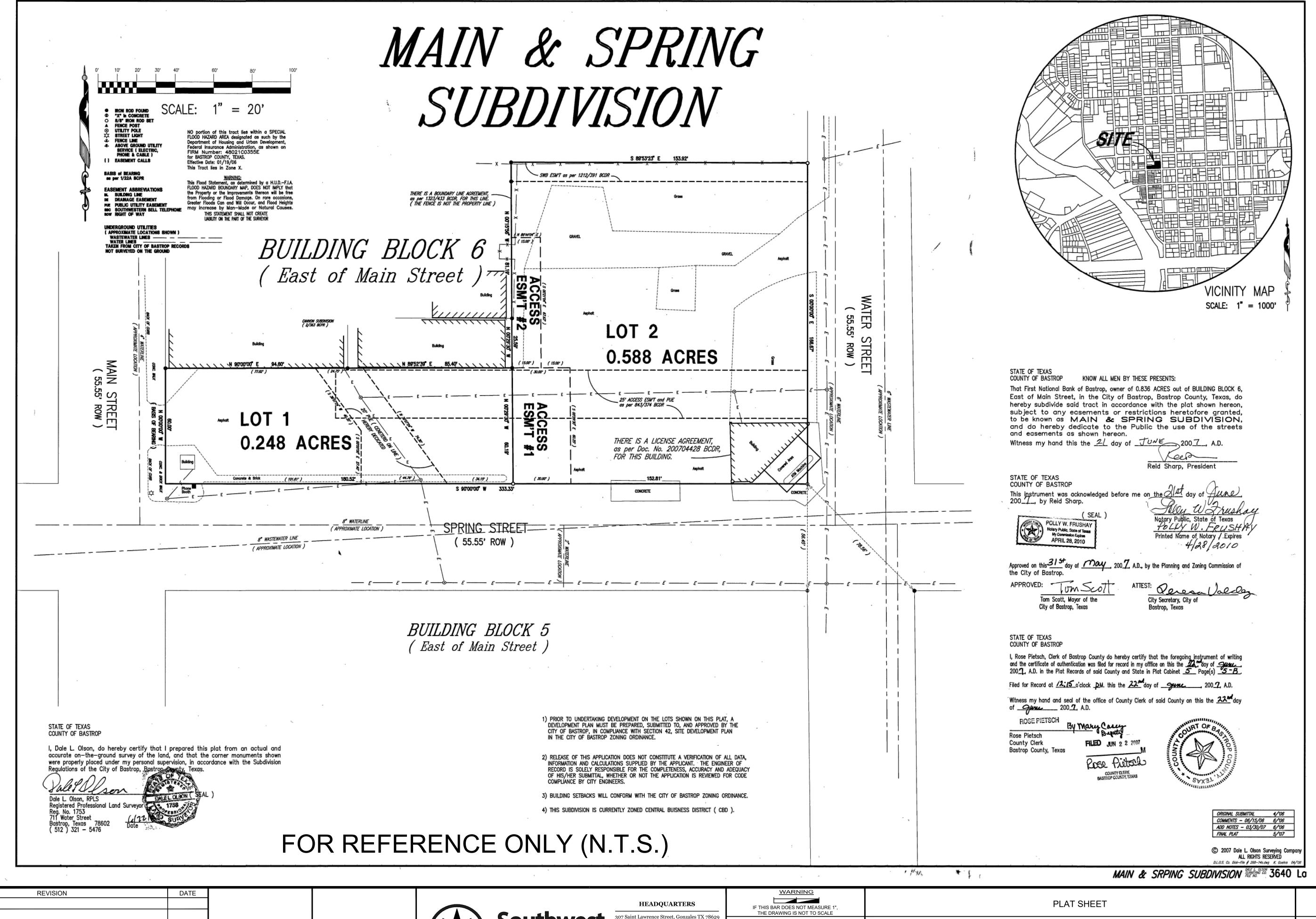
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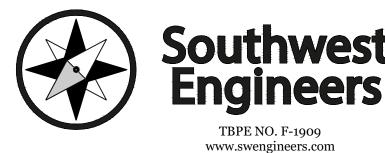
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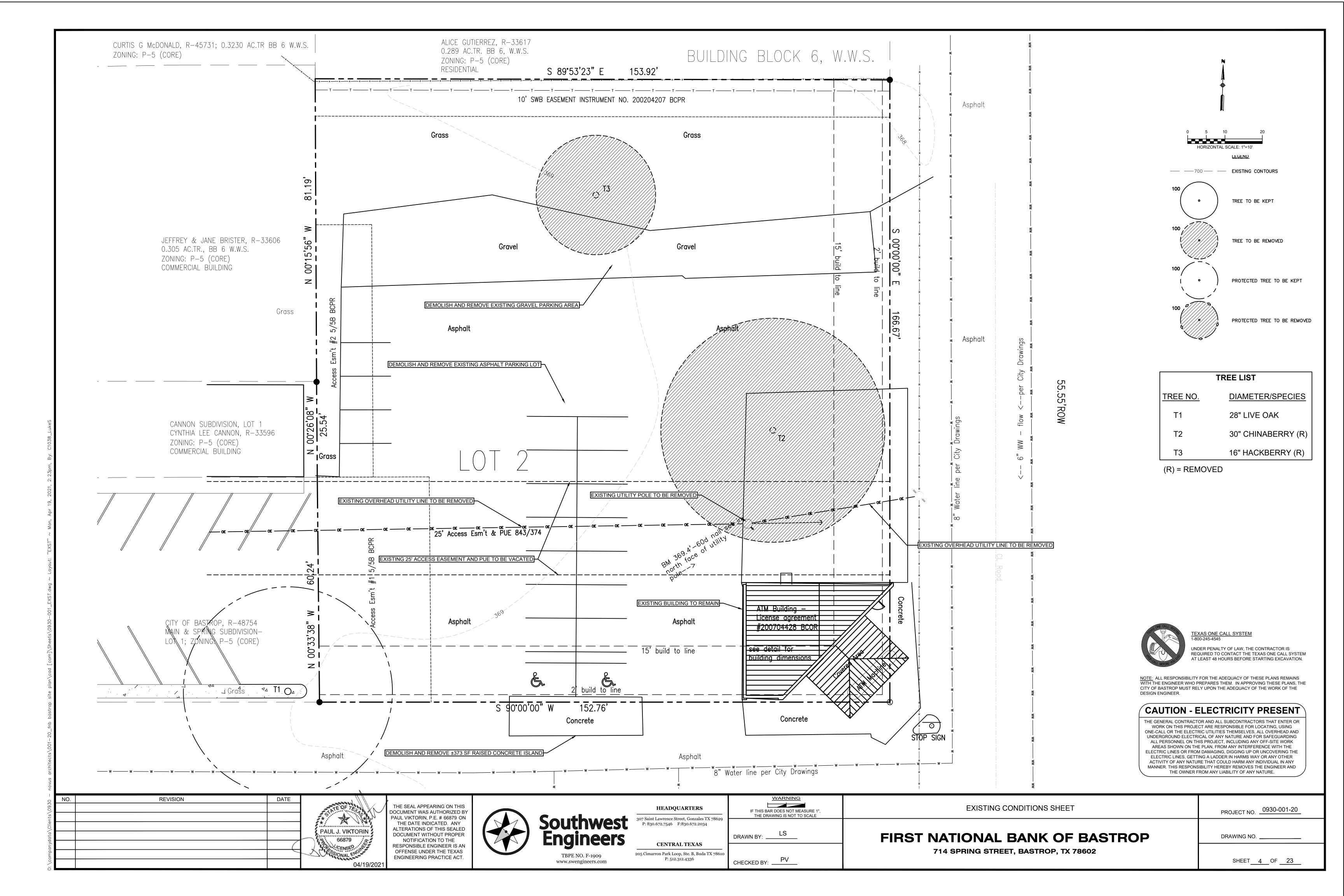
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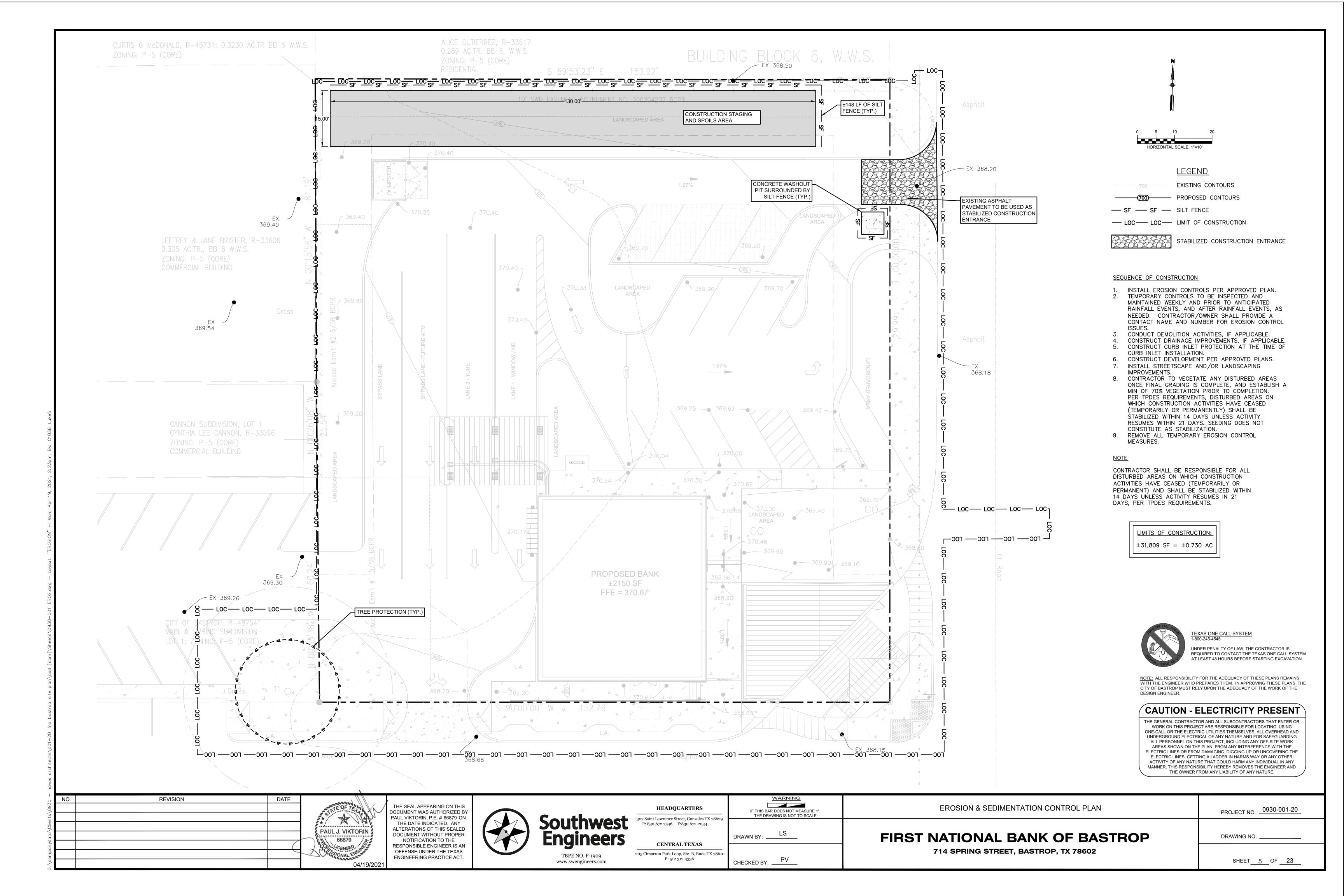
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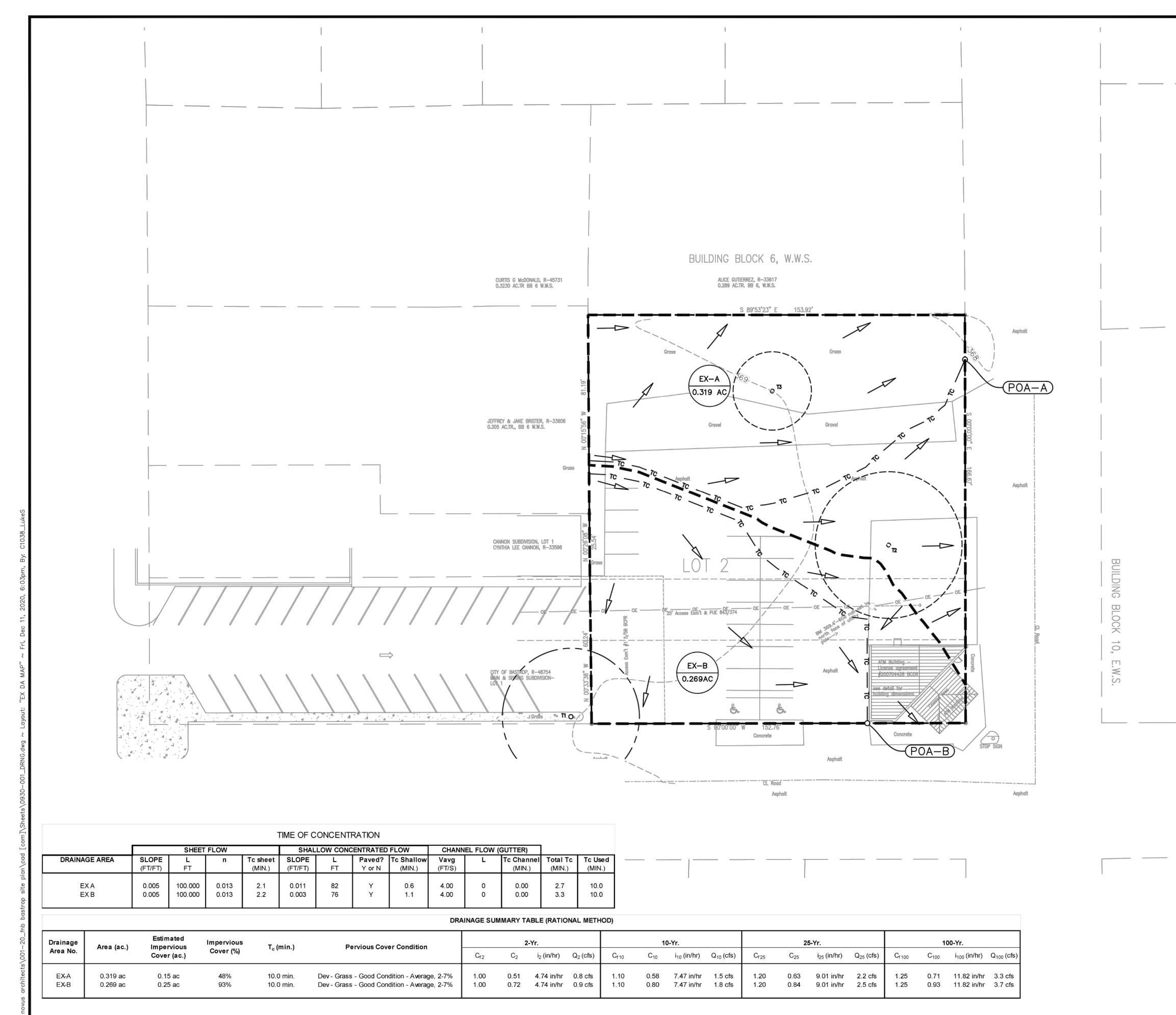
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PROJECT NO. <u>0930-00</u>1-20 DRAWING NO. _

SHEET 3 OF 23







I, PAUL VIKTORIN, DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED IN THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE, AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.





— 700 — EXISTING CONTOURS

— 700 — PROPOSED CONTOURS

DRAINAGE AREA

DRAINAGE AREA

TC —— TC —— TIME OF CONCENTRATION

 $\triangle A = 1$ POINT OF ANALYSIS

DRAINAGE FLOW DIRI

DA DRAINAGE AREA LABEL

INLET LABEL

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NOTES:

ACRES

 ON—SITE SURVEY TOPOGRAPHIC INFORMATION PROVIDED BY OLSON SURVEYING OBTAINED ON AUGUST, 10TH 2020.

 OFF—SITE TOPOGRAPHIC INFORMATION OBTAINED FROM THE UNITED STATES GEOLOGICAL SURVEY (USGS) 2019 CONTOURS...

AS OWNER OF THIS PROPERTY, I PROMISE TO DEVELOP AND MAINTAIN THIS PROPERTY AS DESCRIBED BY THIS PLAN.

Reid Sharp President/CEO

12/14/2020

NAME OF OWNER/TRUSTEE

DATE

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN ACCEPTING THESE PLANS, THE CITY OF BASTROP MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

ACCEPTED FOR CONSTRUCTION:

1,1

CITY OF BASTROP ENGINEER

12/24/2020

DATE

TE 1-8

TEXAS ONE CALL SYSTEM

1-800-245-4545

UNDER PENALTY OF LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE TEXAS ONE CALL SYSTEM AT LEAST 48 HOURS BEFORE STARTING EXCAVATION.

NOTE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARES THEM. IN APPROVING THESE PLANS, THE CITY OF BASTROP MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

CAUTION - ELECTRICITY PRESENT

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS THAT ENTER OR WORK ON THIS PROJECT ARE RESPONSIBLE FOR LOCATING, USING ONE-CALL OR THE ELECTRIC UTILITIES THEMSELVES, ALL OVERHEAD AND UNDERGROUND ELECTRICAL OF ANY NATURE AND FOR SAFEGUARDING ALL PERSONNEL ON THIS PROJECT, INCLUDING ANY OFF-SITE WORK AREAS SHOWN ON THE PLAN, FROM ANY INTERFERENCE WITH THE ELECTRIC LINES OR FROM DAMAGING, DIGGING UP OR UNCOVERING THE ELECTRIC LINES, GETTING A LADDER IN HARMS WAY OR ANY OTHER ACTIVITY OF ANY NATURE THAT COULD HARM ANY INDIVIDUAL IN ANY MANNER. THIS RESPONSIBILITY HEREBY REMOVES THE ENGINEER AND

THE OWNER FROM ANY LIABILITY OF ANY NATURE.

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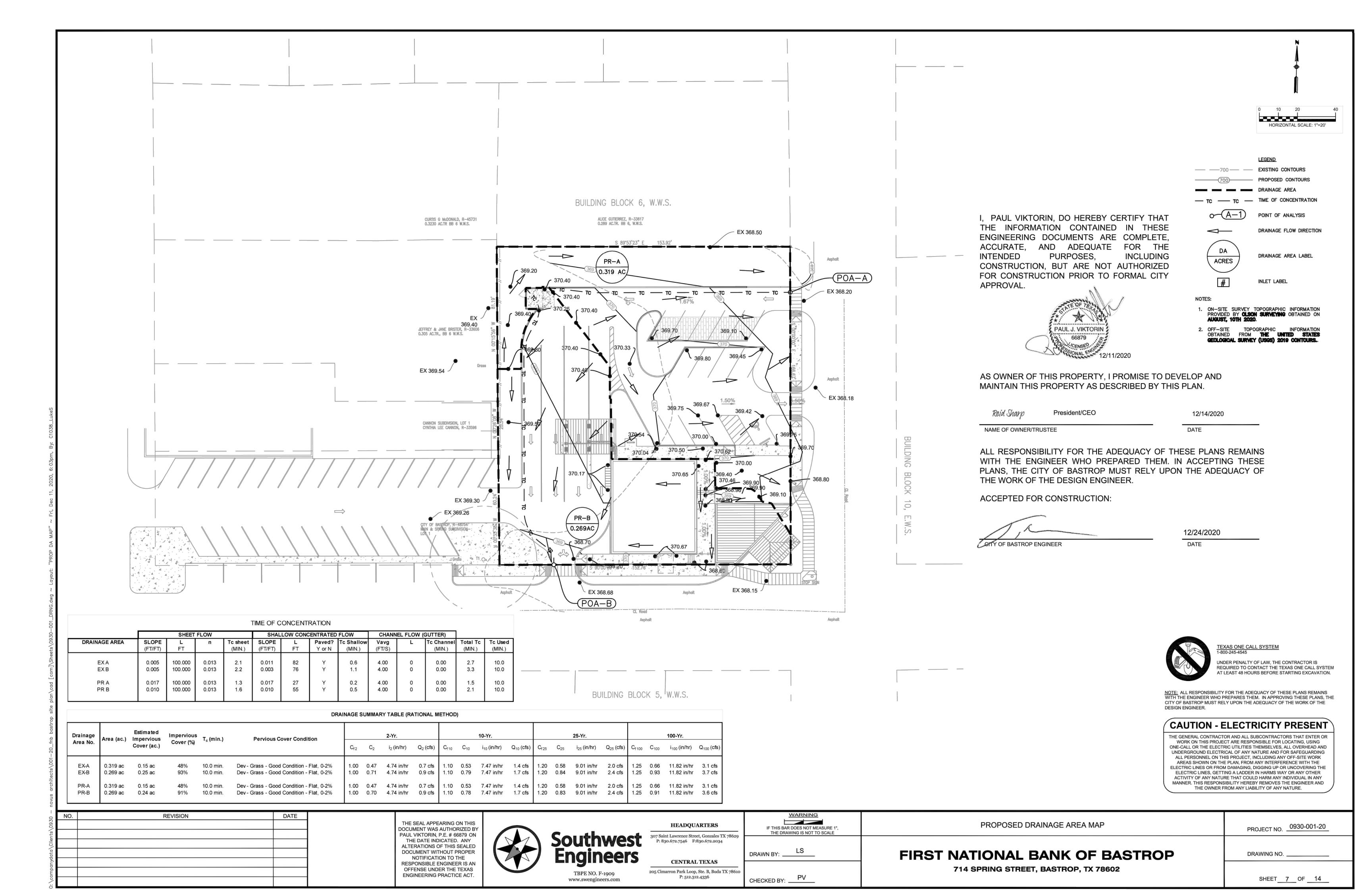
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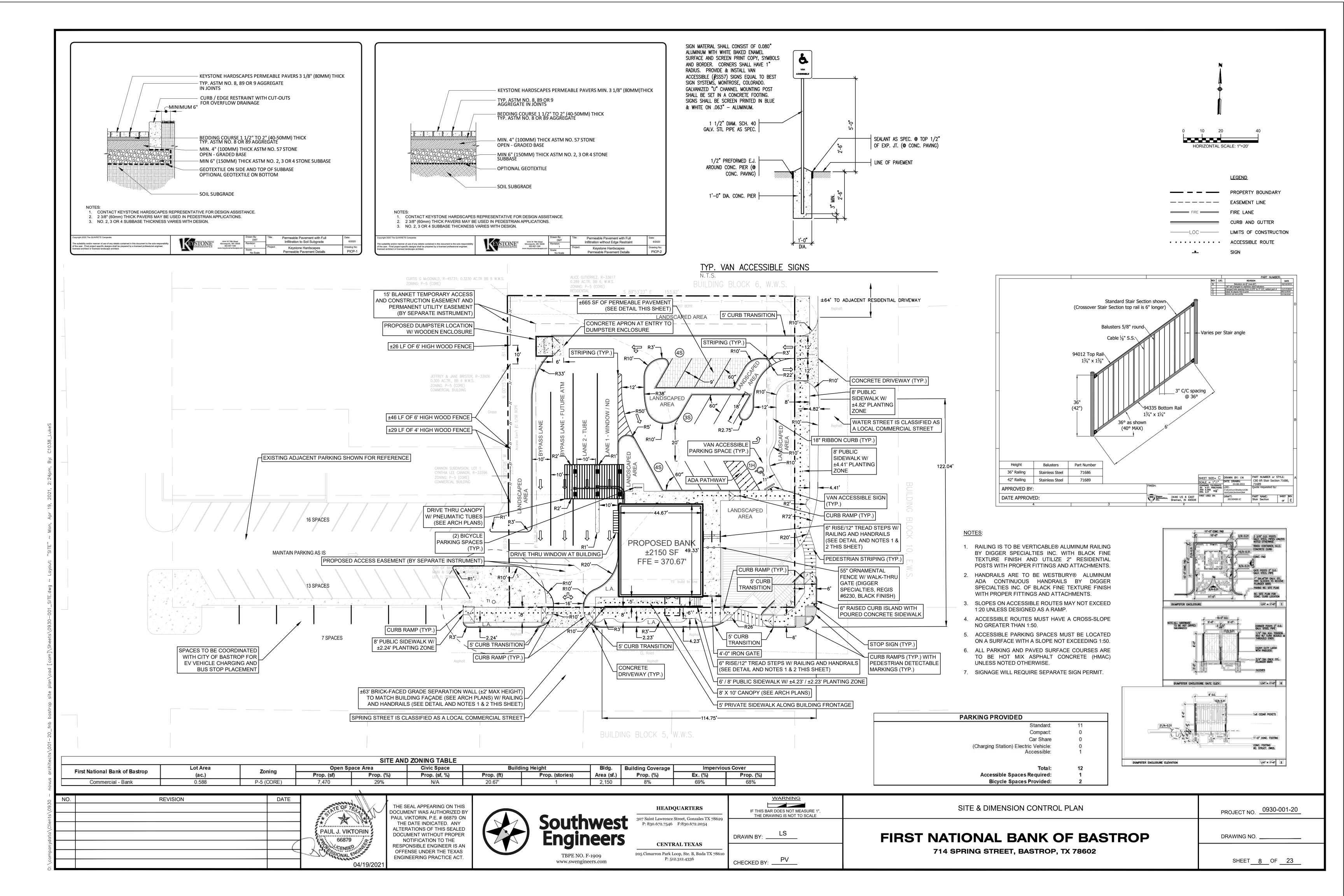
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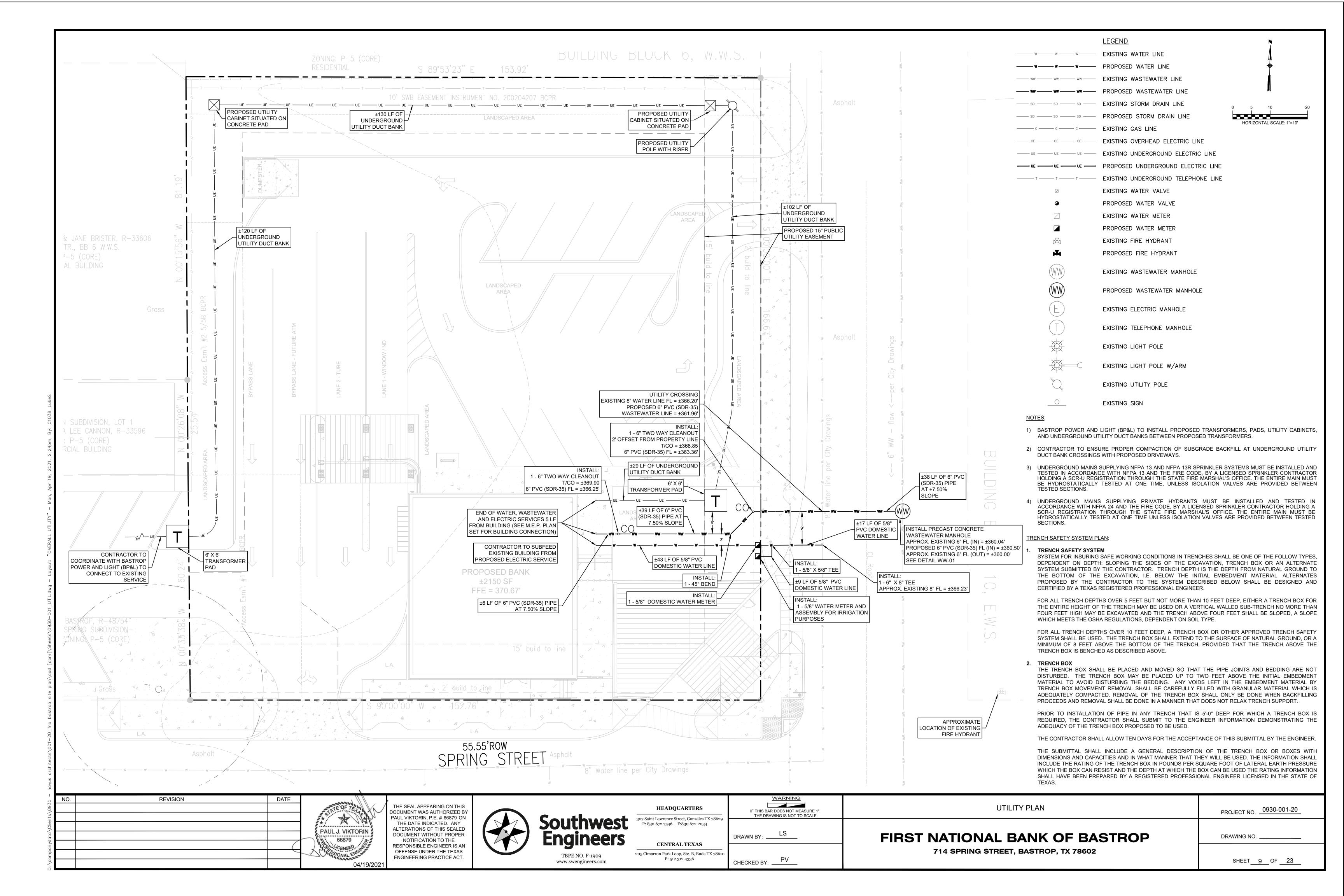
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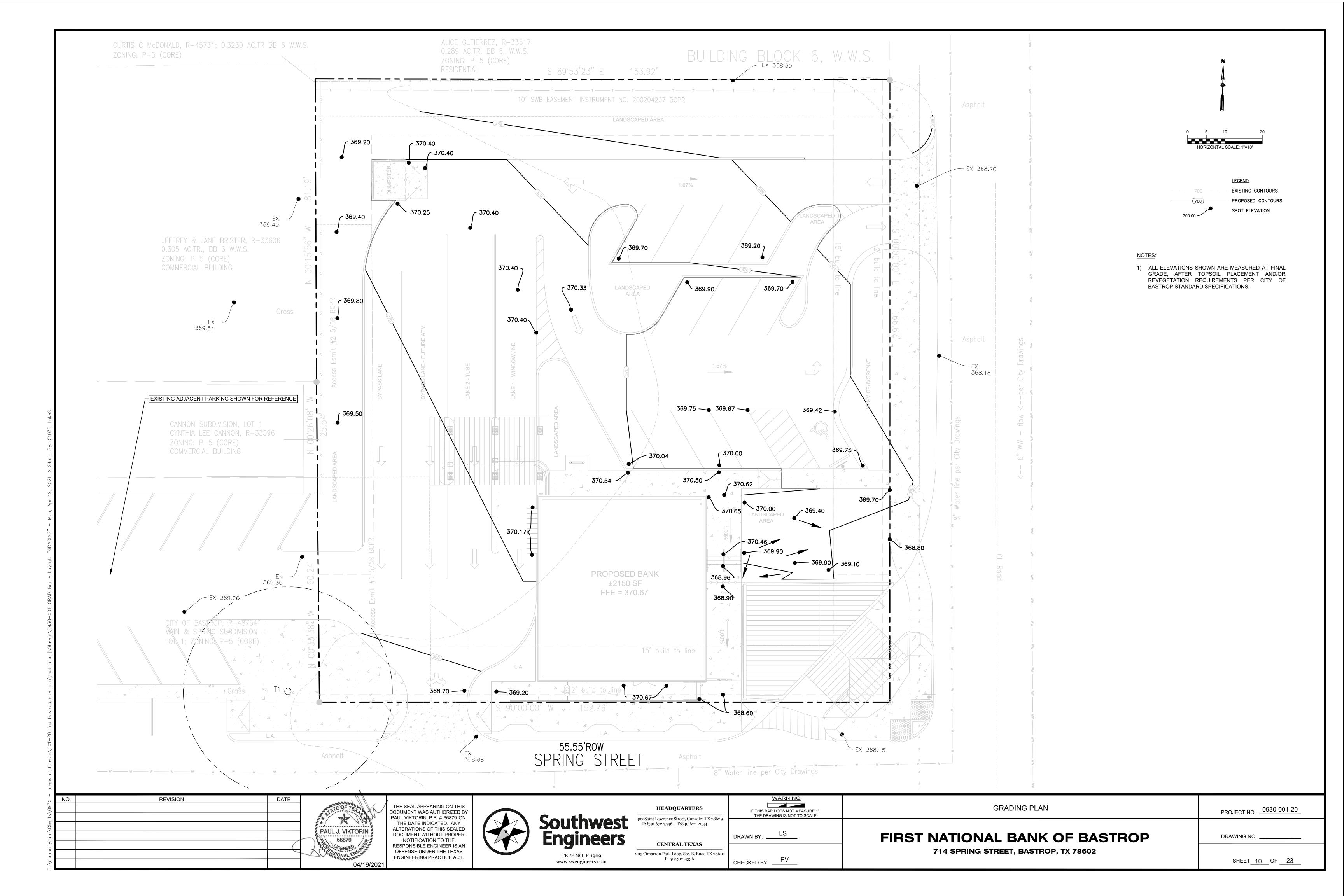
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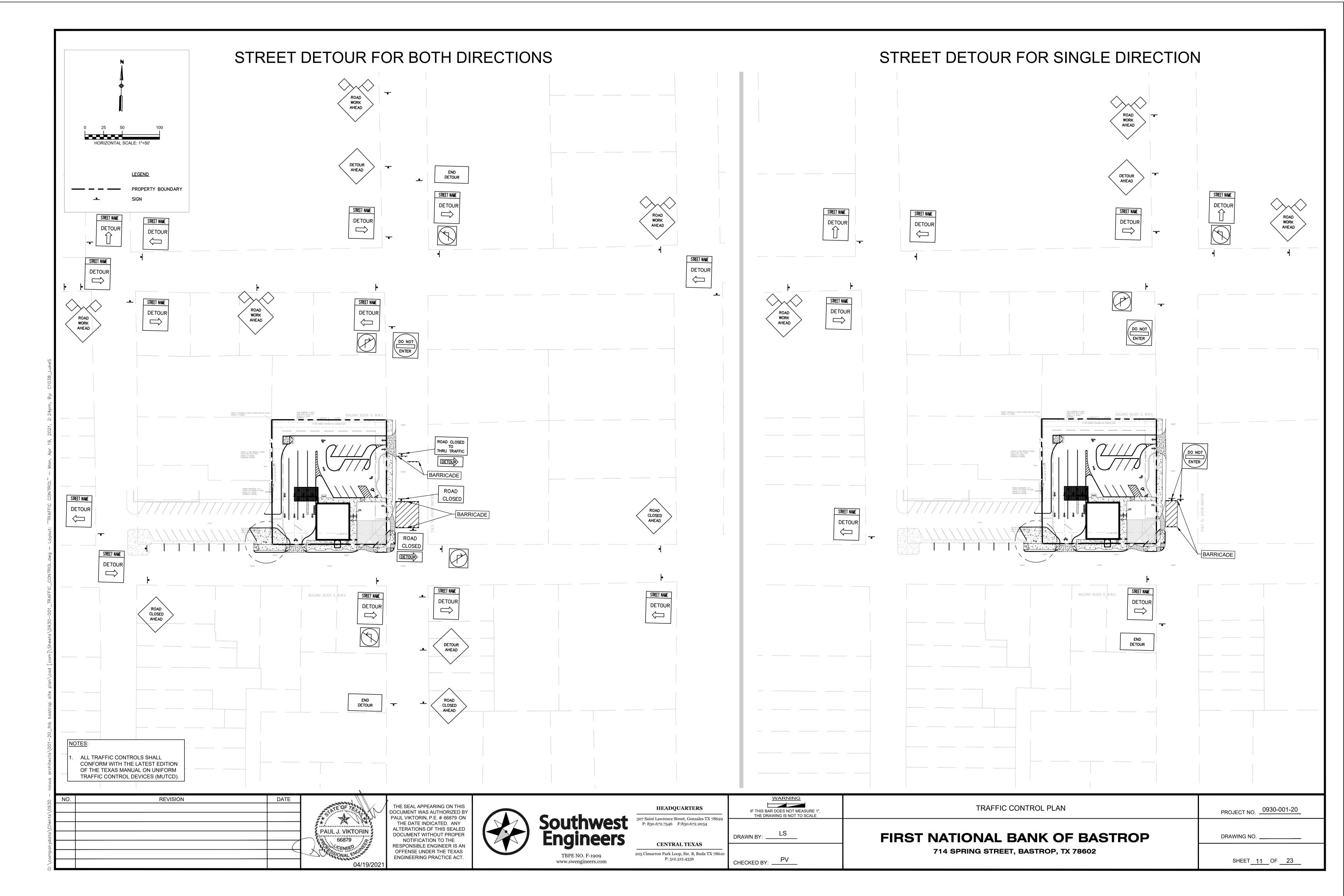
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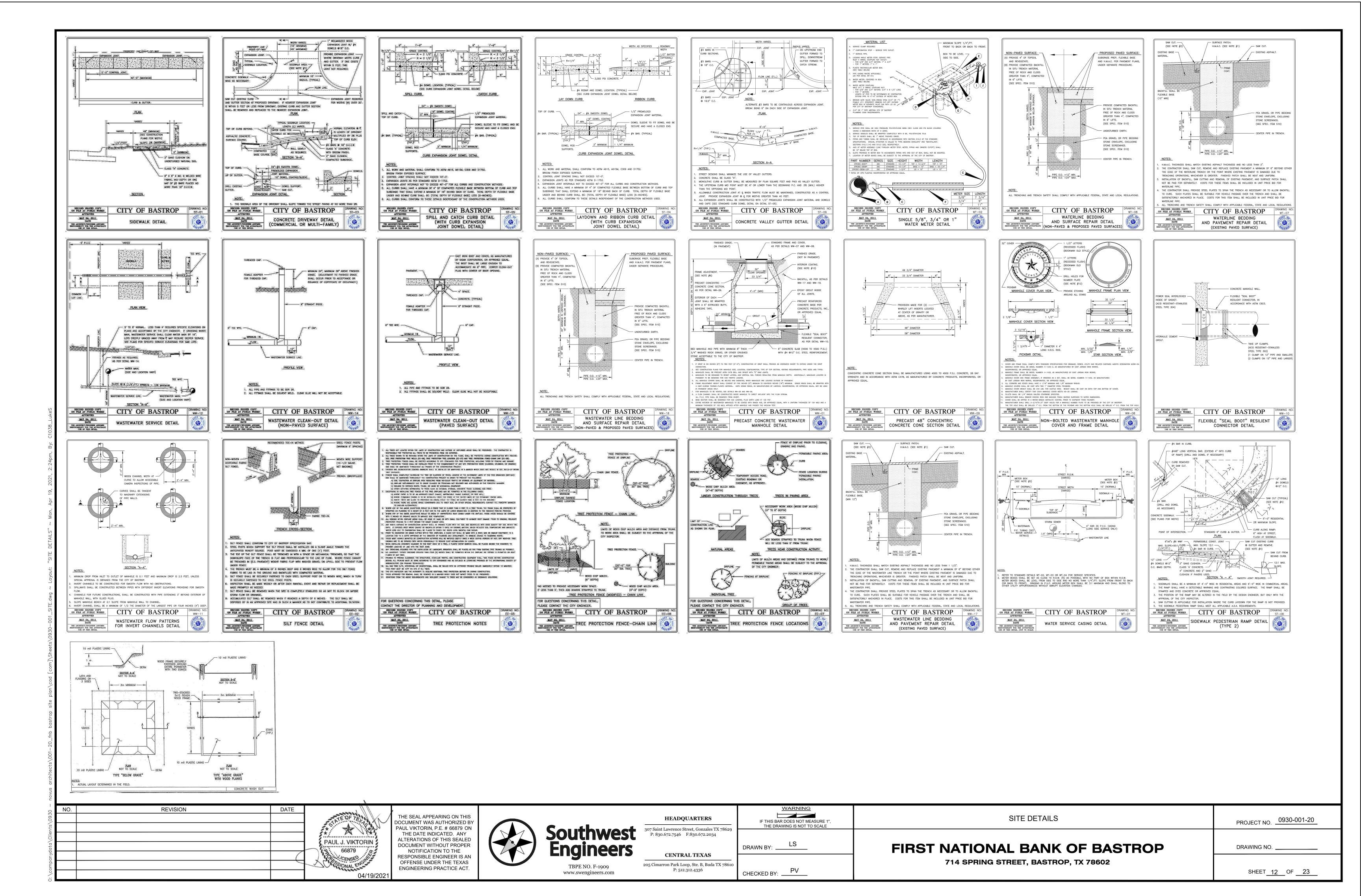












ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

NOTES:

IRRIGATION PLANS REQUIRE SEPARATE PERMITS -APPROVAL OF SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY INCLUDED IRRIGATION PLANS OR ELEMENTS OF THE LANDSCAPE PLAN

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- 2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- 3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.

4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL

- BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE. 5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE
- MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE). RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
- a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
- THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING
- ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY

SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO

- SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN
- ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL
- NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS). THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD,
- AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

PLANT SCHEDULE

I DAINT COILE						
TREES	CODE	QTY	BOTANICAL / COMMON NAME	CALIPER	CONTAINER	SIZE
$\widehat{}$	BL	3	Bauhinia lunarioides Anacacho Orchid Tree	2" Cal.	Cont.	6`-8` HT
	QS	6	Quercus shumardii Shumard Red Oak	3" Cal.	Cont.	12`-14` HT
S.	UC	4	Ulmus crassifolia Cedar Elm	3" Cal.	Cont.	12-14` HT
UNDERSTORY TREES	CODE	QTY	BOTANICAL / COMMON NAME	CALIPER	CONTAINER	SIZE
E STATE OF THE PARTY OF THE PAR	US	1	Ungnadia speciosa Mexican Buckeye	2" Cal.	Cont.	6`-8` HT
SHRUBS	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE
	JB2	9	Juniperus horizontalis `Blue Chip` Blue Chip Juniper	3 gal	36" OC	24" MIN
\bigcirc	LF	46	Leucophyllum frutescens Texas Sage	5 GAL	36" OC	24" MIN
	МС	6	Myrica cerifera Wax Myrtle	5 GAL	5` OC	24" MIN
+	РМ	51	Pittosporum tobira variegata Variegated Pittosporum	3 GAL	36" OC	24" MIN
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	CL	20	Callistemon citrinus `Little John` Dwarf Bottle Brush	7 gal	15-18"	36" OC
	RS	18	Rhaphiolepis indica `Snow White` Snow White Indian Hawthorn	3 GAL	15-18"	30" OC
GROUND COVERS	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	LA	163	Liriope muscari `Aztec` Aztec Lily Turf	1 GAL		12" OC
SOD/SEED	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	CDS	959 sf	Cynodon dactylon `Tif 419` Bermuda Grass Sod	SOD		

LANDSCAPE CALCULATIONS

TOTAL SITE AREA: 25,579 SF 314 SF (ALONG WATER STREET) STREET YARD AREA: LANDSCAPE AREA REQUIRED: 47 SF (15% OF STREET YARD) 629 SF (PROVIDED IN ROW DUE TO SITE CONSTRAINT) LANDSCAPE AREA PROVIDED: STREET TREES

SPRING STREET:

4 TREES (1 PER 40 LF OF FRONTAGE) STREET TREES REQUIRED: STREET TREES PROVIDED: 4 TREES

WATER STREET: 166 LF

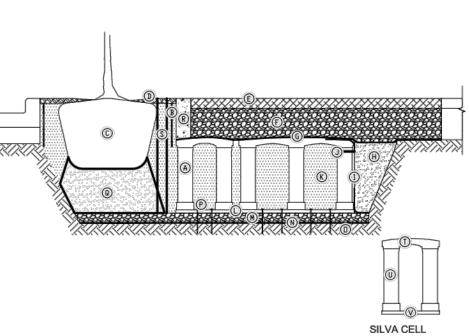
STREET TREES REQUIRED:

4 TREES (1 PER 40 LF OF FRONTAGE) STREET TREES PROVIDED: 3 TREES DUE TO PROPOSE UTILITY POLE CONFLICT

PARKING TREES

TREES REQUIRED IN PARKING AREAS: 2 TREES (1 PER 10 SPACES, 12 SPACES TOTAL) TREES PROVIDED IN PARKING AREAS: 2 TREES

TREES AT TERMINOUS OF ISLANDS: PROVIDED ALL SPACES WITHIN 60' OF A TREE: PROVIDED



(B) DEEPROOT ROOT BARRIER (DEPTH PER PROJECT SPECIFICATIONS). PREVENTS ROOTS FROM DISTURBING PAVEMENT. TREE ROOT PACKAGE, SIZE VARIES 1"-2" MULCH, PLACED IN TREE OPENING (E) SURFACE TREATMENT, PER PROJECT F) AGGREGATE BASE COURSE, DEPTH VARIES PER PROJECT 3) GEOTEXTILE TO KEEP AGGREGATE FROM MIGRATING DOWN THROUGH CELL DECK (H) BACKFILL, PER PROJECT SPECIFICATIONS GEOGRID TO PROVIDE FOR VERTICAL SEPARATION BETWEEN PLANTING SOILS AND BACKFILL WHILE ALLOWING ROOT PENETRATION INTO ADJACENT SOILS. 6" TOE (OUTWARD FROM BASE) AND 12" EXCESS (OVER TOP OF DECK). CABLE TIE, ATTACHING GEOGRID TO SILVA CELL AT BASE OF UPPER POST FLARE PLANTING SOIL, PER PROJECT SPECIFICATIONS, COMPACTED TO 70-80% PROCTOR 1" - 4" SPACING BETWEEN SILVA CELLS AT BASE M 4" MIN AGGREGATE SUB BASE, COMPACTED TO 95% PROCTOR N GEOTEXTILE, TO PROVIDE SEPARATION BETWEEN SUBGRADE AND AGGREGATE BASE O SUBGRADE, COMPACTED TO 95% PROCTOR PPIN, PER SILVA CELL SPECIFICATIONS, TO KEEP CELLS IN PLACE DURING CONSTRUCTION Q PLANTING SOIL BELOW TREE ROOT PACKAGE, COMPACTED TO 85-90% PROCTOR R CONCRETE EDGE RESTRAINT TO STABILIZE EDGE AND PREVENT AGGREGATE MIGRATION (S) INSPECTION RISER TO PROVIDE FOR MONITORING OF SOIL MOISTURE (OPTIONAL) (T) SILVA CELL DECK (I) SILVA CELL POST SILVA CELL BASE

KEY PLAN

A SILVA CELL SYSTEM (DECK, BASE, AND POSTS)

SILVA CELLS SYSTEM - SECTION





LANDSCAPE PLANTING, PUBLIC FRONTAGE

Date Comment

Project Number

11/17/2020 EMS Drawn By EMS/RM Checked By

SHEET 13 OF 23

PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR 1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM
- SPECIALIZING IN LANDSCAPE PLANTING. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
- THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF

PRODUCTS

- ALL MANUFACTURED PRODUCTS SHALL BE NEW. CONTAINER AND BALLED-AND-BURLAPPED PLANTS
- FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED. FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR
- CLIMACTIC CONDITIONS 2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS
- TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED
- ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTBLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY. EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND
- OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL. 5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS
- CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE
- MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
- ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE
- ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER,

INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.

- COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE
- FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS. TREE STAKING AND GUYING
- STAKES: 6' LONG GREEN METAL T-POSTS.
- GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH
- STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK
- GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

- SOIL PREPARATION
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
- a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
- THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
- c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
- d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED. AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
- THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
- FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING: TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF
- ROTOTILLING AFTER CROSS-RIPPING: NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000
- iii. "CLAY BUSTER" OR EQUAL USE MANUFACTURER'S RECOMMENDED RATE
- TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
- NITROGEN STABILIZED ORGANIC AMENDMENT 4 CU. YDS. PER 1,000 S.F.
- 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) 10 LBS. PER CU. YD.
- "CLAY BUSTER" OR EQUAL USE MANUFACTURER'S RECOMMENDED RATE IRON SULPHATE - 2 LBS. PER CU. YD.
- 5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS. a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS
- FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION. b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING
- c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
- d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE. IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY
- e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS. IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE

FROM THE WALKS.

ARCHITECT, GENERAL CONTRACTOR, AND OWNER. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

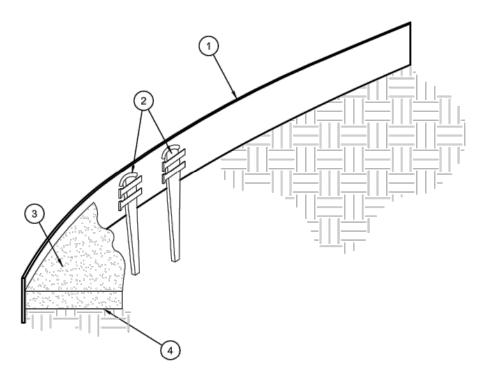
- B. SUBMITTALS
 - THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE. PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
 - 3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY). WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. GENERAL PLANTING REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES
 - AT THE MANUFACTURER'S RECOMMENDED RATE. TRENCHING NEAR EXISTING TREES: CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS

EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE

- ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE
- EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST.
- CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
- D. TREE PLANTING TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
- FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS. THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL. 4. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO
- FOUR INCHES ABOVE THE SURROUNDING GRADE. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED
- TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
- TWO STAKES PER TREE THREE STAKES PER TREE
- TREES OVER 4" CALIPER GUY AS NEEDED THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS
- NEEDED TO STABILIZE THE TREE MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS
- NEEDED TO STABILIZE THE TREE UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH
- MULCH (TYPE AND DEPTH PER PLANS). E. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING
- DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
- 2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING
- BEDS, COVERING THE ENTIRE PLANTING AREA.
- SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT FNDS AND SIDES OF SOD
- STRIPS DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. 4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
- WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND 2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES,

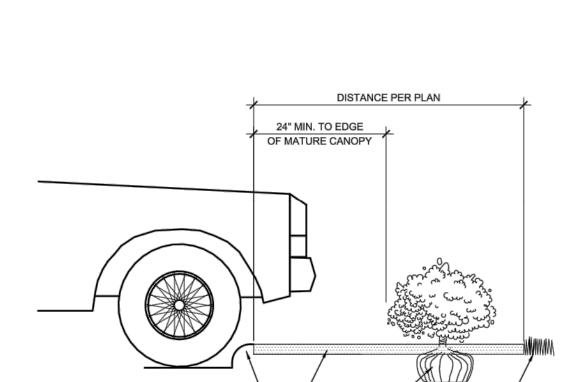
EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND

- COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL. 1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
- 2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE. I. INSPECTION AND ACCEPTANCE UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR
- SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
- THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
- J. LANDSCAPE MAINTENANCE THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED. MOWING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING
- ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING
- THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
- ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED. K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF <u>ONE YEAR</u> FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD. THE LANDSCAPE
- CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

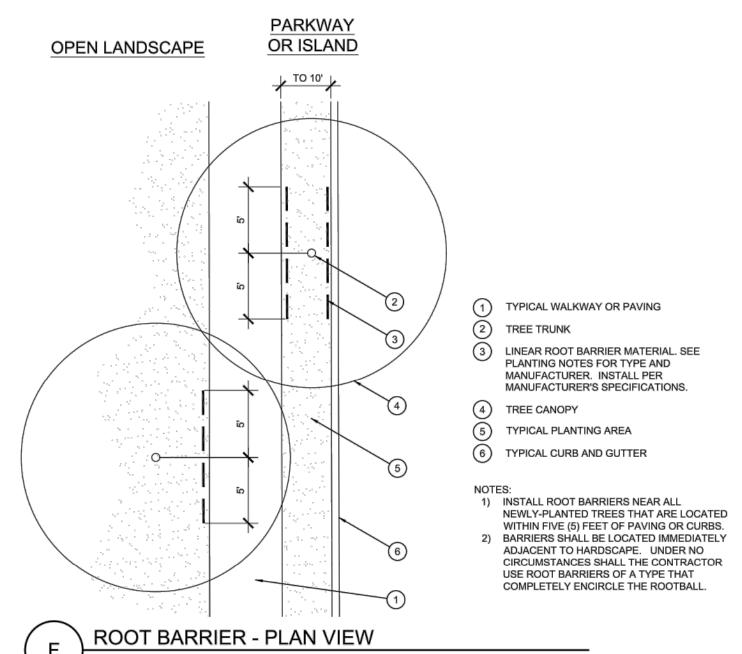


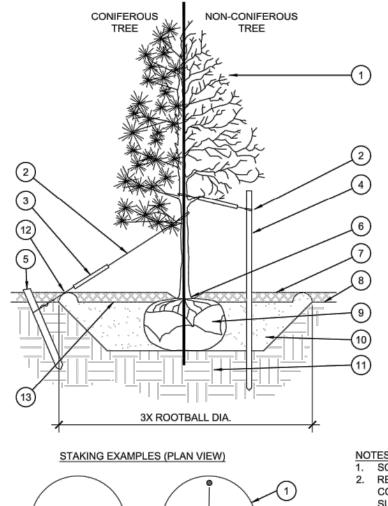
- ROLLED-TOP STEEL EDGING PER PLANS.
- (2) TAPERED STEEL STAKES.
- (3) MULCH, TYPE AND DEPTH PER PLANS
- (4) FINISH GRADE.
- 1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED. BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.





- (1) CURB. (2) MULCH LAYER.
- (3) PLANT. (4) TURF (WHERE SHOWN ON PLAN)
- PLANTING AT PARKING AREA





PREVAILING PREVAILING WINDS WINDS

TREE PLANTING

SCALE: NOT TO SCALE

- (1) TREE CANOPY. CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
- 3 24" X 3/4" P.V.C. MARKERS OVER WIRES.
- (4) GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
- (5) PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND
- 18" MIN. INTO UNDISTURBED SOIL.
- 7) MULCH, TYPE AND DEPTH PER PLANS. DO NOT
- PLACE MULCH WITHIN 6" OF TRUNK. (8) FINISH GRADE

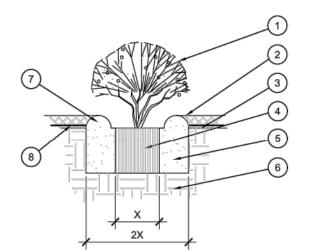
(6) TRUNK FLARE.

- 9) ROOT BALL.
- 10) BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- (11) UNDISTURBED NATIVE SOIL.
- (12) 4" HIGH EARTHEN WATERING BASIN.
- (13) FINISH GRADE.

SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE. 2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE. 3. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES. TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH

BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL. REMOVE ALL NURSERY STAKES AFTER PLANTING. 5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.

6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT

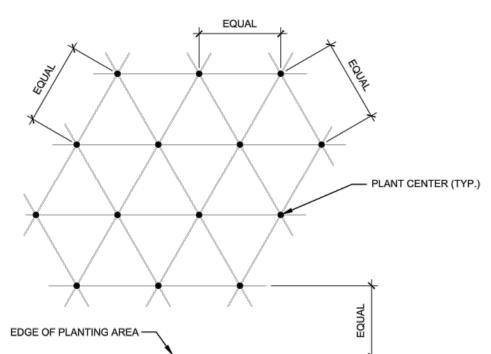


SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.

2) MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.

- FINISH GRADE.
- (4) ROOT BALL.
- (5) BACKFILL. AMEND AND FERTILIZE ONLY AS
- (6) UNDISTURBED NATIVE SOIL.
- (7) 3" HIGH EARTHEN WATERING BASIN.
- (8) WEED FABRIC UNDER MULCH

SHRUB AND PERENNIAL PLANTING



NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS

INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS. 1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:

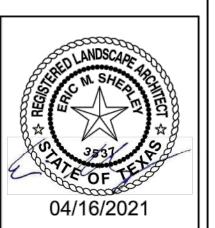
TOTAL AREA / AREA DIVIDER = TOTAL PLANTS

2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH HE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION

EXAMPLE: PLANTS AT 18" O.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER STEP 1: 100 SF/1.95 = 51 PLANTS STEP 2: 51 PLANTS - (40 LF / 1.95 = 21 PLANTS) = 30 PLANTS TOTAL

PLANT SPACING

EVERGREEN (800) 680-6630 10777 Westheimer Rd., Ste 1100 Houston, TX 77042 www.EvergreenDesignGroup.com



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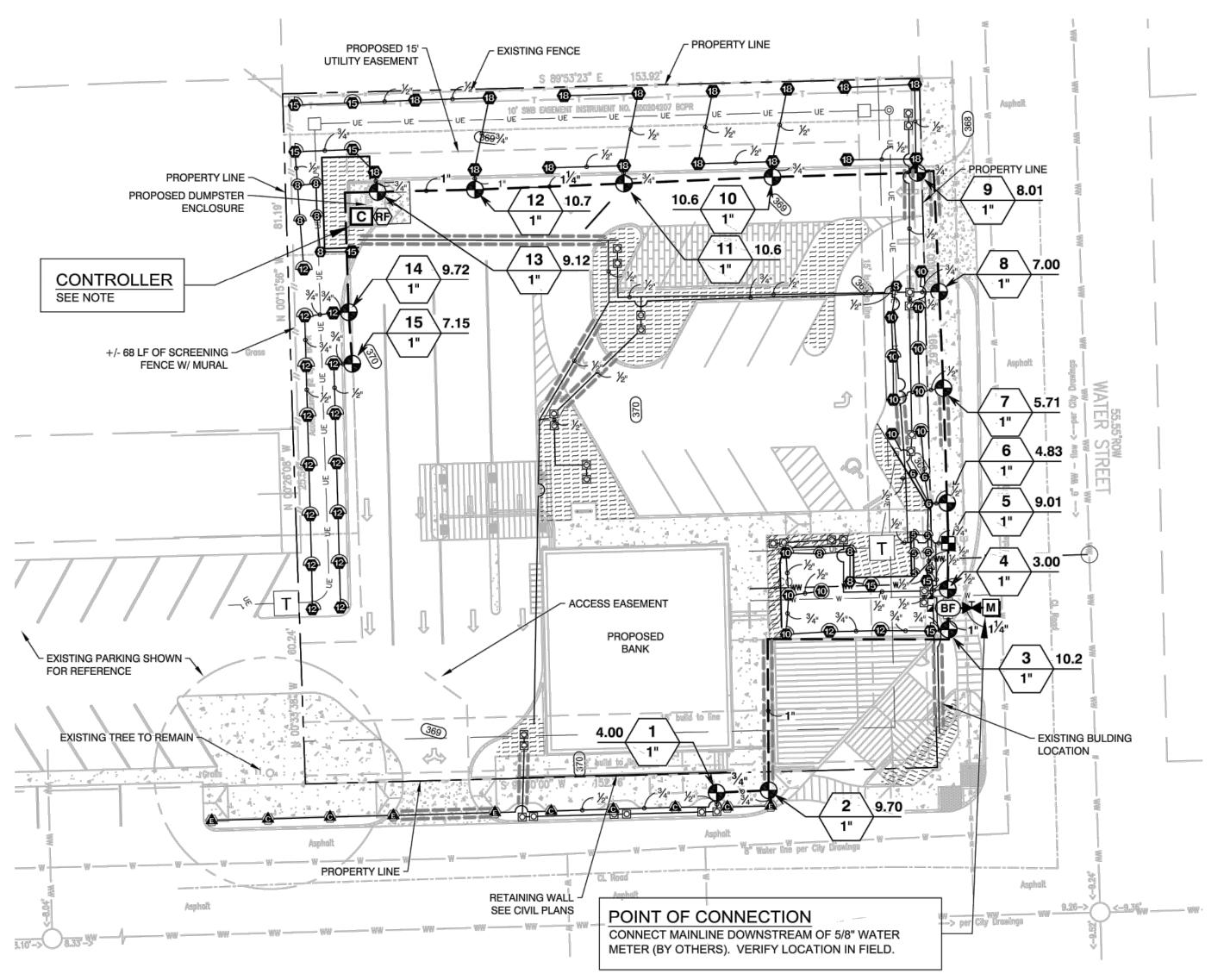
LANDSCAPE **DETAILS & SPECIFICATIONS**

Date Comment Project Number 11/17/2020

Checked By

SHEET 14 OF 23

EMS/RM



SLEEVING / WIRING NOTES:

IN ADDITION TO PROVIDING SLEEVES FOR ALL PIPING UNDER ROADWAYS AND WALKWAYS, THE IRRIGATION CONTRACTOR SHALL PROVIDE AND INSTALL SCH. 40 PVC SLEEVES FOR ALL CONTROLLER WIRES OCCURRING UNDER ALL ROADWAYS AND WALKWAYS. SLEEVES FOR CONTROLLER WIRES SHALL BE 2" DIA. AND CONTAIN NO MORE THAN 25 WIRES.

IRRIGATION DISCLAIMER

THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS INDICATED ON PLAN. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE IRRIGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION, OR IRRIGATION CONTRACTOR MAY BE REQURED TO MOVE SUCH ITEMS AT HIS OWN COST.

IRRIGATION CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FINAL QUANTITIES PER DRAWINGS AND SPECIFICATIONS. ANY QUANTITIES PROVIDED ARE PROVIDED AS A CONVENIENCE TO THE CONTRACTOR ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE.

CONTROLLER NOTE

LOCATE CONTROLLER AT LOCATION SHOWN ON PLAN. VERIFY LOCATION IN FIELD WITH OWNER'S REPRESENTATIVE.

120 VAC POWER TO CONTROLLER LOCATION IS NOT WITHIN THE IRRIGATION CONTRACTOR'S SCOPE OF WORK, AND SHALL BE PROVIDED BY OTHERS. HOOK-UP OF CONTROLLER TO 120 VAC SHALL BE PERFORMED BY THE IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR SHALL COORDINATE LOCATION OF WIRE SLEEVE PENETRATIONS THROUGH BUILDING WITH OWNER AND GENERAL CONTRACTOR. STATION RUN ORDER SHALL MATCH PLANS.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	<u>PSI</u>
EST LCS RCS CST SST	Rain Bird 1806 15 Strip Series Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	10	30
6 6 6 6 € 6 € 6 € 6 € 6 € 6 € 6 € 6 € 6	Rain Bird 1806 5 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	6	30
6	Rain Bird 1806 8 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	6	30
6 6 6 6 6 6 6 6 6 6	Rain Bird 1806 10 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	9	30
(2) (2) (2) (2) (2) (2) (3) (4) (4) (4) (4) (4) (4) (4) (4) (4) (4	Rain Bird 1806 12 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	16	30
(a) (b) (c) (c) (d) (d) (d) (d) (d) (d) (d) (d) (d) (d	Rain Bird 1806 15 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	7	30
4 6 18 4 V 6 V 18 V	Rain Bird 1806 ADJ Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	19	30
(3) 08HE-VAN (2) 12HE-VAN (15) 15HE-VAN	Rain Bird 1806 HE-VAN Series Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	9	30

28

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Rain Bird XCZ-100-PRB-COM Wide Flow Drip Control Kit for Commercial Applications. 1" Ball Valve with 1" PESB Valve and 1" Pressure Regulating 40psi Quick-Check Basket Filter. 0.3gpm to 20gpm.
	Area to Receive Dripline Rain Bird XFS-06-18 (18)

Rain Bird 1806-1400 Flood 1401

Flood Bubbler 6.0" popup

	Rain Bird XFS-06-18 (18) XFS Sub-Surface Pressure Compensating Dripline w/Copper Shield Technology. 0.6GPH emitters at 18.0" O.C. Laterals spaced at 18.0" apart, with emitters offset for triangular pattern. UV Resistant. Specify XF insert fittings.	1,917 s.f.
BOL	MANUFACTURER/MODEL/DESCRIPTION	QTY

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	<u>Q</u> T
•	Rain Bird PEB 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	14
×	Nibco Ball Valve - Brass, Two Piece, Full Port, NPT x NPT, T-FP-600A	1
BF	Febco 825Y 3/4" Reduced Pressure Backflow Preventer	1
C	Rain Bird ESP12LXMEF with (01) ESPLXMSM12 24 Station Commercial Controller. Plastic Wall Mount. Flow Sensing.	1
(RIF)	Rain Bird WR2-RFC Wireless Rain and Freeze Sensor Combo, includes 1 receiver and 1 rain/freeze sensor transmitter.	1
М	Water Meter 5/8"	1

Water Meter 5/8"	1
Irrigation Lateral Line: PVC Class 200 SDR 21	1,612 l.f.
Irrigation Mainline: PVC Schedule 40	400.4 l.f.
Pipe Sleeve: PVC Schedule 40	229.0 l.f.
	Irrigation Lateral Line: PVC Class 200 SDR 21 Irrigation Mainline: PVC Schedule 40

	Valve Callout
	Valve Numbe
/ # \ # ←	Valve Flow
#" •	Valve Size

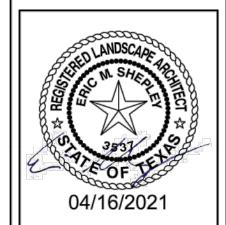
VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	CDM	DQI	PSI @ POC	PRECIP
1	Rain Bird PEB	SIZE 1"	Bubbler	<u>GPM</u> 4.00	<u>PSI</u> 32.55	<u> </u>	2.11 in/h
2	Rain Bird PEB	i"	Turf Spray	9.70	35.87		1.91 in/h
3	Rain Bird PEB	1"	Turf Spray	10.17	34.35		1.44 in/h
4	Rain Bird PEB	1"	Bubbler	3.00	31.99		2.16 in/h
5	Rain Bird XCZ-100-PRB-COM	1"	Area for Dripline	9.01	40.74		0.45 in/h
6	Rain Bird PEB	1"	Turf Spray	4.83	31.98		1.02 in/h
7	Rain Bird PEB	1"	Turf Spray	5.71	32.35		1.37 in/h
8	Rain Bird PEB	1"	Bubbler	7.00	34.72		2.03 in/h
9	Rain Bird PEB	1"	Turf Spray	8.01	32.87		1.06 in/h
10	Rain Bird PEB	1"	Turf Spray	10.60	33.41		0.94 in/h
11	Rain Bird PEB	1"	Turf Spray	10.60	33.56		0.95 in/h
12	Rain Bird PEB	1"	Turf Spray	10.75	34.04		0.89 in/h
13	Rain Bird PEB	1"	Turf Spray	9.12	33.08		0.95 in/h
14	Rain Bird PEB	1"	Turf Spray	9.72	34.38		0.94 in/h
15	Rain Bird PEB	1"	Turf Spray	7.15	33.63		0.85 in/h

CRITICAL ANALYSIS

Generated:	2021-03-01 10:02
P.O.C. NUMBER: 01 Water Source Information:	
FLOW AVAILABLE Water Meter Size:	5/8"
Flow Available:	12.06 gpm
PRESSURE AVAILABLE	00.00
Static Pressure at POC:	60.00 psi
Elevation Change:	5.00 ft
Service Line Size:	3/4"
Length of Service Line:	10.00 ft
Pressure Available:	57.00 psi
DESIGN ANALYSIS	
Maximum Station Flow:	10.75 gpm
Flow Available at POC:	12.06 gpm
Residual Flow Available:	1.31 gpm
	3 p
Critical Station:	5
Design Pressure:	30.00 psi
Friction Loss:	3.73 psi
Fittings Loss:	0.37 psi
Elevation Loss:	0.00 psi
Loss through Valve:	6.65 psi
Pressure Req. at Critical Station:	40.17 psi
Loss for Fittings:	0.01 psi
Loss for Main Line:	0.14 psi
Loss for POC to Valve Elevation:	0.00 psi
Loss for Backflow:	12.40 psi
Loss for Water Meter:	2.85 psi
Critical Station Pressure at POC:	55.57 psi
Pressure Available:	57.00 psi
Residual Pressure Available:	1.43 psi



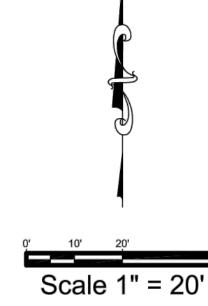


FNB BASTROP -DOWNTOWN BRANCH 605 SPRING STREET BASTI

LANDSCAPE

IRRIGATION

Date Comment



Project Number 11/17/2020 Drawn By Checked By EMS/RM

IRRIGATION SPECIFICATIONS

- A. QUALIFICATIONS OF IRRIGATION CONTRACTOR
- ALL WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE IRRIGATION CONTRACTING FIRM SPECIALIZING IN IRRIGATION SYSTEMS. SEE THE IRRIGATION PLAN FOR SPECIFIC EQUIPMENT AND SYSTEM LAYOUT.
- THE IRRIGATION CONTRACTOR MUST HAVE ON ITS STAFF A TEXAS LICENSED IRRIGATOR, AS REGULATED BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY. A LICENSED IRRIGATOR OR LICENSED IRRIGATION INSTALLER SHALL BE PRESENT AT THE PROJECT SITE AT ALL TIMES AS WORK IS IN PROGRESS. THE OWNER MAY DEMAND THAT WORK STOP UNTIL THE CONTRACTOR PROVIDES FOR A LICENSED IRRIGATOR OR LICENSED IRRIGATION INSTALLER TO BE PRESENT AT THE PROJECT SITE AND SUPERVISING ALL IRRIGATION WORK. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE
- REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES, FEES, AND ANY OTHER ITEMS
- THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND/OR SHOWN ON THE IRRIGATION PLANS, NOTES, AND DETAILS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS. IN CASE OF CONFLICT BETWEEN THESE PLANS AND LOCAL AND/OR STATE CODES, CODES SHALL
- THE INTENT OF THE IRRIGATION SYSTEM IS TO PROVIDE 100% COVERAGE OF ALL LANDSCAPE AREAS. THE IRRIGATION PLAN IS GENERALLY DIAGRAMMATIC; COORDINATE IRRIGATION INSTALLATION WITH UTILITY INSTALLATIONS. ACTUAL LOCATION OF CONTROLLER, BACKFLOW DEVICE, PIPING, VALVES, SPRAY HEADS, DRIP IRRIGATION, AND RELATED
- EQUIPMENT MAY NEED TO BE ADJUSTED BASED ON ACTUAL SITE CONDITIONS. FOR CLARITY PURPOSES, SOME IRRIGATION LINES AND EQUIPMENT ARE SHOWN IN HARDSCAPE AREAS WITHOUT ACCESS SLEEVES; THESE LINES SHALL BE INSTALLED IN A COMMON TRENCH OR AT THE BACK OF CURB IN LANDSCAPE AREAS. MINOR FIELD ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.

PRODUCTS

- A. ALL MATERIALS SHALL BE NEW AND WITHOUT FLAWS OR DEFECTS OF ANY TYPE AND SHALL BE THE BEST OF THEIR CLASS AND KIND. ALL MATERIALS SHALL HAVE A MINIMUM GUARANTEE OF ONE YEAR AGAINST MATERIAL DEFECTS OR DEFECTIVE WORKMANSHIP, ALL MATERIALS SHALL BE OF THE BRANDS AND TYPES NOTED ON THE DRAWINGS OR AS SPECIFIED HEREIN, OR APPROVED EQUAL. THE CONTRACTOR MUST FIRST OBTAIN APPROVAL FROM THE IRRIGATION DESIGNER FOR AN 'APPROVED EQUAL' BEFORE INSTALLING SUCH MATERIALS IN THE FIELD, OR THE CONTRACTOR MAY BE REQUIRED TO REPLACE SUCH MATERIALS AT HIS OWN COST.
- B. BACKFLOW PREVENTION DEVICES SHALL BE OF THE SIZE AND TYPE INDICATED ON THE DRAWINGS. INSTALL BACKFLOW PREVENTION UNITS IN ACCORDANCE WITH IRRIGATION CONSTRUCTION DETAILS AND ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
- PRESSURE SUPPLY LINES, DOWNSTREAM OF THE POINT-OF-CONNECTION: SCHEDULE 40 PVC FOR ALL PIPE 1-1/2" OR LESS
- CLASS 315 PVC FOR ALL PIPE 2" TO 2-1/2" CLASS 200 PVC, GASKETED, FOR ALL PIPE 3" AND LARGER
- SLEEVING AND NON-PRESSURE LATERAL LINES (DOWNSTREAM FROM VALVES): SCHEDULE FITTINGS: SCH. 40 PVC, EXCEPT AS NOTED OTHERWISE.
- D. VALVES AND DRIP VALVE ASSEMBLIES: TYPE AND SIZE AS NOTED ON PLANS. EACH VALVE SHALL BEAR A PRE-MANUFACTURED, NUMBERED WATERPROOF TAG BEARING A NUMBER CORRESPONDING TO ITS VALVE SEQUENCE OF OPERATION ON THE CONTROLLER. THE OPERATION SEQUENCE SHALL MATCH THAT AS SHOWN ON THE PLANS.
- QUICK COUPLERS, BALL VALVES, AND GATE VALVES: TYPE AND SIZE PER PLANS. VALVE BOXES: TYPE AND SIZE AS NOTED ON DETAILS. ALL VALVES BOXES SHALL BE LOCKING BOLT-DOWN TYPE, FURNISHED WITH LIDS AND BOLTS. BOXES SHALL BE OF A SIZE TO CONTAIN
- THE ENTIRE VALVE AND/OR VALVE ASSEMBLY. THE VALVE BOX LID SHALL HAVE THE VALVE STATION NUMBER HEAT-BRANDED INTO THE LID WITH 2" HIGH LETTERS G. FIXED SPRAY HEADS AND ROTORS: PLASTIC BODY POP-UP, WITH A REMOVABLE PLASTIC SPRAY NOZZLE. EXACT TYPE. MODEL. AND NOZZLE SHALL BE AS INDICATED ON PLANS.
- H. INTEGRAL EMITTER DRIP TUBING: TUBING MODEL AND FLOW RATE AS NOTED ON PLANS. WITH INTEGRAL EMITTERS WELDED TO THE INSIDE WALL OF THE TUBING AS AN INTEGRAL PART OF THE TURING ASSEMBLY
- AUTOMATIC CONTROLLER: TYPE AND MODEL PER PLANS. PROVIDE VANDAL-PROOF ENCLOSURE FOR ALL EXTERIOR INSTALLATIONS. PROVIDE LINE-VOLTAGE DISCONNECT SWITCH WITH GROUND
- J. 24 VOLT VALVE WIRE SHALL BE A MINIMUM OF #14 GAUGE, U.F. APPROVED FOR DIRECT BURIAL, SINGLE CONDUCTOR IRRIGATION WIRE. EACH CONTROLLER SHALL HAVE A DIFFERENT COLOR STATION AND COMMON WIRE. STATION WIRE - RED
- COMMON WIRE WHITE EXTRA COMMON WIRES - BLUE
- WIRE SPLICES SHALL BE ENCASED IN A WATERPROOF COMPOUND OR GEL. ALL FIELD SPLICES SHALL BE LOCATED IN A 6 INCH ROUND VALVE BOX. RAIN SENSOR: TYPE AND MODEL PER PLANS.

- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS INDICATED ON PLAN. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE IGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION, OR IRRIGATION CONTRACTOR MAY BE REQURED TO MOVE SUCH ITEMS AT HIS OWN COST. ENSURE FIELD COORDINATION IS MADE EARLY ON IN THE CONSTRUCTION PHASE SO PLACEMENT LOCATION IS CORRECT.
- B. THE IRRIGATION CONTRACTOR SHALL MEET WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK, AND SHALL OBTAIN ALL ENGINEERING, LANDSCAPE, AND OTHER APPLICABLE PLANS & DOCUMENTS. THE CONTRACTOR SHALL THOROUGHLY REVIEW THE PLANS AND REPORT ANY CONFLICTS OR DISCREPANCIES TO THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE IMMEDIATELY.
- C. THE IRRIGATION CONTRACTOR SHALL NOT WILFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS. GRADES OR DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE IRRIGATION DESIGNER. IN THE EVENT THAT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION
- CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS AND NECESSARY COSTS SEE UTILITY PLANS FOR IRRIGATION POINTS OF CONNECTION (TAP) AND DOMESTIC WATER
- E. THE IRRIGATION CONTRACTOR SHALL PAY ANY AND ALL FEES AND PERMITS ASSOCIATED WITH
- THE INSTALLATION OF THE IRRIGATION SYSTEM. F. AT LEAST SEVEN DAYS BEFORE BEGINNING WORK, CONFIRM THE STATIC WATER PRESSURE IS AT LEAST 55 PSI AND LESS THAN 70 PSI. IF STATIC WATER PRESSURE IS OUTSIDE OF THE STATED RANGE, DO NOT PROCEED WITHOUT FIRST NOTIFYING THE IRRIGATION DESIGNER AND OWNER IN WRITING, AND OBTAINING SUBSEQUENT DIRECTION FOR CORRECTIONAL MEASURES. SHOULD THE IRRIGATION CONTRACTOR CHOOSE TO BEGIN THE INSTALLATION WITHOUT SUCH NOTIFICATION, THE IRRIGATION CONTRACTOR WILL ASSUME THE RESPONSIBILITY FOR ALL COSTS INCURRED TO ENSURE THE SYSTEM IS WORKING PROPERLY. NO CHANGE ORDERS WILL BE AUTHORIZED IN
- SUCH CIRCUMSTANCES. G. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK. THE CONTRACTOR SHALL BE FAMILIAR WITH ALL GRADE DIFFERENCES, LOCATIONS
- OF WALLS, STRUCTURES AND UTILITIES. H. COORDINATE WITH THE OWNER THE PROPOSED LOCATIONS OF THE AUTOMATIC CONTROLLER
- AND ANY REQUIRED SLEEVES THROUGH THE BUILDING FOR CONTROL WIRES. TRENCHING NEAR EXISTING TREES:
- CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE
- AVERAGE GRADE AT THE TRUNK).
- ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIFLD. TUNNEL
- UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO

AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

- ALL BACKFILL MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE OWNER. BACKFILL MATERIAL SHALL BE FREE FROM RUBBISH, ROCK LARGER THAN 1", LARGE STONES, BRUSH SOD, FROZEN MATERIAL OR OTHER UNSUITABLE SUBSTANCES THAT MAY DAMAGE PIPE. DURING THE BACKFILLING OPERATIONS. SEPARATE OUT ROCKS LARGER THAN 1 INCH IN
- LANDSCAPING. COVER FOR BOTH TOP AND SIDES OF PIPE SHALL BE A MINIMUM OF 2 INCHES OF ROCK-FREE SOIL, SAND, OR OTHER APPROVED MATERIAL IN THE EVENT THAT THE MATERIAL FROM THE EXCAVATION OR TRENCHING IS FOUND TO BE UNSUITABLE FOR USE IN BACKFILL, IT SHALL BE REMOVED FROM THE SITE AND PROPERLY AND LEGALLY DISPOSED OF BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL THEN PURCHASE AND AND FURNISH SUITABLE BACKFILL MATERIAL CONSISTING OF EARTH, LOAM, SANDY CLAY, SAND OR OTHER APPROVED MATERIALS FREE

ANY DIRECTION FROM EXCAVATED MATERIAL, AND REMOVE FROM AREAS TO RECEIVE

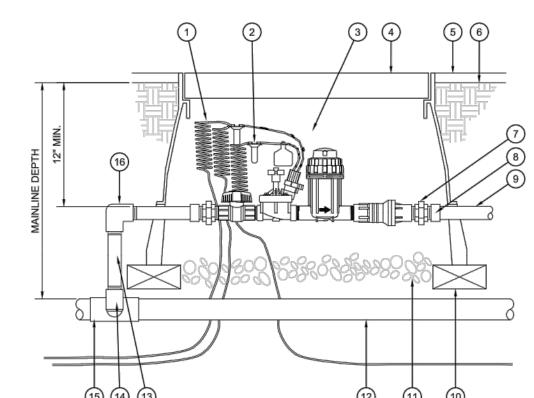
- BACKFLOW PREVENTER INSTALLATION: CONTRACTOR SHALL MAKE CONNECTIONS TO EXISTING WATER SOURCES AT LOCATION SHOWN ON PLANS AND AS APPROVED BY THE OWNER, AND SHALL MAKE ANY MINOR CHANGES IN LOCATION AS MAY BE NECESSARY DUE TO ACTUAL SITE CONDITIONS. BACKFLOW PREVENTER HEIGHT SHALL BE AS PER LOCAL CODES AND IRRIGATION DETAILS. INSTALL A BRASS BALL VALVE IMMEDIATELY UPSTREAM OF THE BACKFLOW DEVICE TO SERVE AS AN ISOLATION VALVE. TO EVERY EXTENT POSSIBLE, INSTALL BACKFLOW PREVENTER
- ION A LOCATION SCREENED FROM PUBLIC VIEW (SUCH AS BEHIND A SHRUB ROW). PIPE SIZE SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF
- SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS FOR LARGER SIZES MAY BE MAINLINE PIPE AND WIRES SHALL BE INSTALLED WITH A MINIMUM COVER OF 18 INCHES. LATERAL PIPE SHALL BE INSTALLED WITH A MINIMUM COVER OF 12 INCHES. ASSEMBLE ALL THREADED FITTINGS WITH TEFLON TAPE, WHICH SHALL BE APPLIED TO MALE
- 4. ALL SOLVENT-WELD CONNECTIONS SHALL BE MADE WITH APPROVED SOLVENT-WELD PRIMER AND GLUE. PIPE SHALL BE INSTALLED WITH A MINIMUM OF 4" HORIZONTAL CLEARANCE FROM ANY

THREADS ONLY

- OTHER PIPE AND 2" VERTICAL CLEARANCE FROM ANY PIPES THAT CROSS OVER OR UNDER.
- VALVES SHALL BE INSTALLED PER MANUFACTURER'S DIRECTIONS AND THE IRRIGATION DETAILS. VALVE BOXES SHALL BE INSTALLED FLUSH WITH THE GRADE, WITH CLEAN PEA GRAVEL LOCATED BELOW THE VALVE AS NOTED ON THE DETAILS. LOCATE BOXES WITHIN 12 TO 24"
- OF SIDEWALKS OR LANDSCAPE EDGES, WITH TOPS OF BOXES 1" ABOVE FINISH GRADE IN TURF, AND 3" ABOVE FINISH GRADE IN SHRUB AREAS (TO AVOID BEING COVERED BY MULCH). EACH VALVE BOX COVER SHALL BE HEAT-BRANDED WITH THE CONTROLLER STATION DO NOT INSTALL MORE THAN TWO VALVES IN A JUMBO BOX.
- N. DRIP IRRIGATION EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S DIRECTIONS AND THE SUBSURFACE DRIP LINES SHALL BE BURIED NO MORE THAN 2" BELOW FINISH GRADE.
- DRIP LINES MOUNTED ON GRADE SHALL BE LOCATED BENEATH LANDSCAPE FABRIC, AND SECURED IN PLACE WITH WIRE STAPLES AT A MAXIMUM OF 48" ON CENTER. O. SPRAY, ROTOR, AND BUBBLER HEADS:
- ALL SPRAY AND ROTOR HEAD LOCATIONS SHALL BE STAKED, FLAGGED AND/OR OTHERWISE CLEARLY MARKED ON THE GROUND PRIOR TO INSTALLATION. SPRINKLER HEAD STAKING SHALL BE INSPECTED AND APPROVED BY THE OWNER'S REPRESENTATIVE BEFORE INSTALLATION.
- ALL SPRAY HEADS SHALL BE CONNECTED WITH A 12 INCH MINIMUM LENGTH OF $\frac{1}{2}$ INCH FLEX PVC. THE FLEX PVC SHALL BE SOLVENT WELDED TO SCHEDULE 40 PVC FITTINGS WITH WELD-ON #795 SOLVENT AND #P-70 PRIMER. ALL ROTORS SHALL BE CONNECTED TO
- LATERAL LINES WITH PRE-MANUFACTURED SWING JOINTS. 3. ALL ROTOR, SPRAY AND BUBBLER HEADS SHALL BE SET PERPENDICULAR AND FLUSH TO FINISH GRADE AND WITH A CLEARANCE OF FOUR INCHES (MINIMUM) FROM THE EDGE OF ANY BUILDINGS, WALLS, BOULDERS, AND HARDSCAPE, UNLESS OTHERWISE SPECIFIED. ALL ROTOR, SPRRAY AND BUBBLER HEADS AND VALVES SHALL BE FLUSHED AND ADJUSTED
- FOR OPTIMUM COVERAGE WITH MINIMUM OVERSPRAY ON WALKS, STREETS, WALLS, ETC. P. AUTOMATIC CONTROLLER: INSTALL THE CONTROLLER AT THE LOCATION INDICATED BY THE OWNER. INSTALL
- CONTROLLER WITH A BACKUP BATTERY AS RECOMMENDED BY THE MANUFACTURER. THE IRRIGATION CONTRACTOR SHALL COORDINATE 120 V.A.C. ELECTRICAL POWER TO CONTROLLERS AND DEDICATE ONE (1) 20-AMP BREAKER FOR EACH CONTROLLER. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO MAKE THE FINAL HOOK-UP FROM THE ELECTRICAL SOURCE TO THE CONTROLLER UNIT ONLY.
- ALL VALVE CONTROL WIRE SHALL BE AWG 14 TYPE UF, 600 VOLT TEST, DIRECT BURIAL. NO SPLICES SHALL BE ALLOWED EXCEPT AT VALVES AND CONTROLLER. WHERE SPLICES MAY BE NECESSARY DUE TO EXCESSIVELY LONG WIRE RUNS, THE CONTRACTOR SHALL MAKE ALL SPLICES IN 6" ROUND VALVE BOXES WITH 3M'S "DBY-DIRECT BURIAL SPLICE KIT". THE CONTRACTOR SHALL LABEL ALL WIRES WITH WATERPROOF TAGS AND MARKERS AT ALL SPLICES AND VALVE MANIFOLDS, AND SHALL LEAVE A 24" COIL OF EXCESS WIRE AT EACH CONNECTION.
- PROVIDE #10 COMMON WIRE, DIRECT BURIAL, TO ALL REMOTE CONTROL VALVES. CONNECT ALL DIRECT BURIAL WIRES TO VALVES USING 3M'S "DBY-DIRECT BURIAL SPLICE KIT" (UNLESS OTHERWISE SPECIFIED).
- PROVIDE THREE ADDITIONAL IRRIGATION CONTROL WIRES ALONG EACH BRANCH OF MAINLINE FOR FUTURE EXPANSION. STUB ADDITIONAL CONTROL WIRES INTO BACK OF
- IRRIGATION CONTROLLERS. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL CONTROL WIRE SLEEVES AND PIPE SLEEVES UNDER PAVED AREAS PRIOR TO PAVING - SEE SLEEVING NOTES INSTALL THE RAIN SENSOR IN THE VICINITY OF THE CONTROLLER, AND COORDINATE LOCATION
- WITH THE OWNER. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THE RAIN SENSOR IS PLACED IN A LOCATION WHERE IT CAN RECEIVE ADEQUATE RAINFALL WITHOUT OBSTRUCTIONS. IF IT IS PLACED IN AN INADEQUATE LOCATION, THE IRRIGATION CONTRACTOR MAY BE REQUIRED TO RELOCATE IT AT NO ADDITIONAL COST TO THE OWNER.
- ALL IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS QUALITY CONTROL
- PERFORM COVERAGE TESTS AFTER IRRIGATION SYSTEM IS COMPLETED, BUT PRIOR TO ANY PLANTING AND PERFORM TESTING IN THE PRESENCE OF THE IRRIGATION DESIGNER AND THE TEST SYSTEM TO ASSURE THAT ALL LAWN AND PLANTING AREAS ARE WATERED
- COMPLETELY AND UNIFORMLY. MAKE ALL NECESSARY ADJUSTMENTS TO PROVIDE COMPLETE COVERAGE, INCLUDING REALIGNMENT OF HEADS AND REPLACEMENT OF NOZZLES.
- CLEAN UP DURING IRRIGATION EXCAVATION AND INSTALLATION, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- V. INSPECTION AND ACCEPTANCE 1. UPON COMPLETION OF THE WORK, THE IRRIGATION CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE IRRIGATION CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL
- ACCEPTABILITY. WHEN THE INSPECTED WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS
- THE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
- 4. CONTROLLER CHART: THE IRRIGATION CONTRACTOR SHALL PROVIDE A 11" X 17" COLOR-CODED, LAMINATED COPY OF THE IRRIGATION LAYOUT AND PLACE IT IN THE CONTROLLER'S COVER. THE CONTROLLER CHART SHALL CLEARLY DELINEATE THE AREAS COVERED BY EACH VALVE, USING A SEPARATE COLOR FOR EACH ZONE.
- TURN THE FOLLOWING ITEMS IN TO THE OWNER UPON COMPLETION OF THE INSTALLATION: QUICK COUPLER KEYS (2)
- CONTROLLER MANUAL (1) CONTROLLER KEYS (2)

AUDITOR, AT NO ADDITIONAL COST TO THE OWNER.

- A MINIMUM OF (2) COPIES OF RECORD DRAWINGS. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING
- W. REFER TO THE PLANTING SPECIFICATIONS FOR ADDITIONAL CONDITIONS OF FINAL ACCEPTANCE AND START OF THE MAINTENANCE PERIOD.
- THE IRRIGATION SYSTEM SUPPLIED AND INSTALLED SHALL BE WARRANTED (LABOR AND MATERIALS) TO REMAIN OPERATIONAL FOR A PERIOD OF 12 MONTHS AFTER THE DATE OF FINAL ACCEPTANCE. DURING THIS PERIOD, THE CONTRACTOR SHALL ALSO REPAIR ANY
- SETTLEMENT OF THE IRRIGATION TRENCHES. BY THE END OF THE WARRANTY PERIOD, ANY IRRIGATION PART THAT IS EITHER NON-OPERATIONAL OR THAT IS OPERATING BELOW STANDARDS AS DETERMINED BY THE OWNER, SHALL BE REMOVED FROM THE SITE AND SHALL BE REPLACED. REPLACEMENTS SHALL BE OF THE SAME KIND AS SPECIFIED IN THE IRRIGATION LEGEND, AND SHALL BE INSTALLED AS ORIGINALLY SPECIFIED.
- 3. IRRIGATION PARTS DAMAGED OR IMPAIRED DUE TO ACTS OF GOD, VANDALISM, AND/OR THE OWNER'S IMPROPER MAINTENANCE SHALL NOT BE COVERED BY THIS WARRANTY. SHOULD THE PERMITTING JURISDICTION REQUIRE AN IRRIGATION AUDIT. THE IRRIGATION CONTRACTOR SHALL RETAIN THE SERVICES OF A THIRD-PARTY CERTIFIED LANDSCAPE IRRIGATION



OF WIRE, COILED (2) WATERPROOF CONNECTION (ANY APPROVED)

(1) 30-INCH LINEAR LENGTH

- (3) REMOTE CONTROL VALVE
- (4) JUMBO PLASTIC VALVE BOX BY CARSON (OR EQUAL)
- (5) TOP OF MULCH
- (6) FINISHED GRADE-1" BELOW TOP OF BOX IN TURF AREAS, 2" IN SHRUB AREAS
- 7 PVC UNION (2)
- (8) PVC SCH 40 MALE ADAPTER (2) (9) PVC LATERAL PIPE
- (10) BRICK (1 OF 4)
- (11) 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL (12) PVC MAINLINE PIPE
- (13) PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)

(14) SCH. 40 PVC ELL

(1) 30-INCH LINEAR LENGTH OF WIRE, COILED

(3) REMOTE CONTROL VALVE

(7) PVC SCH 80 NIPPLE (CLOSE)

(5) TOP OF MULCH

(8) PVC SCH 40 ELL

(10) BRICK (1 OF 4)

12) SCH. 40 PVC ELL

(11) PVC MAINLINE PIPE

(13) PVC SCH 40 TEE OR ELL

15) PVC LATERAL PIPE

14) PVC SCH 40 MALE ADAPTER

(2) WATERPROOF CONNECTION (ANY APPROVED)

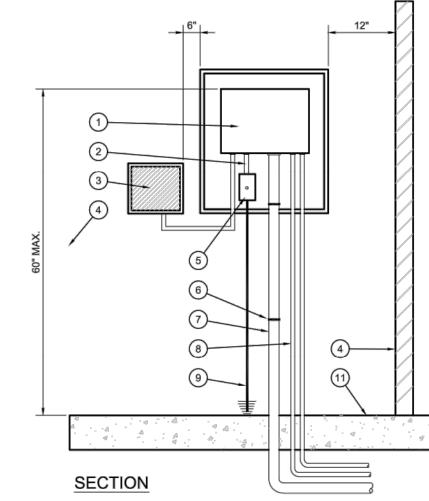
(4) JUMBO PLASTIC VALVE BOX BY CARSON (OR

(6) FINISHED GRADE-1" BELOW TOP OF BOX IN

(9) PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)

(16) 3-INCH MINIMUM DEPTH OF 3-INCH WASHED

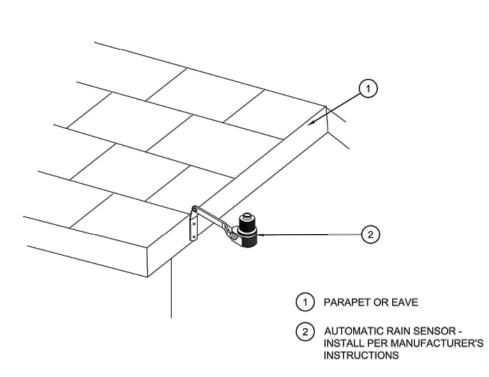
- (15) SCH. 40 PVC TEE OR ELL
- (16) SCH. 40 PVC THREADED ELL
- DRIP CONTROL ZONE KIT



- (1) CONTROLLER PER LEGEND (2) 1/2" ELECTRICAL CONDUIT BETWEEN
- CONTROLLER AND ELECT. BOX CLAMP TO WALL
- (4) WALL (WHERE OCCURS)
- (5) 120 VOLT SERVICE IN WATERPROOF JUNCTION BOX WITH DISCONNECT SWITCH, INSTALL INSIDE STAINLESS
- (6) C-CLAMPS (TYP.)
- (7) CONDUIT(S) FOR 24 VOLT CONTROL WIRES. CLAMP TO WALL. USE 1 CONDUIT FOR 0-24 STATIONS. USE 2 **CONDUITS FOR 25-48 STATIONS**
- (8) SENSOR CABLES IN CONDUITS (WHERE OCCURS)
- (9) GROUNDING PER MANUFACTURER
- (10) FINISH FLOOR SURFACE

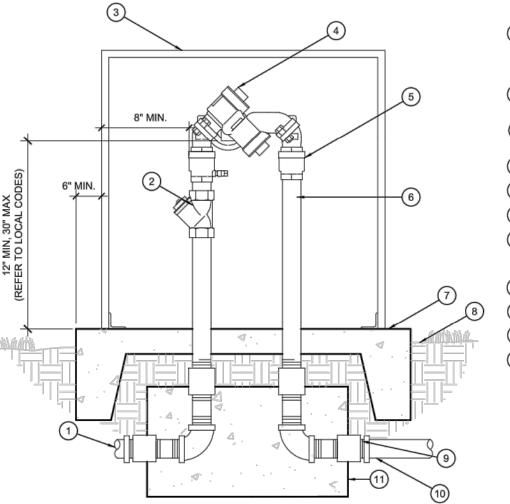
CONTROLLER. CONNECT TO ELECTRICAL SUPPLY PER NATIONAL ELECTRIC CODE AND LOCAL CODE. 3) LOCATE GROUND ROD 8' MIN. FROM CONTROLLER. VERIFY LOCATION OF GROUND ROD, CONTROLLER AND SOURCE OF ELECTRICITY WITH MANUFACTURER'S REPRESENTATIVE AND OWNER AS PART OF PRE CONSTRUCTION MEETING.

CONTROLLER - WALL MOUNT, INDOOR



REMOTE CONTROL VALVE

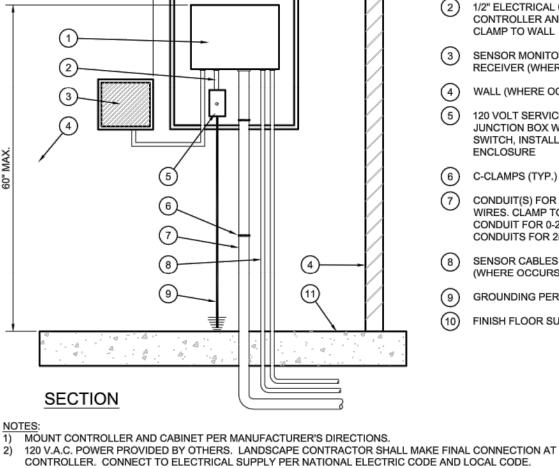


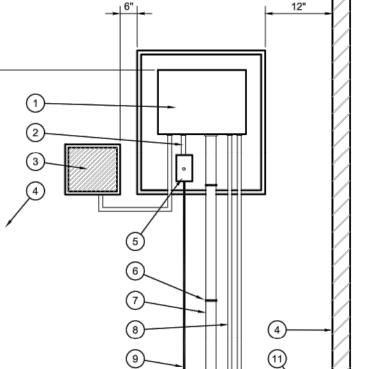


BACKFLOW PREVENTER

- 1) TO POINT OF CONNECTION -ADAPT AS NECESSARY. ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES
- 2 BRASS WYE STRAINER W/60 MESH (3) ENCLOSURE PER IRRIGATION
- (4) BACKFLOW PREVENTER UNIT
- (5) BRASS UNION (TYPICAL) (6) BRASS NIPPLES (TYPICAL)
- 7) 4" CONCRETE PAD, SLOPE TO DRAIN AWAY FROM BACKFLOW PREVENTER
- (8) FINISH GRADE, 2" BELOW PAD (9) BRASS COUPLING
- (10) PVC ADAPTER AND MAINLINE PIPE (11) 12"X12"X24" THRUST BLOCK

SHEET 16 OF 23





(3) SENSOR MONITOR PANEL OR 10777 Westheimer Rd., Ste 1100 RECEIVER (WHERE OCCURS) Houston, TX 77042 www.EvergreenDesignGroup.com

04/16/2021

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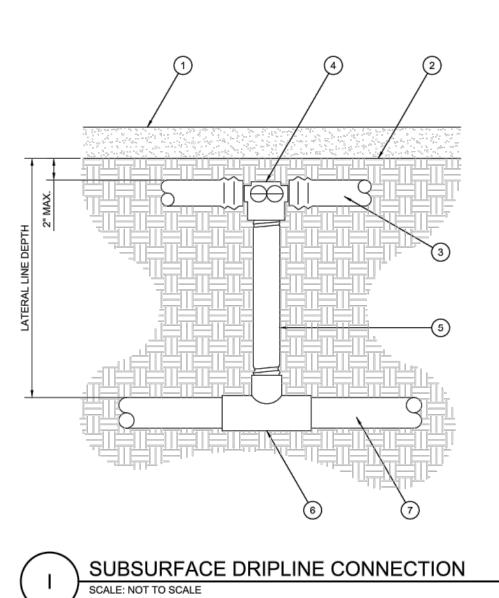
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IRRIGATION **DETAILS &**

SPECIFICATIONS

Date Comment

Project Number 11/17/2020 Checked By EMS/RM



POP-UP SPRAY HEAD

SCALE: NTS

 TOP OF MULCH 2 FINISH GRADE 3 DRIP LINE PER PLAN INSERT TEE OR ELBOW 5 SCH. 80 PVC NIPPLE (LINE 6 SCH. 40 PVC TEE (SST) SCH. 40 PVC SUPPLY HEADER (SIZE PER PLAN)

10" ROUND PLASTIC VALVE BOX
WITH LOCKABLE LID, "CARSON" OR

FINISH GRADE - TOP OF VALVE BOX TO
BE 2" ABOVE FINISH GRADE IN

APPROVED EQUAL

PLANTER AREAS

3 DRIP EXHAUST HEADER

4 BALL VALVE, LINE SIZE

1 FINISH GRADE

4 SCH. 40 PVC ELL

2 POP-UP SPRAY HEAD

3 SCH. 80 PVC NIPPLE (LENGTH AS REQUIRED)

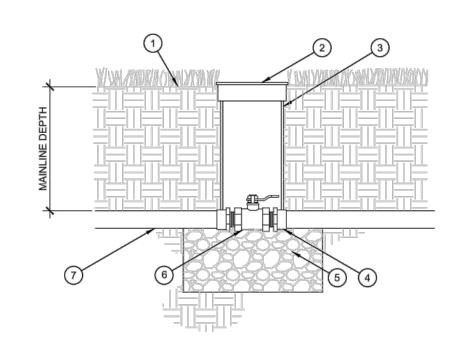
5 SCH. 40 PVC STREET ELL

6 SCH. 40 PVC TEE OR ELL

7 PVC LATERAL PIPE

3' COILED LENGTH OF LINE SIZE FLEX HOSE. SOLVENT WELD TO VALVE

(6) RED BRICK TYPICAL, 3 REQUIRED (7) 6" DEEP LAYER OF PEA GRAVEL



1) FINISH GRADE AT 1" BELOW TOP OF BOX IN TURF AREAS: 2" BELOW TOP OF BOX IN SHRUB/GROUNDCOVER

9" ROUND VALVE BOX WITH LOCKABLE LID

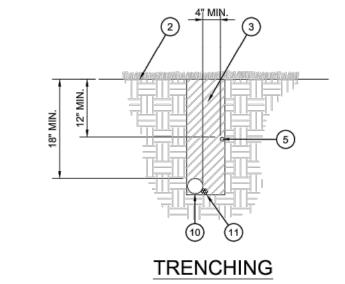
(3) EXTENSION SECTION AS NECESSARY TO MEET GRADE (4) PVC MALE ADAPTER

(5) 3-INCH MINIMUM DEPTH OF 3-INCH WASHED GRAVEL

6 BRASS BALL VALVE (SIZED PER MAINLINE)

7 IRRIGATION MAINLINE

BRASS BALL VALVE



2 FINISH GRADE

1 PAVEMENT SURFACE

(3) TRENCH BACKFILL

4 LOCATOR WIRE W/BURIED CAUTION TAPE

(5) PVC IRRIGATION LATERAL

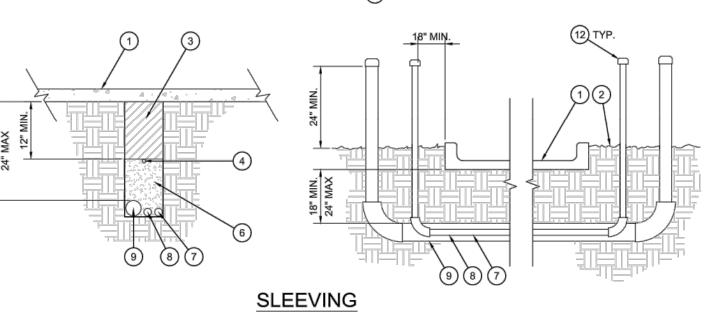
 SAND BACKFILL 7) SCH. 40 PVC LATERAL SLEEVE - SEE PLANS FOR SIZE

(8) SCH. 40 PVC WIRE SLEEVE FOR CONTROL WIRES, MIN. 2" DIA. (9) SCH. 40 PVC MAINLINE SLEEVE - SEE PLANS FOR SIZE

(10) PVC IRRIGATION MAINLINE

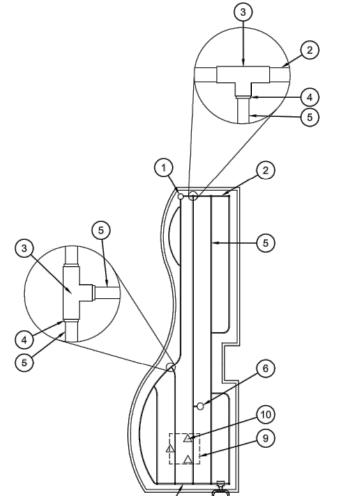
(11) CONTROL WIRES - TAPE TO MAINLINE AT 10' INTERVALS

(12) PVC CAP, SOLVENT WELDED



PIPE AND SLEEVE INSTALLATION

SCALE: NTS



FLUSH VALVE 2 SCH. 40 PVC EXHAUST HEADER 3 SCH. 40 PVC TEE OR ELL

4 COMPRESSION ADAPTER 5 DRIP LINE

AIR RELIEF VALVE AT HIGH POINT OF SYSTEM (WHEN INDICATED ON PLANS)

7 SCH. 40 PVC SUPPLY HEADER 8 CONTROL VALVE

TREE ROOT BALL (WHERE OCCURS IN DRIP AREA) RAINBIRD PC-07 EMITTERS (3) OR EQUAL, WITH DIFFUSER CAPS, INSERTED IN DRIP LINE AND GENERALLY SPACED EVENLY AROUND TREE NEAR EDGES OF ROOT BALL (WHERE OCCURS)

NOTE: SET DRIP LINES 3"-6" AWAY FROM HARDSCAPE

SUBSURFACE DRIP LINE LAYOUT SCALE: NOT TO SCALE



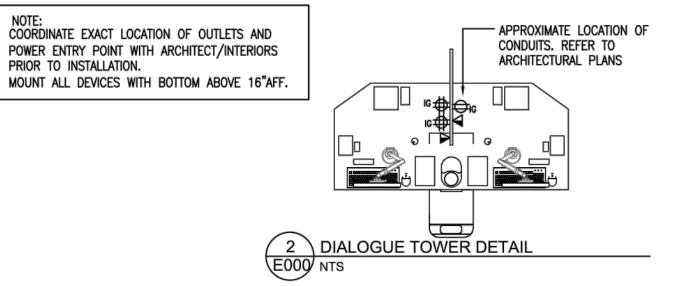
04/16/2021

FNB BASTROP -DOWNTOWN BRANCH 605 SPRING STREET BASTROP

IRRIGATION DETAILS & SPECIFICATIONS

	Date	Comment
Pro	iect Nı	ımher

11/17/2020 Checked By EMS/RM



GENERAL ELECTRICAL NOTES:

ARCHITECTURAL ELEVATIONS SHALL GOVERN

CATALOG NUMBER

- 1. FOR EXACT LOCATION OF EQUIPMENT MOUNTED IN SUSPENDED CEILINGS. SUCH AS LIGHTING FIXTURES, AND SMOKE DETECTORS, SEE ARCHITECTURAL REFLECTED CEILING PLANS. ARCHITECTURAL REFLECTED PLAN SHALL GOVERN FINAL LOCATION.
- 2. PRIOR TO ROUGH-IN, CONTRACTOR SHALL COORDINATE EXACT LOCATION OF ALL WIRING DEVICE WITH ARCHITECTURAL ELEVATION TO AVOID CONFLICTS WITH CASEWORK, COUNTER TOPS, DOOR SWINGS, ETC. WHERE CONFLICTS OCCURS, CONTRACTOR SHALL CONTACT THE ARCHITECT IN WRITING FOR RESOLUTION.
- 3. ALL MOUNTING HEIGHT DIMENSIONS ARE TO THE CENTER OF THE OUTLET BOX UNLESS OTHERWISE NOTED.
- 4. FOR EXACT LOCATION OF ALL EXTERIOR LIGHTING FIXTURES MOUNTED ON EXTERIOR OF BUILDING,
- 5. PRIOR TO ROUGH-IN FOR ALL LIGHTING SWITCHES, VERIFY ALL DOOR SWINGS WITH ARCHITECTURAL PLANS.
- 6. THE CONTRACTOR SHALL USE CARE WHEN CUTTING OPENINGS FOR OUTLET BOXES IN CMU WALLS. OUTLET BOXES SHALL BE INSTALLED IN CMU WALLS SECURELY WITH EPOXY.
- 7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING OUTLET BOX INSTALLATION WITH WALL FINISH (GYPSUM FURRING, TILE, ETC). THE CONTRACTOR SHALL PROVIDE AND INSTALL ANY EXTENSION RINGS NECESSARY TO ACCOMMODATE WALL FINISHES.
- 8. ALIGN VERTICALLY AND HORIZONTALLY ALL LIGHT SWITCHES, THERMOSTATS, FIRE ALARM PULL STATIONS, ETC. ALL THESE ITEMS SHALL BE CLUSTERED WHERE POSSIBLE. COORDINATE EXACT REQUIREMENTS WITH ARCHITECT.
- 9. COORDINATE MOUNTING OF ALL EXTERIOR DISCONNECT WITH ARCHITECTURAL ELEVATIONS. IF NOT INDICATED ON ARCHITECTURAL ELEVATIONS, REQUEST ELEVATIONS OF DISCONNECT SWITCHES FROM ARCHITECT IN WRITING
- 10. ALL CONDUITS FOR LOW VOLTAGE OUTLETS SHALL BE DEDICATED TO A SINGLE BOX. NO DAISY CHAINING OR SHARING OF CONDUITS BETWEEN LOW VOLTAGE OUTLET BOXES IS PERMITTED UNLESS SPECIFICALLY INDICATED
- 11. PROVIDE FIELD IDENTIFICATION PER NEC 480.4. EACH SWITCH, RECEPTACLE, DISCONNECT SHALL HAVE A LABEL WITH SPECIFIC PANEL AND CIRCUIT NUMBER.
- 12. PROVIDE TAMPER PROOF RECEPTACLES IN BUSINESS OFFICES, CORRIDORS, WAITING ROOMS AND THE LIKE PER NEC 406.12.

GENERAL ELECTRICAL DEMOLITION NOTES

- 1. ELECTRICAL CONTRACTOR SHALL REMOVE DEVICES ON WALLS TO BE REMOVED AND AS DIRECTED BY ARCHITECT.
- ELECTRICAL CONTRACTOR SHALL REMOVE ALL ASSOCIATED WIRING, CONDUIT, SURFACE RACEWAY, ETC. FOR DEVICES/LOADS BEING REMOVED. ITEMS REMOVED SHALL BECOME PROPERTY OF THE ELECTRICAL CONTRACTOR (UON) AND SHALL BE REMOVED FROM THE SITE. ITEMS REMOVED SHALL NOT BE STORED AT THE SITE. UNDER NO CONDITIONS SHALL ITEMS REMOVED BE USED IN THE NEW CONSTRUCTION.
- ELECTRICAL CONTRACTOR SHALL VISIT AND EXAMINE THE SITE PRIOR TO CONSTRUCTION TO ASCERTAIN THE EXISTING CONDITIONS AND LIMITS OF DEMOLITION AND CONSTRUCTION.
- 4. IT SHALL BE THE ELECTRICAL CONTRACTORS RESPONSIBILITY TO PROTECT AND RETAIN POWER TO ALL EXISTING ACTIVE EQUIPMENT TO REMAIN. THIS INCLUDES RE-ROUTING OF EXISTING CIRCUITING EFFECTED BY
- 5. ALL REMOVED COMPUTER EQUIPMENT SHALL BE TURNED OVER TO OWNER UNLESS DIRECTED TO DO OTHERWISE.
- SEE MECHANICAL DRAWING FOR HEATERS, EXHAUST FANS, ETC., WHICH MUST BE DISCONNECTED BY THE ELECTRICAL CONTRACTOR FOR REMOVAL OR ABANDONMENT BY MECHANICAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL REMOVE ALL STARTERS, DISCONNECT SWITCHES AND ASSOCIATED CONDUIT AND WIRING.
- REMOVE ALL CONDUIT, WIRE, BOXES AND FASTENING DEVICES AS REQUIRED TO AVOID ANY INTERFERENCE WITH
- CONDUITS MAY BE ABANDONED IN FLOOR AND WALLS ONLY. ELECTRICAL CONTRACTOR SHALL REMOVE ALL WIRING FROM ABANDONED CONDUITS, DISCONNECT FROM ALL POWER SOURCES AND PROVIDE BLANK PLATES ON ALL ABANDONED OUTLETS. CUT OFF ABANDONED CONDUITS 1" BELOW FINISHED FLOOR AND GROUT FLUSH. ABANDONED CONDUIT SHALL BE CAPPED AT BOTH ENDS.
- ELECTRICAL CONTRACTOR SHALL TRACE ALL CIRCUITS IN EXISTING PANELS TO REMAIN AFFECTED BY DEMOLITION. TAG ALL UNUSED CIRCUIT BREAKERS AS "SPARE" AND TIGHTEN ALL CONNECTIONS. PROVIDE NEW TYPED DIRECTORY PROTECTED BY PLASTIC AND PLACE IN COVER OF PANELS CONSISTENT WITH NEW CONSTRUCTION.
- ANY ELECTRICAL OUTAGES REQUIRED BY THE WORK SHALL BE COORDINATED WITH OWNER'S REPRESENTATIVE AND CONFIRMED IN WRITING. ANY OUTAGE SHALL NOT BE SCHEDULED DURING NORMAL BUSINESS HOURS OR DURING FACILITY FUNCTIONS AND ALL COSTS FOR OVERTIME SHALL BE INCLUDED IN THE BID.
- 11. EXISTING LIGHTING FIXTURE BALLASTS AND FLUORESCENT LAMPS MAY CONTAIN PCB'S. DISPOSE OF BALLASTS AND LAMPS IN ACCORDANCE WITH EPA.
- 12. HOLES LEFT BY REMOVAL OF ELECTRICAL DEVICES, PANELS, ETC. SHALL BE PATCHED IN EXISTING WALLS TO REMAIN. REFER TO ARCHITECTURAL DRAWINGS.

ABBREVIATIONS

A	- AMPERES	мсв	- MAIN CIRCUIT BREAKER
A.F.F.	 ABOVE FINISHED FLOOR 	MLO	- MAIN LUG ONLY
A.F.G.	 ABOVE FINISHED GRADE 	NTS	 NOT TO SCALE
BFG	- BELOW FINISHED GRADE	Р	- POLE
С	- CONDUIT	PNL	- PANEL
ETR	- EXISTING TO REMAIN	SN	 SOLID NEUTRAL
F	- FUSE	U.O.N.	 UNLESS OTHERWISE NOTED
GFI	- GROUND FAULT CIRCUIT INTERRUPTING	٧	VOLTS
G	- GROUND	W	WIRE
KVA	- KILO VOLT AMP	WP	WEATHERPROOF/GFI
KW	- KILOWATT		·
JTILITY NOTES:			

1. PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL HAVE ALL EXISTING UNDERGROUND UTILITIES LOCATED.

FIRE PROOFING NOTES:

- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FIRE STOPPING AT ALL WALL, FLOOR AND CEILING PENETRATIONS WHERE CONDUIT PENETRATIONS OCCUR.
- 2. PROVIDE FIRE STOPPING AT CONDUIT PENETRATIONS PER UL.

SPECIAL SYSTEMS

- TELEPHONE/DATA OUTLET 18" A.F.F., U.O.N. DOUBLE GANG BOX WITH DEVICE PLATE. PROVIDE 1" (UON) CONDUIT WITH PULLWIRE FROM OUTLET TO ABOVE ACCESSIBLE CEILING. PROVIDE WITH SINGLE GANG ADAPTER.
- TELEPHONE OUTLET 18" A.F.F., U.O.N. DOUBLE GANG BOX WITH DEVICE PLATE. PROVIDE 3/4" (UON) CONDUIT WITH PULLWIRE FROM OUTLET TO ABOVE ACCESSIBLE CEILING. PROVIDE WITH SINGLE GANG ADAPTER.
- TELEVISION OUTLET 18" A.F.F., U.O.N. SINGLE GANG BOX WITH DEVICE PLATE. PROVIDE 3/4" (UON) CONDUIT WITH PULLWIRE FROM OUTLET TO ABOVE ACCESSIBLE CEILING.

TELEPHONE/TELEVISION BACKBOARD, 4' X 4' X 3/4" THICK EXTERIOR GRADE PLYWOOD. MOUNT VERTICALLY WITH BOTTOM OF PLYWOOD 6" A.F.F., U.O.N.

DEVICE PLATE NOTE

ALL COVERPLATES SHALL BE NYLON WITH FINISH BY ARCHITECT. ALL DEVICES (SWITCHES, RECEPTACLES, ETC) SHALL BE FINISH BY ARCHITECT (UON). COORDINATE WITH ARCHITECTURAL PLANS.

FIRM REGISTRATION # 17140

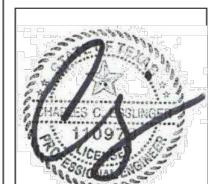
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DUPLEX GROUNDING TYPE RECEPTACLE, 20A, 125 VOLT, NEMA 5-20R, 18" A.F.F., U.O.N..

EMERGENCY LIGHTING FIXTURE AND/OR NIGHTLIGHT AS INDICATED

THREE-WAY SWITCH WITH PILOT LIGHT, 20A, 120/277 VOLT, 46" A.F.F..

REQUIRED AND ALL OTHER REQUIRED ACCESSORIES FOR PROPER INSTALLATION.

SINGLE POLE SWITCH, 20A, 120/277 VOLT, 46" A.F.F..

THREE-WAY SWITCH, 20A, 120/277 VOLT, 46" A.F.F..

FOUR-WAY SWITCH, 20A, 120/277 VOLT, 46" A.F.F..

- (2) DUPLEX GROUNDING TYPE RECEPTACLES IN COMMON BOX, 20A, 125 VOLT, NEMA 5-20R, 18" A.F.F, U.O.N
- DUPLEX ISOLATED GROUNDING TYPE RECEPTACLE, 20A, 125 VOLT, NEMA 5-20R, 18" A.F.F., U.O.N.. RECEPTACLE BODY SHALL

EXIT LIGHTING FIXTURE, FACE PLATES (DARKENED) AND DIRECTIONAL ARROWS AS INDICATED. PROVIDE WITH BATTERY BACKUP.

DIMMER SWITCH, 46" A.F.F. PROVIDE WATTAGE AS REQUIRED. PROVIDE DIMMER SWITCH COMPATIBLE WITH LED LIGHT FIXTURE.

CEILING MOUNTED OCCUPANCY SENSOR. BY WATT STOPPER OR APPROVED EQUAL. PROVIDED WITH NUMBER OF SWITCH PACKS AS

WALL MOUNTED SWITCH, 20A, 120/277V, 46"AFF WITH INTEGRAL OCCUPANCY SENSOR. BY WATT STOPPER OR APPROVED EQUAL.

PROVIDED WITH NUMBER OF SWITCH PACKS AS REQUIRED AND ALL OTHER REQUIRED ACCESSORIES FOR PROPER INSTALLATION.

(2) WALL MOUNTED SWITCHES, 20A, 120/277V, 46"AFF WITH INTEGRAL OCCUPANCY SENSOR. BY WATT STOPPER OR APPROVED

WALL MOUNTED DIMMER SWITCH, 20A, 120/277V, 46"AFF WITH INTEGRAL OCCUPANCY SENSOR. BY WATT STOPPER OR APPROVED

EQUAL. PROVIDED WITH NUMBER OF SWITCH PACKS AS REQUIRED AND ALL OTHER REQUIRED ACCESSORIES FOR PROPER

EQUAL. PROVIDED WITH NUMBER OF SWITCH PACKS AS REQUIRED AND ALL OTHER REQUIRED ACCESSORIES FOR PROPER

PROVIDE WIRING AS REQUIRED FROM DIMMER TO LIGHT FIXTURE. COORDINATE WITH FIXTURE MANUFACTURER.

- DUPLEX GROUND FAULT INTERRUPTER TYPE RECEPTACLE, 20A, 125 VOLT, NEMA 5-20R, 18" A.F.F., U.O.N.
- DUPLEX GROUND FAULT INTERRUPTER TYPE RECEPTACLE, MOUNT HORIZONTALLY 18" A.F.F., U.O.N., IN CAST OUTLET BOX WITH GASKET DEVICE COVER.
- DUPLEX GROUNDING TYPE RECEPTACLE, 20A, 125 VOLT, NEMA 5-20R. MOUNT HORIZONTALLY 6" A.F.F. FOR WATER COOLER.
- SPECIAL RECEPTACLE, AMPERAGE, AND VOLTAGE AS INDICATED, 18" AFF, UON.
- PROVIDE COMBINATION USB CHARGER AND TAMPER RESISTANT RECEPTACLE. LEVITON DEVICE #T5632. COORDINATE LOCATIONS WITH ARCHITECT.
- RECEPTACLE/TELEPHONE/DATA OUTLETS, FLUSH MOUNT IN FLUSH MOUNTED FLOOR BOX WITH RUBBER OR THERMOPLASTIC CARPET COVER PLATE. PROVIDE NUMBER AND TYPE OF DEVICES PER PLANS. COORDINATE DEPTH OF FLOOR BOX WITH SLAB DEPTH. COORDINATE EXACT LOCATION WITH ARCHITECT. PROVIDE 3/4" CONDUIT WITH CONDUCTORS INDICATED FOR SERVICE TO RECEPTACLE OUTLET. PROVIDE (1) 1-1/4" CONDUIT WITH PULLWIRE FROM EACH SPECIAL SYSTEMS OUTLET TO ABOVE NEAREST ACCESSIBLE CEILING FOR SPECIAL SYSTEM WIRING BY OTHERS.
- PANELBOARD, 120/208 VOLT, 3 PHASE, 4 WIRE, SN

ELECTRICAL LEGEND

LIGHTING FIXTURE

CONNECT AHEAD OF LOCAL SWITCH.

DOWNLIGHT.

<u>POWER</u>

ELECTRICAL CIRCUIT RUN IN CONDUIT AND CIRCUIT HOMERUN TO PANELBOARD (PANEL AND CIRCUIT DESIGNATION AS INDICATED). AS A MINIMUM CONDITION, EACH SINGLE PHASE CIRCUIT SHALL HAVE ONE #12 PHASE CONDUCTOR, ONE #12 NEUTRAL CONDUCTOR, AND ONE #12 GROUNDING CONDUCTOR (PLUS ONE INSULATED, ISOLATED GROUNDING CONDUCTOR WHEN SERVING ISOLATED GROUND TYPE DEVICES) IN 1/2" CONDUIT. PROVIDE ADDITIONAL PHASE CONDUCTORS AS REQUIRED FOR "MULTIPLE PHASED" ELECTRICAL LOADS. PROVIDE ADDITIONAL "SWITCH LEG" CONDUCTORS TO PROVIDE THE LIGHT FIXTURE CONTROL INDICATED. MULTIPLE SINGLE PHASE CONDUCTORS SHALL BE GROUPED TOGETHER IN A COMMON CONDUIT IN ACCORDANCE WITH THE NEC AND AT THE CONTRACTOR'S DISCRETION. MULTIPLE SINGLE PHASE CONDUCTORS SERVING ISOLATED GROUND RECEPTACLES SHALL NOT SHARE COMMON NEUTRALS. NEUTRAL AND GROUNDING CONDUCTORS SHALL BE SHARED AS ALLOWED BY THE NEC. BRANCH CIRCUIT CONDUCTORS IN CONDUIT SHALL BE RUN CONCEALED IN WALLS AND/OR ABOVE CEILINGS, IN/OR BELOW FLOORS, EXCEPT IN EXPOSED CONSTRUCTION AREAS. FLUORESCENT LIGHTING CIRCUITS SERVING SWITCHED FIXTURES WITH EMERGENCY BATTERY BACK-UP SHALL CONTAIN ONE UNSWITCHED CONDUCTOR. FLUORESCENT DIMMING CIRCUITS SERVING DIMMING BALLASTS SHALL BE PROVIDED WITH WIRING AS REQUIRED BY BALLAST MANUFACTURER. MULTIPLE PHASE LIGHTING CIRCUITS

- JUNCTION BOX.
- П DISCONNECT SWITCH, 240 OR 600 VOLTS AS REQUIRED. AMPS, POLES AND FUSING AS NOTED, NEMA 1, U.O.N.
- MOTOR RATED SWITCH. MOUNT WITHIN SIGHT OF EQUIPMENT.

SERVING DIMMED LOADS SHALL NOT SHARE COMMON NEUTRALS.

- MOTOR CONNECTION, WITH INTEGRAL DISCONNECTING MEANS.
- STARTER
- 1 KEYNOTE.

SECURITY LEGEND:

- "DOUBLE SQUEEZE" BUTTON. PROVIDE 3/4"C WITH PULLWIRE TO SECURITY PANEL IN ACCORDANCE WITH UL. COORDINATE LOCATION WITH SYSTEM SUPPLIER.
 - SINGLE DOOR ALARM CONTACT. PROVIDE 4" SQUARE x 1 7/8" DEEP FLUSH MOUNTED JUNCTION BOX ABOVE DOOR FRAME. PROVIDE 3/4" CONDUIT WITHIN DOOR FRAME TO SECURITY PANEL IN ACCORDANCE WITH UL, FOR ALARM WIRING. COORDINATE EXACT REQUIREMENTS WITH SYSTEM SUPPLIER.
 - DOUBLE DOOR ALARM CONTACT. PROVIDE 4" SQUARE x 1 7/8" DEEP FLUSH MOUNTED JUNCTION BOX ABOVE DOOR FRAME. PROVIDE 3/4" CONDUIT WITHIN DOOR FRAME TO SECURITY PANEL IN ACCORDANCE WITH UL, FOR ALARM WIRING. COORDINATE EXACT REQUIREMENTS WITH SYSTEM SUPPLIER.
 - DIGITAL (CCD) CAMERA. PROVIDE 4" SQUARE x 2 1/8" DEEP FLUSH MOUNTED JUNCTION BOX 9" BELOW CEILING OR 8'-8" A.F.F. (WHICHEVER IS LOWER). COORDINATE LOCATION WITH SYSTEM SUPPLIER.
- CARD READER. PROVIDE 3/4"C WITH PULLWIRE TO SECURITY PANEL IN ACCORDANCE WITH UL. COORDINATE LOCATION WITH SYSTEM
- MOTION SENSOR. PROVIDE ₹"C WITH PULLWIRE TO SECURITY PANEL IN ACCORDANCE WITH UL.

360 DIGITAL (CCD) CAMERA, MOUNTED IN CEILING.

- CASH SAFE ALARM PROVIDE ₹"C WITH PULLWIRE TO SECURITY PANEL IN ACCORDANCE WITH UL.
- LAMP ALARM. PROVIDE 3"C WITH PULLWIRE TO SECURITY PANEL IN ACCORDANCE WITH UL.

SHEET 18 OF 23

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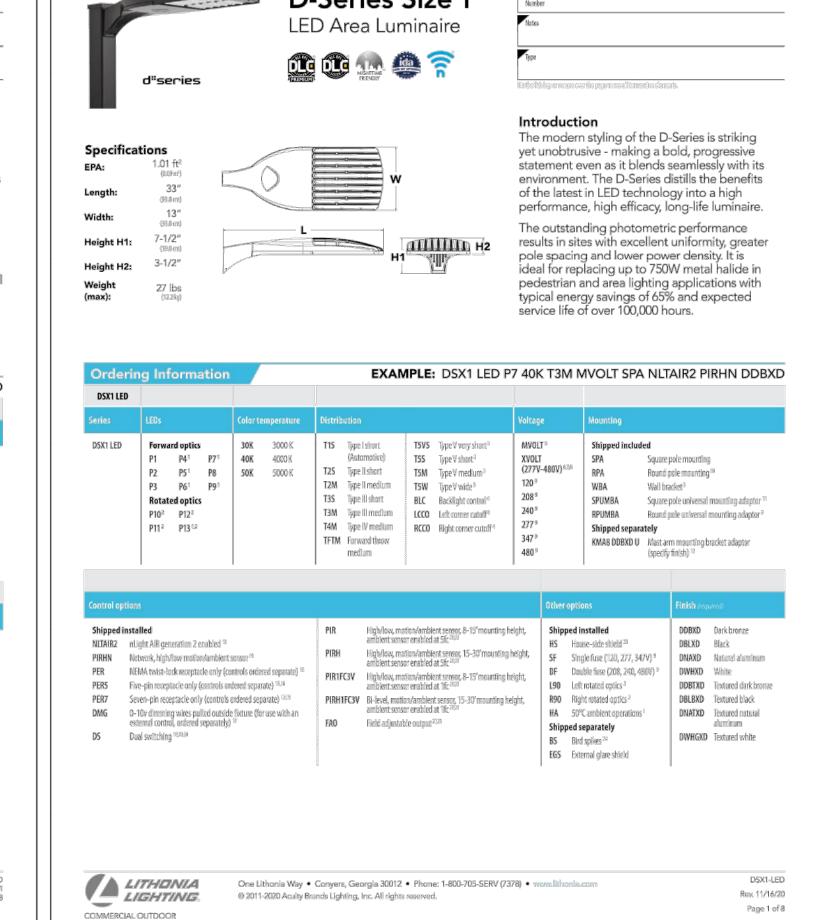
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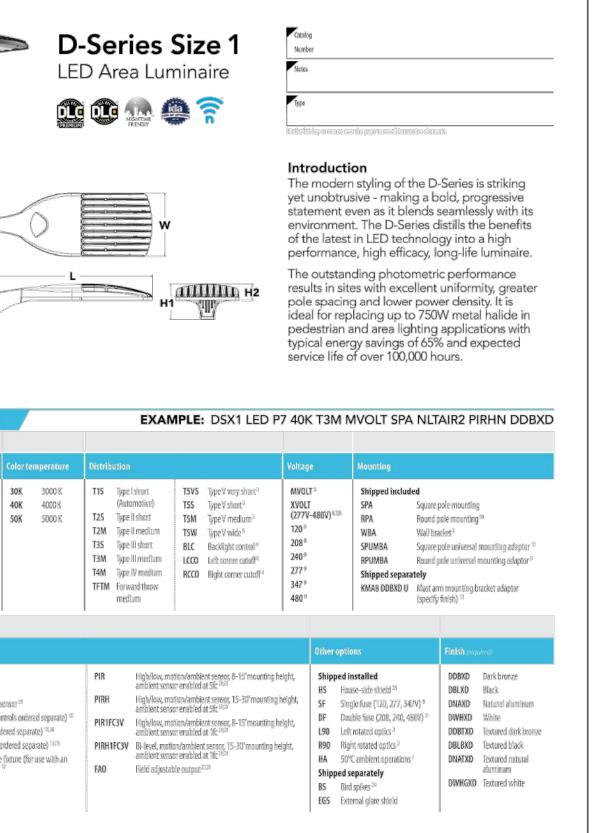
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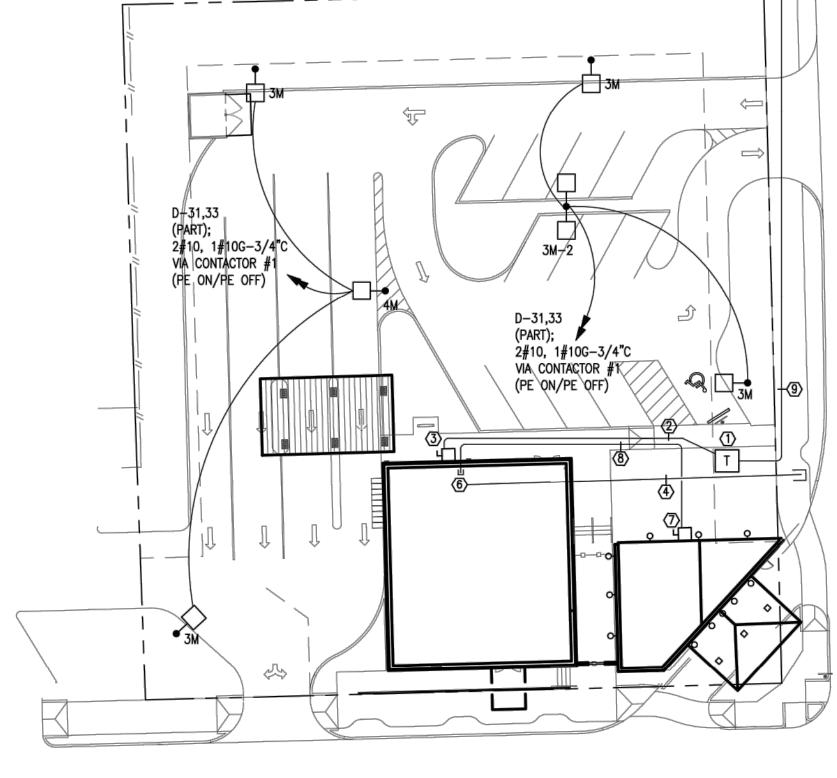
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PRIOR TO INSTALLATION.

COMMERCIAL OUTDOOR









SHEET 19 OF 23

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> REVISIONS: No. Description Date CONS

LIGHTING FIXTURE SCHEDULE TYPE DESCRIPTION MOUNT VOLTAGE MANUFACTURER CATALOG NUMBER **NOTES** QTY SITE POLE LIGHTING; SINGLE HEAD, TYPE 3M LITHONIA LIGHTING DSX1 LED-P2-30K-T3M-MVOLT-HS 208 DISTRIBUTION WITH HOUSE SHIELD 20'-0" AFG 3000K POLE SITE POLE LIGHTING; SINGLE HEAD, TYPE 3M 70W LED LITHONIA LIGHTING DSX0 LED-P1-30K-T3M-MVOLT-HS 208 DISTRIBUTION WITH HOUSE SHIELD 3000K SITE POLE LIGHTING; TWIN HEAD, TYPE 3M 108W LED POLE LITHONIA LIGHTING | DSX0 LED-P1-30K-T3M-MVOLT 208 20'-0" AFG 3000K SITE POLE LIGHTING; SINGLE HEAD, TYPE 4M 125W LED 208 LITHONIA LIGHTING DSX1 LED-P4-30K-T4M-MVOLT 20'-0" AFG 3000K

- FINISHED GRADE

- 3000 PSI CONCRETE BASE WITH 6#4 BARS VERTICAL SPACED AT 60 AND WITH #2 TIES

DRAWN BY: CHECKED BY: NOVUS JOB NUMBER 2016-5100.41 SHEET NUMBER

<u>42"</u> 2 SITE POLE BASE DETAIL E100 N.T.S

REFER TO POLE MOUNTED DETAIL, THIS SHEET

3'-0"(UNLESS NOTED OTHERWISE)

1#6 CU GND.--

16" MIN

(OR MIN. WIDTH OF POLE BASE COVER)

2.2 2.0 2.0 1.7 1.8 2.1 3.8 4.1 4.0 5.1 5.2 6.3 2.5 4.1 6.4 2.2 Plan View Scale - 1" = 20ft Number Lamps Lumens per Lamp LLF Wattage QTY Manufacturer Catalog Number Lamp 11 PRESCOLITE LF6SL-6LFSL20L30K8 DL LiteFrame - Diffuse Lens 36- Philips 3000K LEDs 21.4 1805 Díl. Statistics DSX1 LED P2 30K T3M MVOLT DSX1 LED P2 30K T3M MVOLT with 6500 1 Lithonia Lighting houseside shield escription Symbol Avg Max Min Max/Min Avg/Mir 3M Calc Zone #4 4 2.6 fc 26.7 fc 0.1 fc 267.0:1 26.0:1 DSX0 LED P1 30K T3M MVOLT DSX0 LED P1 30K T3M MVOLT 4248 Property Line + 1.5 fc 7.0 fc 0.2 fc 35.0:1 7.5:1 1 Lithonia Lighting 3M-2 DSX1 LED P4 30K T4M MVOLT DSX1 LED P4 30K T4M MVOLT 13164 125 Lithonia Lighting TOTAL NOTE FIXTURE QUANTITY LUMENS 0 1,805 0 | 1 9 ARCHITECTURAL AREA UCS-STR-12LED-WW LIGHTING UNIVERSAL . STRAIGHT HOOD. 12 DIODES, 3000K 1044 26.9 6,500 0 | 1 STRAIGHT SPUN ALUMINUM HOOD. F1 3,448 1 3,448 COATED LENS. 0 13,164 0 | 1 1 Lithonia Lighting DSXW2 LED 20C 1000 30K T3M DSXW2 LED WITH 2 LIGHT ENGINES, 20 LED 7172 73 9 1,044 9,396 WW LED's, 1000mA DRIVER, 3000K LED, TYPE 3 MEDIUM OPTIC 1 7,172 7,172

0 5,000

3 5,000

0 5,000

3 3,442

for Lighting).

2. 77,112 Lumens/acre

Total Outdoor Light Output 45,342

1. Fixture excluded from Total Outdoor Light Output

calculations per Texas Finance Code Sec. 59.307 (Standards

0

15,000

10,326

0 | 1

3 RAB LIGHTING -

VANDALPROOF

11 ARCHITECTURAL AREA LIGHTING

DSX0 LED P1 30K T3M MVOLT DSX0 LED P1 30K T3M MVOLT with LED

houseside shield

Lithonia Lighting

3M1

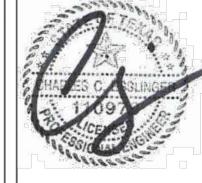
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PHOTOMETRIC

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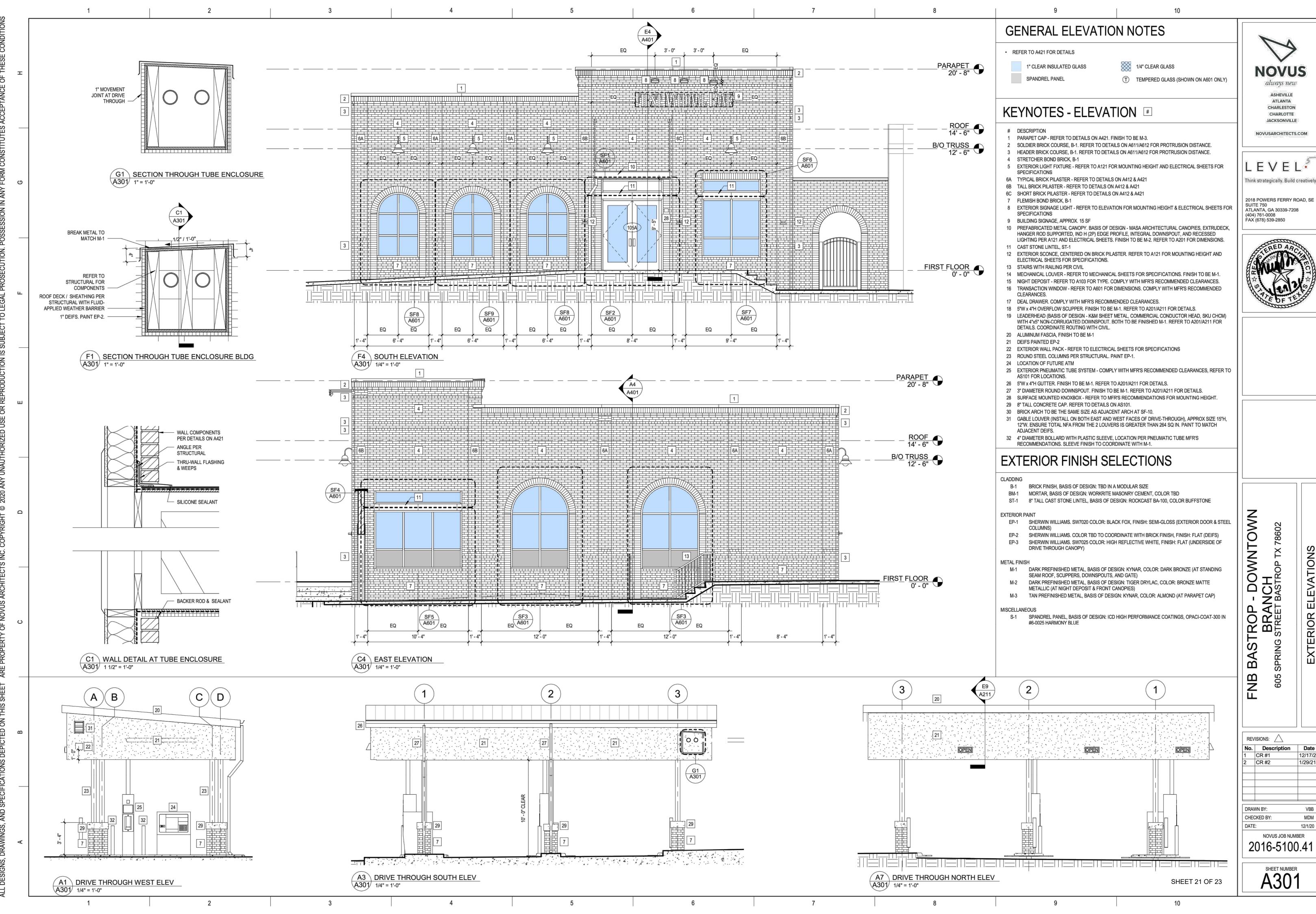
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35 DRAWN BY: SHEET NUMBER

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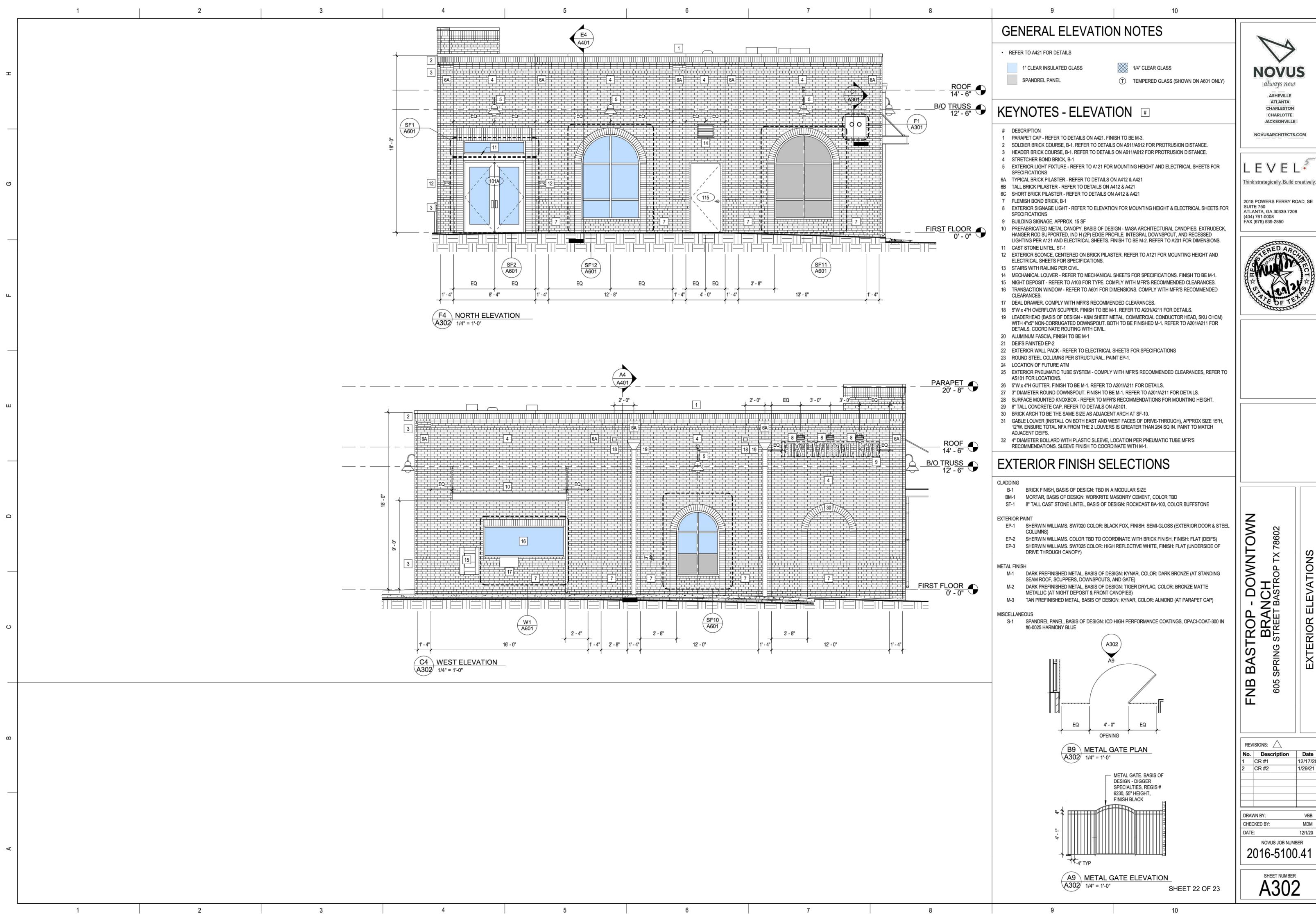


REVISIONS: No. Description Date

MDM NOVUS JOB NUMBER 2016-5100.41

SHEET NUMBER

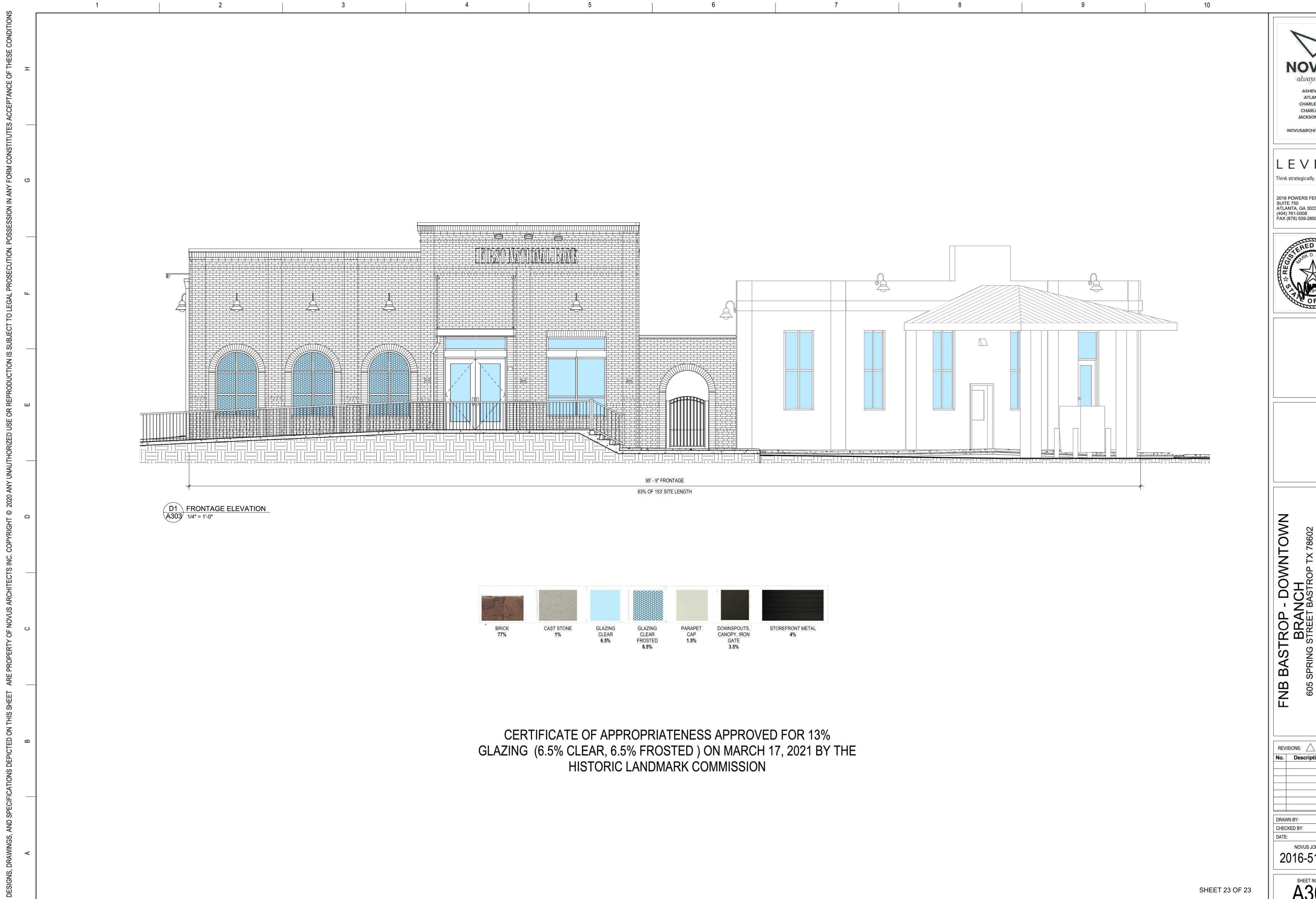
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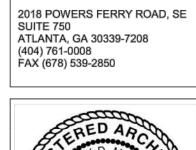


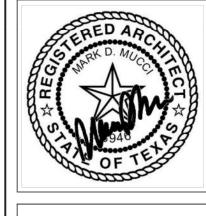
MDM



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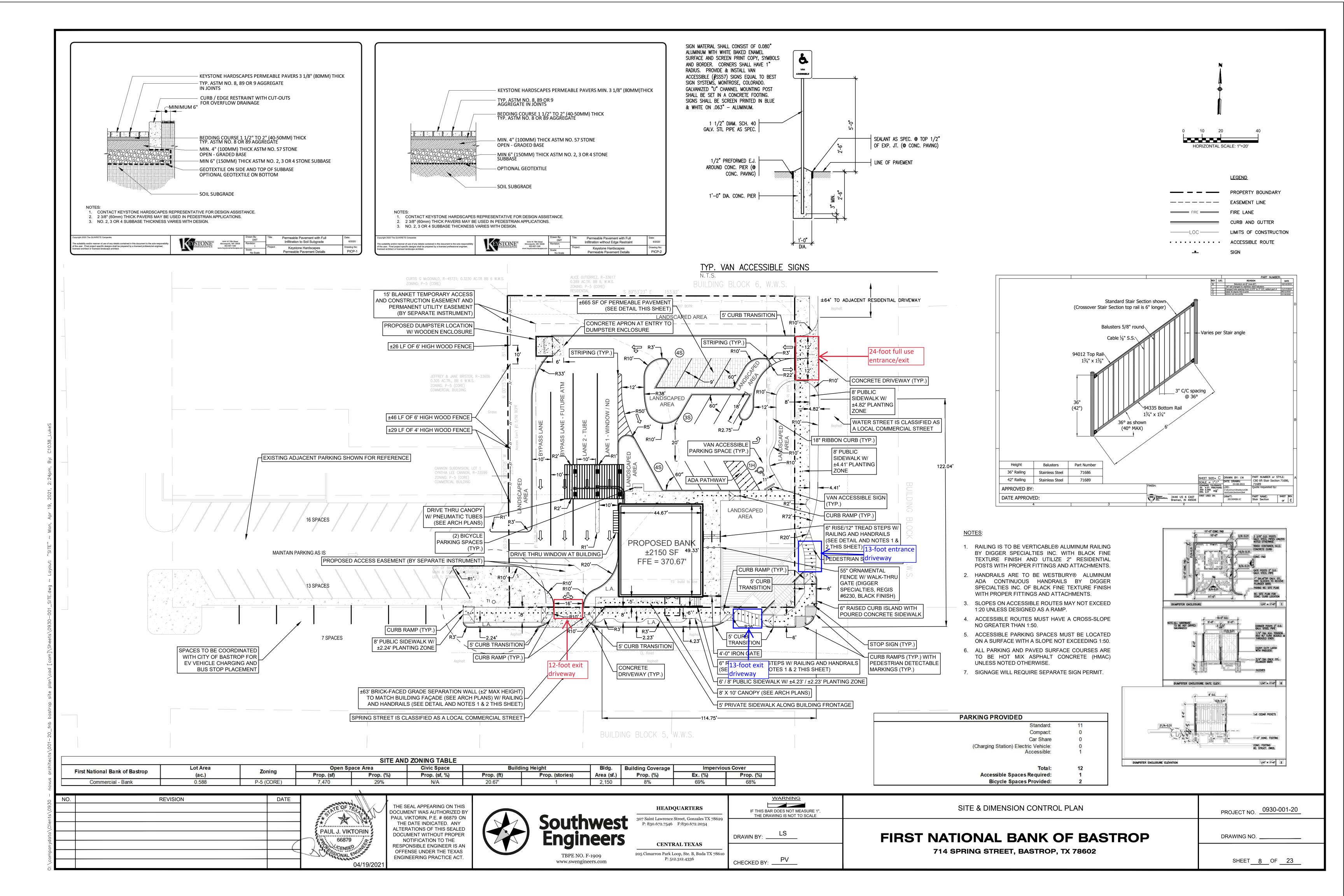
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2016-5100.41

A303



First National Bank of Bastrop

City of Bastrop Planning & Zoning Commission Request

April 29, 2021

Background

For several years, branch bank transactions have been declining due to direct deposit, internet and mobile banking, mobile deposit, and a move to more of a cashless society.

The pandemic has hastened the decline of in-branch transactions, but there has been a resurgence in the popularity of bank drive-in lanes.

First National Bank currently operates two staffed facilities in downtown Bastrop:

One at 1021 Main Street:



And a three-lane drive through facility with a mini lobby on Spring Street:



Operating two fully staffed facilities is inefficient and has become cost prohibitive as transaction volumes have declined.

Our Options

- 1) close one or both staffed facilities downtown or
- 2) combine the two facilities into a new branch facility located next to the Cash Station.

Closing the Main Street location while keeping the drive-in located at the corner of Spring and Church open for business would be the easiest option. However, the existing drive-through is an aging facility (built 1975) with many problems that make it difficult to bring up to today's standards.

Instead, our preferred option is to move the Spring Street branch from its current location west of Main Street to the east side of Main Street.



Proposed New Branch





The proposed new location would reduce traffic congestion and increase pedestrian safety around the Calvary Episcopal School, the Post Office "wrong-side-of-the-road Mail Box dilemma", and the Alley A "zig-zag" at Spring Street by eliminating the current drive-thru traffic at that intersection:



Design Process

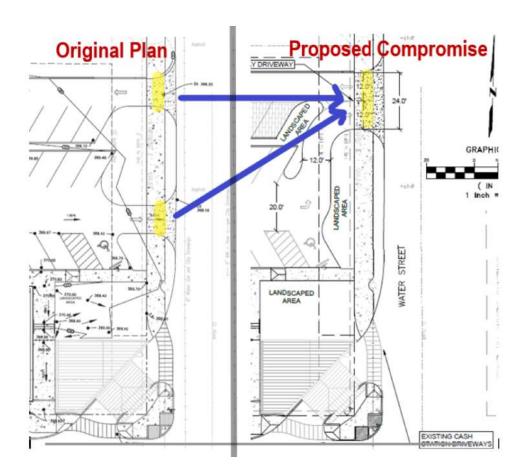
Our Design/build team has worked with the City of Bastrop staff for several months now. The drainage plan has been approved. The Historical Commission has approved the design as conforming to the Historical flavor of the downtown district. Cost of the new branch bank will exceed \$2,000,000 and provide a positive economic impact to the downtown area.

While being respectful to the new and untried B³ Code and Pattern Book, we are trying to build a functional facility in a nearly 200-year-old community. Conflicts with the new code that were assumed that could be remedied through the warrant process were denied and the project was referred to the Planning and Zoning Commission for review and approval. Planning Department Staff could not administratively recommend approval of the warrants on the site design because some items conflicted with the existing code.

The Planning & Zoning Commission tabled a decision on the site approval at the March 25th meeting to allow First National Bank to consult with the Design/Build team and Planning Staff for requested compromises. Following the action taken at the meeting the Design/Build team has redesigned the site as a proposed compromise to improve pedestrian safety and traffic flow.

<u>Code and Planning Issue</u>: A second new driveway on Water Street was a major point of contention because of the close proximity to the Cash Station Driveway and the resulting pedestrian and vehicle conflicts.

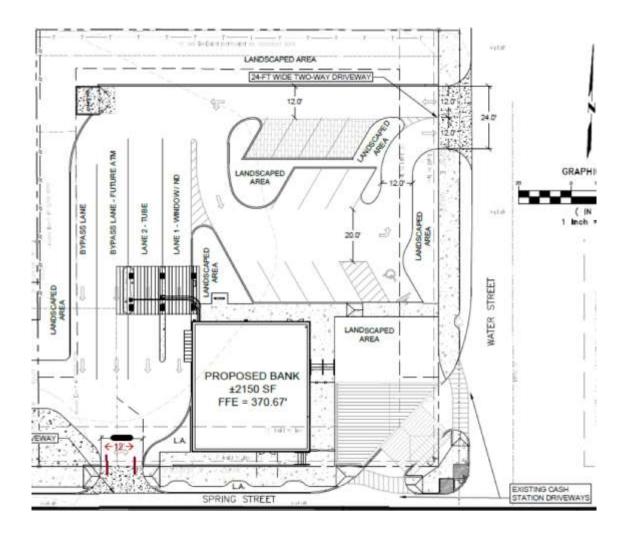
<u>Proposed Compromise</u>: First National Bank is going to eliminate the second new driveway to Water Street and instead propose one 24' wide driveway opening at the North end of the property.



Traffic from the Lobby parking area will exit directly to Water Street while the drive thru traffic will exit to Spring Street as previously indicated. This is a good compromise, providing more separation from the Cash Station ATM entrance driveway while maintaining a cohesive and logical site traffic flow, maintaining the number of parking spaces needed for the branch lobby and not directing all lobby and drive thru bank traffic to one exit driveway on Spring Street that is also a common exit for the City owned parking lot to the West.

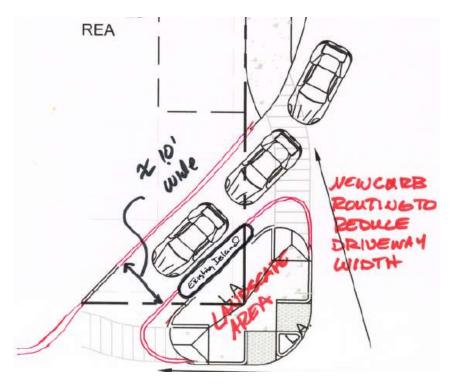
<u>Code and Planning Issue</u>: We had designed a 24' driveway exit to Spring Street to help relieve congestion at the exit from the Bank and City owned parking lot traffic.

<u>Proposed Compromise</u>: While there is support for a 24' exit driveway from adjacent business owners, we will agree to a 12' driveway per the code as a means to minimize pedestrian and vehicle conflicts.



<u>Code and Planning Issue</u>: The Planning & Zoning Commission appears to indicate that approval of the project is predicated on the existing Cash Station drive-thru ATM lane being closed permanently or if the ATM is converted to a walk-up ATM.

<u>Proposed Compromise</u>: We are proposing to widen the island and extend the curbs on the southeast corner, which will reduce the length of the pedestrian/vehicle conflict for the ATM drive-through. The corner area would also be nicely landscaped per City requirements to improve the appearance of the intersection of Spring and Water Streets which is currently all concrete and asphalt without any curbing.



Transaction numbers and car traffic flow was analyzed on Friday March 26. Based on security camera views, there were a very few instances with more than 2 cars in the queue for the drive thru:

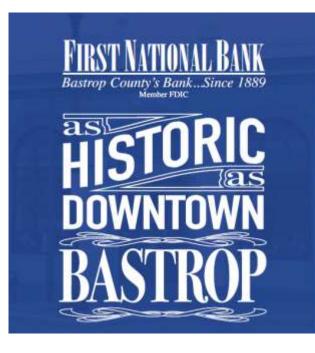
	Noon to 4 PM	4 PM to 8 PM
Vehicular Transactions	55	67
Average Transaction Time (min)	2.1	2.1
# of Times There Were More than 2 Cars in Queue	4	7
% of Time There Were More than 2 cars in Queue	3.5%	6.1%

We would NOT be agreeable to closing the drive-thru ATM or converting it to a walk-up ATM due to the following reasons:

- Our customers prefer Drive-up ATMs
- Our customers feel safer at Drive-up ATMs
- There is no parking in the immediate vicinity of the corner Cash Station should it be converted to a Walk-up ATM, adding to security concern for customers.
- In the 26 years we have operated the drive-thru ATM at Cash Station, there have been no pedestrian/vehicle accidents reported.
- Moving the drive-up ATM to one of the new bank drive-thru lanes reduces the number of lanes already in use at our current location. There is no room to add additional lanes without negatively impacting drainage or landscape buffers. The outside lane is designed for a future ATM, should an additional ATM be needed, and branch transactions continue to decline.
- The Cash Station has proved to be a popular attraction for residents and visitors alike and a great repurposing of a historic structure.
- It is Authentic Bastrop...that First National Bank is striving to conserve in useful manner.











STAFF REPORT

MEETING DATE: April 29, 2021 AGENDA ITEM: 3C

TITLE:

Consider action to approve The Colony MUD 1F, Section 1 Preliminary Plat, being 11.948 acres out of the Jose Manuel Bangs Survey, Abstract No. 5, located west of FM 969, within the Voluntary Extra-Territorial Jurisdiction of Bastrop, Texas, as shown in Exhibit A.

STAFF REPRESENTATIVE:

Jennifer C. Bills, AICP, LEED AP, Assistant Planning Director Allison Land, Planner II

ITEM DETAILS:

Site Address: West of FM 969 (Attachment 1)

Total Acreage: 11.948 acres

Legal Description: 11.948 acres of the Jose Manuel Bangs Survey, Abstract 5

Property Owner: Rick Neff/Hunt Communities Bastrop, L.L.C.

Agent Contact: Matt Synatschk, Carlson, Brigance, and Doering, Inc.

Existing Use: Vacant/Undeveloped

Existing Zoning: None. Extra-Territorial Jurisdiction, The Colony MUD

Adopted Plan: Third Amendment to the Colony MUD Consent Agreement,

Approved March 4, 2020

Future Land Use: None.

BACKGROUND/HISTORY:

The applicant has submitted an application for a Preliminary Plat for The Colony MUD 1F, Section 1 (Exhibit A). The plat includes 35 residential lots and 3 non-residential lots (Attachment 1). The proposed single-family lots follow the lot standards adopted in the Consent Agreement, as amended.

Traffic Impact and Streets

The Preliminary Plat connects to the extension Eight Oaks Drive, an arterial street, which exits onto Stephen F Austin Blvd, which feeds to FM 1209 to the north and SH 71 to the south, providing the main access into the development. Local streets connecting to Eight Oaks Drive will serve the proposed residential lots and provide access into the Colony neighborhoods to the south of the road. This section also has two residential connections: one to the east to a future 1F section, and one to the south to 1E Section 2B. The existing neighborhood trail system will be expanded.

A traffic impact analysis (TIA) for the overall development of The Colony MUD has been previously approved by the City, and the plat is consistent with the numbers for the impact to the existing roadways.

Utilities

Water service (domestic and fire) will be provided by The Colony MUD via water line extensions from existing infrastructure located near Eight Oaks Drive. These lines will be designed according to the City's construction standards, as well as the Texas Commission on Environmental Quality's (TCEQ) requirements. A Preliminary Infrastructure Plan has been reviewed and approved by the City Engineer.

Wastewater collection and treatment will also be provided by The Colony MUD. A Preliminary Infrastructure Plan has been reviewed and approved by the City Engineer.

Drainage

Stormwater runoff generated within the property will be routed through an underground storm sewer network, which will then flow into an existing detention pond to the southeast in MUD 1D, which will then discharge at pre-developed rates further to the south. The drainage infrastructure was verified to have appropriate capacity using the updated rainfall totals of Atlas 14. Additionally, the residential lots will include maximum impervious coverage limit that is reflected in the system capacity. A Preliminary Drainage Plan has been reviewed and approved by the City Engineer.

POLICY EXPLANATION:

Preliminary Plats are reviewed and approved by the Planning & Zoning Commission.

Compliance with 2036 Comprehensive Plan:

Future Land Use Plan - Neighborhood Residential: The Neighborhood Residential character area is for single-family residential subdivision development, associated amenities such as parks, trails, open spaces and public uses such as schools, fire stations, and more.

This plat is located outside of the Statutory ETJ to the north. The Future Land Use Plan does not extend past the Statutory ETJ, although it shows Neighborhood Residential just to the south of this area. The plat proposes residential lots, consistent with the surrounding property.

Objective 2.1.2: Exercise greater influence on development patterns and character in the Bastrop ETJ.

The City of Bastrop has a Consent Agreement with The Colony Municipal Utility District that allows the city to agree to specific land uses and development standards, even though the development is not within the city limits. This allows the city to ensure the quality of development and future sustainability.

Goal 4.1.1 Provide a greater diversity of housing options in Bastrop while protecting the character of the City's existing neighborhoods.

Through the Consent Agreement, The Colony MUD development includes four different single-family lot standards and two multi-family standards. This plat will create single-family lots.

Local Government Code

Sec. 212.002. Rules.

After a public hearing on the matter, the governing body of a municipality may adopt rules governing plats and subdivisions of land within the municipality's jurisdiction to promote the health, safety, morals, or general welfare of the municipality and the safe, orderly, and healthful development of the municipality.

Bastrop adopted subdivision regulations in 1981. The B³ Code, Chapter 1: Subdivision outlines the process and requirements for plats within the Bastrop city limits and Extra Territorial Jurisdiction (ETJ).

Section 212.004 Plat Required

(a) The owner of a tract of land located within the limits or in the extraterritorial jurisdiction of a municipality who divides the tract in two or more parts to lay out a subdivision of the tract, including an addition to a municipality, to lay out suburban, building, or other lots, or to lay out streets, alleys, squares, parks, or other parts of the tract intended to be dedicated to public use or for the use of purchasers or owners of lots fronting on or adjacent to the streets, alleys, squares, parks, or other parts must have a plat of the subdivision prepared.

The applicant has proposed subdividing an undeveloped 11.948-acre tract into 35 residential lots and 3 non-residential lots. Public improvements within the subdivision (streets, drainage, and other utilities) will be dedicated to The Colony Municipal Utility District upon their completion.

Sec. 212.010. Standards for Approval

- (a) The municipal authority responsible for approving plats shall approve a plat if:
 - (1) it conforms to the general plan of the municipality and its current and future streets, alleys, parks, playgrounds, and public utility facilities;
 - This plat is located outside of the Statutory ETJ to the north. The Future Land Use Plan does not extend past the Statutory ETJ, although it shows Neighborhood Residential just to the south of this area. The plat proposes residential lots, consistent with the surrounding property.
 - (2) it conforms to the general plan for the extension of the municipality and its roads, streets, and public highways within the municipality and in its extraterritorial jurisdiction, taking into account access to and extension of sewer and water mains and the instrumentalities of public utilities;
 - A traffic impact analysis (TIA) for the overall development of The Colony Subdivision has been previously approved by the City, and the plat is consistent with the recommendations of that analysis.
 - (3) a bond required under Section 212.0106, if applicable, is filed with the municipality; and
 - A fiscal guarantee will be provided for the construction and maintenance of the street improvements before any final plats can be recorded.

(4) it conforms to any rules adopted under Section 212.002.

The preliminary plat complies with the requirements of the adopted B³ Code and Consent Agreement.

B³ Code – Chapter 1: Subdivisions

Section 1.3.001 Standard Procedure - Platting

Any subdivision requiring the extension of public infrastructure or of more than four lots require the approval of a Preliminary Plat, Public Improvement Plan, and a Final Plat.

Section 1.3.002 Preliminary Plat

The Preliminary Drainage Plan to determine drainage requirements was approved by the City Engineer on December 8, 2020.

The Preliminary Infrastructure Plan for the feasibility of the construction of the subdivision improvements was approved by the City Engineer on December 8, 2020.

• Section 1.3.004 Plat Requirements

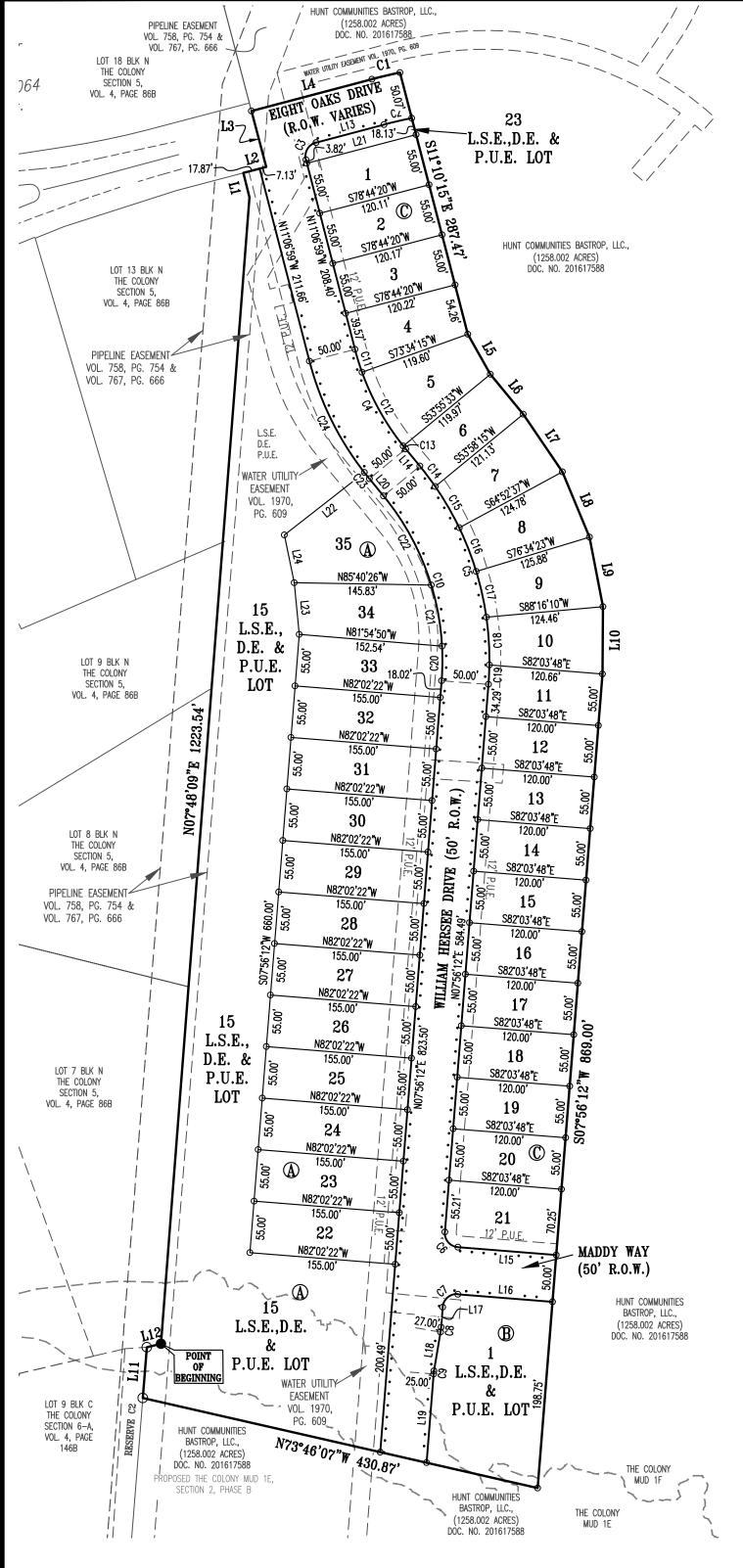
The Development Review Committee reviewed the Preliminary Plat for The Colony MUD 1F, Section 1 for compliance with subdivision, utility standards, and Consent Agreement on March 18, 2021 and deemed the plat administratively complete. The Planning Director recommends approval.

RECOMMENDATION:

Consider action to approve The Colony MUD 1F, Section 1 Preliminary Plat, being 11.948 acres out of the Jose Manuel Bangs Survey, Abstract No. 5, located west of FM 969, within the Voluntary Extra-Territorial Jurisdiction of Bastrop, Texas, as shown in Exhibit A.

ATTACHMENTS:

- Exhibit A: The Colony MUD 1F, Section 1 Preliminary Plat
- Attachment 1: Location Map
- Attachment 2: The Colony MUD Land Use Plan and Section 1F Layout



TOTAL ACREAGE: 11.948 ACRES SURVEY: JOSE MANUEL BANGS SURVEY, A-5

F.E.M.A. MAP NO. 48021C0195E BASTROP COUNTY, TEXAS AND INCORPORATED AREAS. DATED: JANUARY 19, 2006

TOTAL OF LOTS: NO. OF SINGLE FAMILY LOTS:

NO. L.S.E., D.E. & P.U.E. LOT:

50' R.O.W. 1.460 L.F SURVEYORS NOTE: WILLIAM HERSEE DRIVE 50' R.O.W. 163 L.F. 1) A TWELVE (12) FOOT WIDE PUBLIC EIGHT OAKS DRIVE 50' R.O.W. 143 L.F. UTILITY EASEMENT IS HEREBY DEDICATED ADJACENT TO ALL STREET RIGHT-OF-WAYS ON ALL LOTS IN THIS SUBDIVISION

DATE: MARCH 05, 2021 HUNT COMMUNITIES BASTROP, LLC. A DELAWARE LIMITED LIABILITY COMPANY 4401 N. MESA STREET, EL PASO, TEXAS 79902 PHONE: (915) 533-1122

FAX: (915) 545–2631

ENGINEER & SURVEYOR: CARLSON, BRIGANCE & DOERING, INC. 5501 WEST WILLIAM CANNON DRIVE AUSTIN, TEXAS 78749 (512) 280-5160 phone (512) 280-5165 fax



THE COLONY MUD 1F, SECTION 1

GENERAL NOTES:

NO PORTION OF THIS TRACT LIES WITHIN A DESIGNATED FLOOD HAZARD AREA, THIS TRACT LIES IN ZONE X, AS SHOWN ON THE FEDERAL FLOOD INSURANCE ADMINISTRATION RATE MAP NO. 48021 C 0335E AND MAP NO. 48021 C 0195E, FOR BASTROP COUNTY TEXAS, DATED JANUARY 19, 2006. COMMUNITY NUMBER 481193

1. BENCHMARK INFORMATION:

BM #1: 5/8" IRON ROD FOUND FOR THE NORTHWESTERN CORNER OF LOT 7, BLOCK C, AND THE NORTHEASTERN CORNER OF LOT 6, BLOCK C, THE COLONY MUD 1E SECTION 1, A SUBDIVISION RECORDED IN BOOK 4, PAGE 197-B, 198-A & B, PLAT RECORDS OF BASTROP COUNTY, TEXAS, ALSO BEING IN THE SOUTHERN LINE OF THAT CERTAIN REMAINDER OF 200.00 ACRES RECORDED IN VOL. 1258, PAGE 153, OFFICIAL PUBLIC RECORDS OF

BASTROP COUNTY, TEXAS. ELEVATION: 485.02

SCALE 1" = 100'

LEGEND

■ 1/2" IRON ROD FOUND (UNLESS OTHERWISE NOTED)

L.S.E. LANDSCAPE EASEMENT

D.E. DRAINAGE EASEMENT

(A) BLOCK DESIGNATOR

R.O.W. RIGHT-OF-WAY

16 LOT NUMBER

P.U.E. PUBLIC UTILITY EASEMENT

PPROXIMATE SIDEWALK LOCATION

—— 100 YEAR FULLY DEVELOPED FLOOD PLAIN

O 1/2" CAPPED IRON ROD SET (UNLESS OTHERWISE NOTED)

Line Table

L1 | 26.85 | N10°33'02"W

L2 | 25.06 | N78°34'58"|

L3 | 61.38 | N11°22'18"W

L4 | 132.54 | N78°34'58"E

L5 | 48.98 | S25°54'00"|

L6 | 55.00 | S36°04'27"E

L7 74.08 S30°47'27"E

L8 75.35 S19'12'40"E

L9 | 75.34 | S07°31'25"|

L10 71.60 S03°46'19"W

L11 | 54.19 | N07°58'37"|

| L12 | 15.36 | N79°20'52"F

L13 74.74 N78°35'10"

L14 | 23.70 | N36°04'27"W

L15 | 105.01 | N82°02'22"W L16 | 100.99 | N82°02'22"W

L17 | 21.33 | N07°56'12"E

15.31 3'13'05"

15.21 | 3°31'09"

14.92 89°42'09"

60.86 24*57'29"

14.99 | 89°58'33"

15.01 90°01'27"

2.63 4.58'15"

1.71 **4°58**'15"

111.14 | 44°00'39"

12.76 5.18,46"

45.54 | 18°48'18"

2.02 0°50'24"

13.61 4°47'45"

25.49 8 58'04"

24.99 8'47'33"

25.00 8°47'46"

25.59 9.00,17

10.37 | 3°39'14"

18.41 7.39'32"

33.29 | 13°48'10"

54.82 | 22°32'57"

4.29 | 1°30'49"

67.44 23°26'40"

Curve Table

Curve # | Length | Radius | Chord Direction | Chord Length | Tangent | DELTA

21.16

243.55

21.21

21.22

5.25

3.43

206.08

25.49

89.85

4.03

27.20

50.82

49.82

20.72

107.53

8.58

132.06

30.61 | 545.00 | N80°11'43"E

30.40 | 495.00 | S80°20'45"W

| 23.48 | 15.00 | S33°44'06"W

| 119.79 | 275.00 | S23°35'43"E

249.64 325.00 N14°04'08"W

23.56 | 15.00 | S37°03'05"E

23.57 | 15.00 | S52*56'55"W

C8 | 5.25 | 60.50 | N10°25'19"E

C9 | 3.43 | 39.50 | S10°25'19"W

C10 | 211.24 | 275.00 | N14°04'08"W

C12 | 90.26 | 275.00 | S25*49'54"E

C13 | 4.03 | 275.00 | S35'39'15"E

C14 | 27.20 | 325.00 | N33°40'35"W |

C15 | 50.87 | 325.00 | N26°47'40"W

C16 | 49.87 | 325.00 | N17°54'52"W

C19 | 20.73 | 325.00 | N06°06'35"E

C20

49.89 325.00 N09°07'13"W

51.08 | 325.00 | N00°13'11"W

36.76 | 275.00 | N04°06'26"E

66.25 | 275.00 | N06°37'25"W

108.23 | 275.00 | N24°47'59"W

8.59 325.00 S35*19'03"E

132.98 | 325.00 | S22°50'19"E

| 25.50 | 275.00 | S13°46'22"E

Line # | Length | Direction

2. THIS SUBDIVISION CONTAINS 11.948 ACRES IN 35 SINGLE FAMILY RESIDENTIAL LOTS, 3 LANDSCAPE, PUBLIC UTILITY, AND DRAINAGE EASEMENT LOTS AND ROADWAYS

INTERNAL TRAIL PLANS PROPOSED PER MASTER PLAN IN LIEU OF SIDEWALKS. 4. NO OBSTRUCTIONS SHALL BE PLACED UPON OR ACROSS ANY DRAINAGE EASEMENTS HEREBY DEDICATED WITH THIS PLAT.

5. ALL UTILITIES WILL BE PLACED UNDERGROUND.

. THIS PLAT CONFORMS TO THE PRELIMINARY PLAT APPROVED BY THE CITY COUNCIL ON $_$ CONSTRUCTION PLANS AND SPECIFICATIONS FOR ALL SUBDIVISION IMPROVEMENTS SHALL BE REVIEWED AND ACCEPTED BY THE CITY OF BASTROP PRIOR TO ANY CONSTRUCTION WITHIN THE SUBDIVISION. FROSION AND SEDIMENTATION CONTROLS CONSTRUCTED IN ACCORDANCE WITH THE SUBDIVISION ORDINANCE OF THE CITY OF BASTROP ARE REQUIRED FOR ALL CONSTRUCTION ON EACH LOT, INCLUDING SINGLE FAMILY AND DUPLEX CONSTRUCTION.

9. ALL SIGNS SHALL COMPLY WITH THE BASTROP SIGN ORDINANCE. 10. FISCAL SURETY FOR SUBDIVISION CONSTRUCTION. IN A FORM ACCEPTABLE TO THE CITY OF BASTROP. SHALL BE PROVIDED PRIOR TO PLAT APPROVAL BY THE CITY.

11. THE OWNER OF THIS SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES SOLE RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF BASTROP. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR RE-PLATTING MAY BE REQUIRED, AT THE OWNER'S SOLE EXPENSE, IF PLANS TO CONSTRUCT THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.

LOTS IN THIS SUBDIVISION IS THE SOLE RESPONSIBILITY OF THE DEVELOPER AND/OR THE OWNERS OF THE LOTS. FAILURE TO CONSTRUCT ANY REQUIRED INFRASTRUCTURE TO CITY STANDARDS MAY BE JUST CAUSE FOR THE CITY TO DENY APPLICATIONS FOR CERTAIN DEVELOPMENT PERMITS INCLUDING BUILDING PERMITS, SITE PLAN APPROVALS AND/OR CERTIFICATES OF OCCUPANCY.

12. BY APPROVING THIS PLAT, THE COUNTY OF BASTROP ASSUMES NO OBLIGATION TO CONSTRUCT ANY INFRASTRUCTURE IN CONNECTION WITH THIS SUBDIVISION. ANY SUBDIVISION INFRASTRUCTURE REQUIRED FOR THE DEVELOPMENT OF THE

13. NO LOT OR STRUCTURE SHALL BE OCCUPIED PRIOR TO THE APPLICANT SUBMITTING TO THE CITY OF BASTROP DOCUMENTATION OF SUBDIVISION/SITE REGISTRATION WITH THE TEXAS DEPARTMENT OF LICENSING AND REGULATIONS (TDLR) AND PROVIDE DOCUMENTATION OF REVIEW AND COMPLIANCE OF THE SUBDIVISION CONSTRUCTION PLANS WITH TEXAS ARCHITECTURAL BARRIERS ACT (TABA)

14. WATER SERVICE IS PROVIDED BY THE COLONY MUD 1D. 15. WASTEWATER SERVICE IS PROVIDED BY THE COLONY MUD 1D.

16. ELECTRIC SERVICE IS PROVIDED BY BLUEBONNET ELECTRIC.

17. GAS SERVICE IS PROVIDED BY CENTERPOINT ENERGY.

18. CABLE SERVICE IS PROVIDED BY TIME WARNER CABLE. 19. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO THE APPROVED WATER DISTRIBUTION AND WASTEWATER COLLECTION FACILITIES.

20. WASTEWATER AND WATER SYSTEMS SHALL CONFORM TO TCEQ (TEXAS COMMISSION ON ENVIRONMENTAL QUALITY). 21. DEVELOPER/OWNER SHALL BE SOLELY RESPONSIBLE FOR ALL RELOCATION AND MODIFICATIONS TO EXISTING UTILITIES.

22. ALL EASEMENTS OF RECORD AS INDICATED ON THE MOST RECENT TITLE RUN (DATED: ______, CONDUCTED BY __

23. PROPERTY OWNER SHALL PROVIDE FOR ACCESS FOR ALL EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS BY GOVERNMENTAL AUTHORITIES.

24. ALL CORNER LOTS WITHIN EACH SECTION OF THIS DEVELOPMENT MAY ACCESS ONLY ONE STREET AND MUST TAKE THEIR ACCESS FROM THE MINOR OF THE TWO STREETS.

26. RESERVE TRACTS (WALKING TRAILS WILL BE MAINTAINED BY THE M.U.D.

27. THE MAXIMUM WIDTH OF DRIVEWAYS SHALL BE 24 FEET AS MEASURED AT THE PROPERTY LINE.

25. FOR STREETS THAT END IN A CUL-DE-SAC, THE MINIMUM RADIUS FOR THE CUL-DE-SAC IS 60'.

28. LOTS IN THIS PLAT ARE WITHIN THE COLONY MUNICIPAL UTILITY DISTRICT (M.U.D.). THE LOTS AND ALL OTHER PROPERTY WITHIN THE M.U.D. ARE SUBJECT TO M.U.D. ASSESSMENTS. THESE ASSESSMENTS ARE TYPICALLY PAID ANNUALLY

WITH M PROPERTY OWNERS PROPERTY TAXES. THE M.U.D. IS RESPONSIBLE FOR MAINTENANCE OF COLLECTOR STREET RIGHT-OF-WAY LANDSCAPING. 29. A 911 ADDRESS MUST BE OBTAINED FROM THE BASTROP COUNTY 911 ADDRESSING DEPARTMENT, AT BASTROP COUNTY DEVELOPMENT SERVICES, PRIOR TO ANY PERMIT APPLICATIONS.

30. IT IS UNDERSTOOD THAT AN APPROVAL OF THIS PLAT BY THE CITY COUNCIL OF THE CITY OF BASTROP, TEXAS, THAT THE BUILDING OF ALL STREETS, ROADS AND OTHER THOROUGHFARES DELINEATED AND SHOWN ON THIS PLAT, AND ALL BRIDGES AND CULVERTS NECESSARY TO BE CONSTRUCTED OR PLACED IN SUCH STREETS, ROADS OR OTHER THOROUGHFARES, OR IN CONNECTION THEREWITH, SHALL REMAIN THE RESPONSIBILITY OF THE OWNER AND/OR DEVELOPER OF THE TRACT OF LAND COVERED BY THIS PLAT, IN ACCORDANCE WITH PLANS AND SPECIFICATIONS PRESCRIBED BY THE CITY OF BASTROP, TEXAS. THE CITY ASSUMES NO OBLIGATION TO BUILD THE STREETS, ROADS OR OTHER THOROUGHFARES SHOWN ON THIS PLAT OR OF CONSTRUCTING ANY BRIDGES CULVERTS IN CONNECTION HEREWITH.

31. IT IS THE DEVELOPERS RESPONSIBILITY TO INSTALL STREET NAME SIGNS, AS THIS IS CONSIDERED TO BE A PART OF THE DEVELOPER'S CONSTRUCTION: ERECTING SIGNS FOR TRAFFIC CONTROL, SUCH AS SPEED LIMITS AND STOP AND YIELD SIGNS. SHALL BE THE RESPONSIBILITY OF THE DEVELOPER. 32. NO PRIVATE INDIVIDUAL SEWAGE DISPOSAL SYSTEM (SEPTIC TANK) WILL BE ALLOWED IN THIS SUBDIVISION. WASTEWATER FROM EACH LOT WILL BE SERVICED BY A SEWAGE COLLECTION LINE. THIS WASTE WILL BE COLLECTED AND

DISCHARGED INTO A WASTEWATER TREATMENT PLANT PERMITTED BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY BY PERMIT NO. 14427-001, DATED FEBRUARY 24, 2004, TO THE PERMITTEE, LOWER COLORADO RIVER AUTHORITY, 3700 LAKE AUSTIN BLVD., TEXAS, 78703

33. OPERATION, MAINTENANCE AND CERTIFICATION TO COMPLIANCE WITH THIS PERMIT WILL BE THE RESPONSIBILITY OF THE PERMITTEE. OPERATION AND MAINTENANCE OF EACH UTILITY FROM THE PROPERTY LINE TO THE BUILDING WILL BE THE RESPONSIBILITY OF THE LOT OWNER. OPERATION AND MAINTENANCE OF THE UTILITIES IN THE ROW WILL BE THE RESPONSIBILITY OF THE M.U.D.

34. THE BASTROP COUNTY HEALTH AND SANITATION DEPARTMENT WILL HAVE NO RESPONSIBILITY WITH REGARD TO THE WASTEWATER SYSTEM WITHIN THIS SUBDIVISION. 35. ALL DRAINAGE EASEMENTS SHALL BE FREE OF CONSTRUCTION OR ANY TYPE OF OBSTRUCTION AND SHALL BE MAINTAINED BY THE M.U.D.

36. THIS SUBDIVISION LIES WHOLLY WITHIN "AREA A" OF THE CITY OF BASTROP E.T.J. AS DEFINED IN THE INTERLOCAL AGREEMENT BETWEEN THE CITY OF BASTROP AND BASTROP COUNTY, AS RECORDED IN 1603/527, BASTROP COUNTY DEED 37. WITHIN THE COLONY 1D SEC 1 PHASE B, THE SIZE, LOCATION, AND MATERIAL FOR ALL WATER LINES, HYDRANTS, VALVES, ETC. MUST BE IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE CITY OF BASTROP REGARDING

38. RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD ID SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL. WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY AND COUNTY ENGINEERS.

39. A TEN FOOT (10') PUBLIC UTILITY EASEMENT IS HEREBY DEDICATED ALONG AND ADJACENT TO ALL RIGHTS-OF-WAY HEREIN.

40. ON-SITE STORM WATER DETENTION FACILITIES WILL BE PROVIDED TO REDUCE POST-DEVELOPMENT PEAK RATES OF DISCHARGE OF THE 5,10,25,50 AND 100-YEAR STORM EVENTS. 41. TEMPORARY AND PERMANENT EASEMENTS TO BE PROVIDED, AS REQUIRED AT THE CITY'S SOLE DISCRETION FOR OFF-SITE WATER, WASTEWATER AND DRAINAGE IMPROVEMENTS.

42. NO BUILDINGS, FENCES, LANDSCAPING OR OTHER STRUCTURES ARE PERMITTED WITHIN DRAINAGE EASEMENTS SHOWN, EXCEPT AS APPROVED BY GOVERNMENTAL AUTHORITIES. 43. THE ELECTRIC UTILITY HAS THE RIGHT TO PRUNE AND/OR REMOVE TREES, SHRUBBERY VEGETATION AND OTHER OBSTRUCTIONS TO THE EXTENT NECESSARY TO KEEP THE EASEMENTS CLEAR.

44. A BASTROP COUNTY DEVELOPMENT PERMIT IS REQUIRED PRIOR TO ANY SITE DEVELOPMENT. 45. ALL FEES MUST BE PAID BEFORE MATERIALS ARE ORDERED OR CONSTRUCTION OF ELECTRIC FACILITIES WILL BE SCHEDULED.

46. THIS TRACT IS SUBJECT TO THE "CONSENT AGREEMENT FOR THE COLONY MUNICIPAL UTILITY DISTRICT NO. 1 AND SUCCESSOR DISTRICTS TO BE CREATED BY DIVISION OF THE COLONY MUNICIPAL UTILITY DISTRICT NO. 1" BETWEEN THE CITY OF BASTROP AND SABINE INVESTMENT COMPANY, DATED FEBRUARY 10, 2004.

47. LOT SETBACKS SHALL BE IN GENERAL CONFORMANCE WITH CITY OF BASTROP SF-7 ZONING CRITERIA.

BEING ALL OF THAT CERTAIN 11.948 ACRE TRACT OF LAND OUT OF THE JOSE MANUEL BANGS SURVEY, ABSTRACT NUMBER 5, SITUATED IN BASTROP COUNTY, TEXAS, BEING A PORTION OF A CALLED 1258.002 ACRE TRACT OF LAND CONVEYED TO HUNT COMMUNITIES BASTROP, LLC., RECORDED IN DOCUMENT NUMBER 201617588 OF THE OFFICIAL PUBLIC RECORDS OF BASTROP COUNTY, TEXAS (O.P.R.B.C.TX.), SAID 11.948 ACRE TRACT OF LAND BEING MORE FULLY DESCRIBED BY METES AND

BEGINNING, BEING A WESTERN CORNER OF SAID 1258.002 ACRE TRACT, AND BEING ALSO A SOUTHEASTERN CORNER OF LOT 7, BLOCK N OF THE COLONY SECTION 5, A SUBDIVISION RECORDED IN VOLUME 4, PAGE 86B OF THE PLAT RECORDS OF BASTROP COUNTY, TEXAS (P.R.B.C.TX.), FOR THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT,

THENCE, WITH THE COMMON BOUNDARY LINE OF SAID 1258.002 ACRE TRACT, AND SAID THE COLONY SECTION 5, THE FOLLOWING TWO (2) COURSES AND DISTANCES, NUMBERED 1 AND 2,

1. NO7°48'09"E, A DISTANCE OF 1223.54 FEET TO A 5/8" IRON ROD FOUND, AND

2. N10°33'02"W, A DISTANCE OF 26.85 FEET TO A 5/8" IRON ROD FOUND, BEING A WESTERN CORNER OF SAID 1258.002 ACRE TRACT, SAME BEING A NORTHEASTERN CORNER OF LOT 13, BLOCK N OF SAID THE COLONY SECTION 5, AND BEING ALSO A POINT ON A SOUTHEASTERN RIGHT-OF-WAY LINE OF EIGHT OAKS DRIVE (R.O.W. VARIES),

THENCE, WITH THE COMMON BOUNDARY LINE OF SAID 1258.002 ACRE TRACT AND SAID EIGHT OAKS DRIVE, THE FOLLOWING TWO (2) COURSES AND DISTANCES, NUMBERED 1 AND 2,

1. N78°34'58"E, A DISTANCE OF 25.06 FEET TO A 5/8" IRON ROD FOUND, AND

2. N11°22'18"W, A DISTANCE OF 61.38 FEET TO A ½" IRON ROD SET STAMPED "CBD SETSTONE", BEING A POINT ON A WESTERN BOUNDARY LINE OF SAID 1258.002 ACRE TRACT AND BEING ALSO A POINT ON AN EASTERN TERMINUS LINE OF SAID EIGHT OAKS DRIVE.

THENCE, OVER AND ACROSS SAID 1258.002 ACRE TRACT, THE FOLLOWING ELEVEN (11) COURSES AND DISTANCES, NUMBERED 1 THROUGH 11,

1. N78°34'58"E, A DISTANCE OF 132.54 FEET TO A ½" IRON ROD SET STAMPED "CBD SETSTONE", AT A POINT OF CURVATURE, FOR A CURVE TO THE RIGHT,

2. WITH SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 545.00 FEET, AN ARC LENGTH OF 30.61 FEET, AND WHOSE CHORD BEARS N80°11'43"E, A DISTANCE OF 30.61 FEET TO A ½" IRON ROD SET STAMPED "CBD SETSTONE", 3. S11*10'15"E, A DISTANCE OF 287.47 FEET TO A ½" IRON ROD SET STAMPED "CBD SETSTONE",

4. S25°54'00"E, A DISTANCE OF 48.98 FEET TO A 1/2" IRON ROD SET STAMPED "CBD SETSTONE",

5. S36°04'27"E, A DISTANCE OF 55.00 FEET TO A ½" IRON ROD SET STAMPED "CBD SETSTONE"

6. S30°47'27"E, A DISTANCE OF 74.08 FEET TO A ½" IRON ROD SET STAMPED "CBD SETSTONE" 7. S19°12'40"E, A DISTANCE OF 75.35 FEET TO A ½" IRON ROD SET STAMPED "CBD SETSTONE"

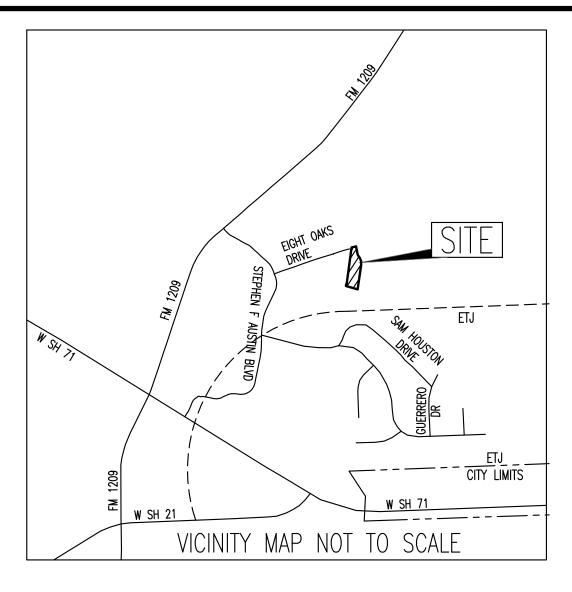
8. S07°31'25"E, A DISTANCE OF 75.34 FEET TO A ½" IRON ROD SET STAMPED "CBD SETSTONE"

9. SO3°46'19"W, A DISTANCE OF 71.60 FEET TO A ½" IRON ROD SET STAMPED "CBD SETSTONE" 10.S07'56'12"W, A DISTANCE OF 869.00 FEET TO A ½" IRON ROD SET STAMPED "CBD SETSTONE, AND

11.N73°46'07"W, A DISTANCE OF 430.87 FEET TO A ½" IRON ROD SET STAMPED "CBD SETSTONE, BEING A POINT ON A WESTERN BOUNDARY LINE OF SAID 1258.002 ACRE TRACT AND BEING ALSO A POINT ON AN EASTERN LINE OF RESERVE C2, BLOCK C OF THE COLONY SECTION 6-A, A SUBDIVISION RECORDED IN VOLUME 4, PAGE 146B (P.R.B.C.TX.),

THENCE, WITH THE COMMON BOUNDARY LINE OF SAID 1258.002 ACRE TRACT AND SAID RESERVE C2, NO7'58'37"E, A DISTANCE OF 54.19 FEET TO A ½" IRON ROD SET STAMPED "CBD SETSTONE, BEING A WESTERN CORNER OF SAID 1258.002 ACRE TRACT, SAME BEING A NORTHEASTERN CORNER OF SAID RESERVE C2, AND BEING ALSO A POINT ON A SOUTHEASTERN BOUNDARY LINE OF SAID LOT 7, BLOCK N,

THENCE, WITH THE COMMON BOUNDARY LINE OF SAID 1258.002 ACRE TRACT AND SAID LOT 7, N79°20'52"E, A DISTANCE OF 15.36 FEET TO THE POINT OF BEGINNING AND CONTAINING 11.948 ACRES OF LAND.



STATE OF TEXAS COUNTY OF BASTOP)(KNOW ALL MEN BY THESE PRESENTS:

THAT WE, RICK NEFF, HUNT COMMUNITIES BASTROP, LLC. A DELAWARE LIMITED LIABILITY COMPANY, BEING THE OWNERS OF 1258.002 ACRE TRACT OF LANDOUT OF THE JOSE MANUEL BANGS SURVEY, ABSTRACT NUMBER 5, SITUATED IN BASTROP COUNTY, TEXAS, AS CONVEYED TO US BY DEED RECORDED IN DOCUMENT NUMBER 201617588 OF THE OFFICIAL PUBLIC RECORDS OF SAID COUNTY DO HEREBY SUBDIVIDED 11.948 ACRES TRACT OF LANDWITH THE PLAT SHOWN HERE ON, TO BE KNOWN

"THE COLONY MUD 1F SECTION 1"

SUBJECT TO EASEMENTS AND RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED AND DO HEREBY DEDICATE ANY STREETS AND/OR EASEMENTS SHOWN HEREON TO WITNESS MY HAND THIS _____ DAY OF _____

HUNT COMMUNITIES BASTROP, LLC. A DELAWARE LIMITED LIABILITY COMPANY

4401 N. MESA STREET, EL PASO, TEXAS 79902

APPROVED THIS DAY _____ OF ____ ___, 20____ A.D. BY THE PLANNING & ZONING COMMISSION OF THE CITY OF BASTROP, TEXAS. APPROVED: ATTEST:

PLANNING & ZONING COMMISSION CHAIRPERSON CITY SECRETARY

FLOOD PLAIN NOTE:

NO PORTION OF THIS TRACT LIES WITHIN A DESIGNATED FLOOD HAZARD AREA, THIS TRACT LIES IN ZONE X, AS SHOWN ON THE FEDERAL FLOOD INSURANCE ADMINISTRATION RATE MAP NO. 48021C0195E FOR BASTROP COUNTY TEXAS, DATED JANUARY 19, 2006. COMMUNITY NUMBER 481193.

THIS FLOOD STATEMENT, AS DETERMINED BY A H.U.D.-F.I.A. FLOOD INSURANCE RATE MAP, DOES NOT IMPLY THAT THE PROPERTY OR THE IMPROVEMENTS THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR, AND FLOOD HEIGHTS MAY INCREASE BY MAN-MADE OR NATURAL CAUSES.

THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE ENGINEER OR SURVEYOR.

STATE OF TEXAS COUNTY OF TRAVIS)(KNOW ALL MEN BY THESE PRESENTS:

I, RYAN WAYNE PERRY, P.E., DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED ON THIS PLAT COMPLIES WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF BASTROP, AND THAT THE 100 YEAR FLOOD PLAIN IS AS SHOWN AND WILL BE CONTAINED WITHIN THE DRAINAGE EASEMENT AND OR DRAINAGE RIGHT-OF-WAY,

RYAN WAYNE PERRY, P.E. #130060 CARLSON, BRIGANCE & DOERING, INC. 5501 WEST WILLIAM CANNON DRIVE AUSTIN, TEXAS 78749



COUNTY OF TRAVIS KNOW ALL MEN BY THESE PRESENTS:

THAT I, AARON V. THOMASON, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE ON-THE-GROUND SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION REGULATION OF THE CITY OF BASTROP, BASTROP COUNTY, TEXAS. ALL EASEMENTS OF RECORD HAVE BEEN IDENTIFIED ON THIS PLAT TO THE BEST OF MY KNOWLEDGE.

AARON V. THOMASON ~ R.P.L.S. NO. 6214 CARLSON, BRIGANCE & DOERING, INC. 5501 WEST WILLIAM CANNON DRIVE



BENCHMARK INFORMATION:

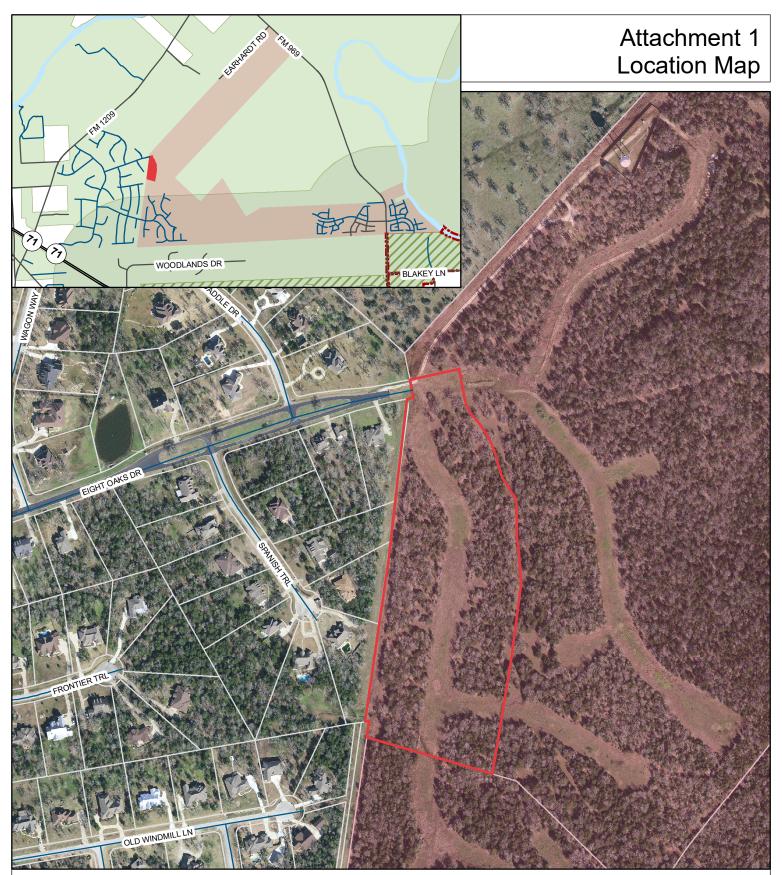
BM #1: X ON MANHOLE RIM LOCATED +/- S07°53'20"E 1,103.3' FROM THE POINT OF BEGINNING OF THE COLONY 1F, SECTION 1 ELEVATION: 530.03

BM #2: MAG NAILL W/ WASHER, LOCATED +/- S28°03'19"E 3,521.24' FROM THE POINT OF BEGINNING OF THE COLONY 1F, ELEVATION: 466.48'

AUSTIN, TEXAS 78749

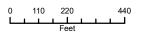
BEARING BASIS: TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE(4203)







Preliminary Plat The Colony MUD 1F Section 1

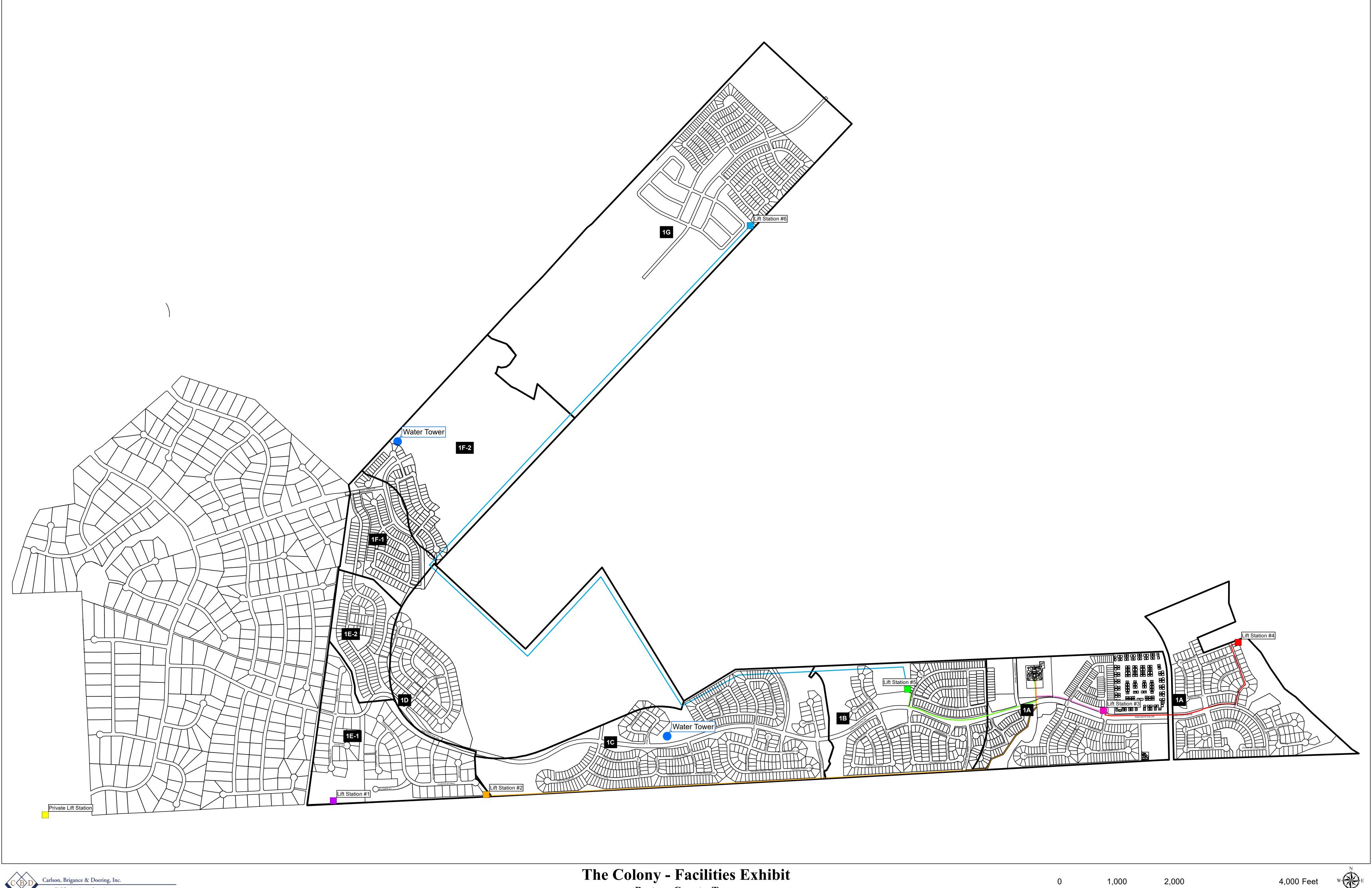


1 inch = 369 feet

Date: 4/23/2021

Date: 4/23/2UZ1

The accuracy and precision of this cartographic data is limited and should be used for information /planning purposes only. This data does not replace surveys conducted by registered Texas land surveyors nor does it constitute an "official" verification of zoning, land use classification, or other classification set forth in local, state, or federal regulatory processes. The City of Bastrop, nor any of its employees, do not make any warranty of merchantability and fitness for particular purpose, or assumes any legal liability or responsibility for the accuracy, completeness or usefullness of any such information, nor does it represent that its use would not infringe upon privately owned rights.







STAFF REPORT

MEETING DATE: April 29, 2021 AGENDA ITEM: 3D

TITLE:

Consider action on the appeal of the administrative denial of the Majestic Pines Neighborhood Regulating Plan and Warrant for Block Size, located on Pine Forest Unit 6, Phase II, Lot Reserve A – Fraction (15.409 acres), within the City of Bastrop Texas as attached in the Neighborhood Regulating Plan with Exhibits A & B.

STAFF REPRESENTATIVE:

Jennifer C. Bills, AICP, LEED AP, Assistant Planning Director

ITEM DETAILS:

Site Address: 3000 Block of East Bound State Highway 71 (Attachment 1)

Total Acreage: 15.409 acres

Legal Description: Pine Forest Unit 6, Phase II, Lot Reserve A - Fraction

Property Owner: Leslie Appelt

Agent Contact: Elena Sanders, Kittle Properties Group, Inc.

Existing Use: Vacant/Undeveloped

Existing Zoning: P-5, Core Character District: Lost Pines

Future Land Use: Professional Services

BACKGROUND/HISTORY:

The applicant has submitted an application for a Neighborhood Regulating Plan (Exhibit A & B) and two Warrant Requests a 15.409 acres site that is undeveloped to the west of the St. David's Hospital and the Lakeside Professional Building. The area is heavily wooded, with an existing pond and two creeks. The property has considerable topographic features with grade changes of over 40 feet.

If a property is seeking a rezoning, the applicant must apply for a Zoning Concept Scheme, which includes Place Type Zoning allocations, Development Pattern type, block layout, and street types to be determined. For unplatted land greater than 3.4 acres and not seeking a Place Type change, the applicant must establish a Neighborhood Regulating Plan (NRP) that includes the same elements but does not change the underlying zoning. The total site of the development is 15.409 acres, so the applicant has applied for a NRP with a base zoning Place Type 5. Neighborhood Regulating Plans that meet all the requirements of the B³ Code are approved administratively by the Director of Planning. Some minor deviations can be approved administratively but required elements cannot be waived.

When the Director of Planning & Development cannot approve the Plan because of significant deviations or departures from the regulations, the applicant can appeal to the Planning & Zoning Commission for approval.

This NRP is showing a block size that not only exceeds the 330-foot block face requirements, but also exceeds the 720-foot farm lot of the Transportation Master Plan. Any development is

required to build the internal block structure, but also the half of any existing right-of-way that borders the property. The applicant has proposed that in lieu of building additional roads through their site, that in addition to the portion of Majestic Pines and Mauna Loa Lane required, they would build all the remainder of Majestic Pines and all Mauna Loa Lane from the west edge of their property to where it currently ends at Briar Forest Drive.

REASONS FOR DENIAL:

This property lies within the Lost Pines Character District, which allows for Village Center Development or Clustered Land Development. Village Center Development (Section 5.2.005) is defined as a series of small, walkable streets lined with buildings at the street edge creating a unique village style community. Primarily vehicular traffic is relegated to streets outside of this area. The minimum size for a VCD is 13.6 acres, which this site could be on its own at 15.4 acres. The proposed development does not match this development pattern. The development has not demonstrated the following:

- · There is not an identified center within the development.
- The site is centered around vehicular traffic and parking areas, which is contrary to VCD.
- No plazas or dedicated civic spaces are shown. The total P1 and CS requirement is 40% of the total area. This site will need to dedicate civic space towards that amount.
- Buildings are not occupying 80-100% of the *primary frontage*, as required in P5 Core. Applicant clarified that State Highway 71 is the primary frontage, but the building does not appear to occupy a minimum of 80% at the build-to-line.

Street Type Park Drive (Section 7.3.010) is not allowed in P5 – Place Type zoning. Additionally, the property to the east is not a park. It is also designated as P5. The applicant has provided an updated exhibit that shows this street to be Street Type Connector (Section 7.3.004) but the visual cross-sections is that of the Local Commercial (Section 7.3.007) (Attachment 2).

<u>Fiscal Sustainability</u> – new development and redevelopment must be done with a focus on the intersection of the Public and Private Realms. This is the area where city and utility infrastructure are maintained in an efficient manner and the development creates a complete neighborhood.

This project proposes limit the interaction between the Public and Private Realms and create a large block that limits pedestrian and multimodal access through the area.

<u>Geographically Sensitive Developments -</u> development will retain its natural form and visual character derived from the topography.

- This site includes a number of driveways and parking lots which will require grading and filling in of at least half the natural terrain. This is not geographically sensitive to the area. If the site is to be altered in order to put in private drive aisle and parking lots, the smaller block structure could be provided for with internal streets.
- The development should be constructed in a way to enhance and preserve the natural terrain and vegetation. The development proposes to grade the site and remove trees. This site is densely wooded, with considerable topography and natural waterways. There is a significant number of Protected and Heritage Trees, which the NRP proposes to clear 43% of the site trees.
- This building type does not seem appropriate given the site conditions. If apartments
 are desired, the code allows two additional stories that are not being utilized to meet
 the site constraints.

Perpetuation of Authentic Bastrop

The B³ Code intent is to perpetuate the built form that has been predominate over the City's 189year history. The recent trend of allowing parking and automobile traffic as the predominate feature has created a pattern that is contrary to the historical building patterns of the City and creates sites/buildings that are not adaptable and sustainable in the long-term.

- · While other sites in the area perpetuate this pattern, this site is a transitional commercial area between the highway and the adjacent neighborhood to the south and should create connectivity for automobile traffic from the highway into the neighborhood and public sidewalks/trails for pedestrians within the neighborhood.
- A Warrant for the street type for Mauna Loa Lane was approved by the Development Review Committee on April 15, 2021 to allow a Rural Street Type (Section 7.3.013).
- · A Warrant for the block size was denied on April 15, 2021.

POLICY EXPLANATION:

Compliance with the Bastrop Building Block (B3) Code:

SEC 3,2,002 NEIGHBORHOOD REGULATING PLAN

(a) All areas within the City of Bastrop more than 3.4 acres that do not require Place Type Zoning changes will require a Neighborhood Regulating Plan. Place Types shall be assigned through the creation of a Neighborhood Regulating Plan.

This area is 15.409 acres, exceeding 3.4 acres.

(b) The process for creating a Neighborhood Regulating Plan is described in the B³ Technical Manual Article 2.3 - Neighborhood Regulating Plan.

The applicant submitted all items required for review of the NRP on March 29, 2021 and the two Warrant requests on April 6, 2021.

(c) Neighborhood Regulating Plans must provide the Street Types, location and sizes of proposed Streets consistent with the Mandatory Street Network, and the Block requirements of this Code. It must contain Place Type allocation as defined in Section 3.2.001.b and be reflective of Section 4.2.001 Character District Descriptions & additional Standards.

The submitted NRP does not meet the block and street grid requirement (330-foot by 330-foot blocks or 720 by 720 street grid). The applicant submitted a Warrant Request for the Block Size which was reviewed and denied by the Development Review Committee on April 15, 2021 (Attachment 8).

(d) A Neighborhood Regulating Plan must adhere to the Pedestrian Shed Map, Sec. 3.3.001, and must be reviewed and comply with the percentages of 3.2.002(b).

The applicant submitted a Pedestrian Shed exhibit as required for the Village Center Development Pattern in Section 5.2.006 VCD Standards.

ARTICLE 3.3 PEDESTRIAN SHED

- (a) In TND developments, every 1/4 mile radius or "Pedestrian Shed," i.e. approx. 80 acres or 6 Farm Lots, is to contain a mix/allocation of Place Types that reflect the Character District. Measuring Development by the Pedestrian Shed will ensure walkable neighborhoods are created.
- (b) The Pedestrian Shed is the area encompassed by the walking distance from a town or neighborhood center. They are often defined as the area covered by a 5-minute walk (about 0.25 miles or 1,320 feet) from the center.

(c) Pedestrian Sheds in VCD or CLD Development Patterns vary in size and are prescribed in Article 5.2 Development Patterns Standards.

The applicant provided a Pedestrian Shed showing an 80 acre linear shed required in Article 5.2. For the VCD Development Pattern, there is no discernable "center" within the development. The site is centered around vehicular traffic and parking areas, which is contrary to VCD. No plazas or dedicated civic spaces are shown. The total P1 and CS requirement is 40% of the total area. This site will need to dedicate civic space towards that amount.

SEC. 4.2.001 CHARACTER DISTRICTS DESCRIPTIONS & ADDITIONAL STANDARDS

- (8) Lost Pines District The Lost Pines has special geographic features, such as the stand of Loblolly Pines that is more than 100 miles from similar forests. Additionally, the towering trees and sandy soil in this district provides an optimal environment for the Houston Toad. The rolling hills provide breathtaking vistas and deep valleys that provide an opportunity for clustered developments that will preserve the natural environment while allowing urban neighborhoods to interact with nature.
 - A. Development must comply with the Standards and processes within the Lost

The Cluster Land Development Pattern or Village Center Development Pattern are allowed within this Character District. Given the Houston Toad Habitat, Army Corp waterways and extensive grading required for this site and the lack of a "Center" for this development to serve, the Cluster Land Development Pattern would be a more appropriate development pattern.

SEC. 4.2.003 NEIGHBORHOOD REGULATING PLAN BY CHARACTER DISTRICT

(a) Multiple Place Type change requests submitted at one time within each Character District shall be reviewed collectively.

This is the only request has been submitted for the Lost Pines District.

(b) Multiple Neighborhood Regulating Plans submitted at one time shall be reviewed collectively to evaluate phasing, infrastructure demands, public safety and Drainage impacts.

Compliance with 2036 Comprehensive Plan:

Future Land Use Plan – Professional Service Commercial: The Professional Services character area is for the development of offices and clinics of varying size and intensity. In older areas of Bastrop – including center city – Professional Services land uses may be small-scale or even located in buildings converted for business use. In newer areas, or in conjunction with the General Commercial character area, Professional Services land uses may be larger in scale and auto-oriented in character. Land uses in the professional services character area are often related to and support the public and quasi-public land uses supported by the Public & Institutional character area.

The NRP does not complies with the Future Land Use Plan, as the block and street structure does not provide for a development pattern that can adapt with changing uses in the long-term.

RECOMMENDATION:

Consider action to deny the appeal of the administrative denial of the Majestic Pines Neighborhood Regulating Plan and Warrant for Block Size, located on Pine Forest Unit 6, Phase II, Lot Reserve A – Fraction (15.409 acres), within the City of Bastrop Texas as attached in the Neighborhood Regulating Plan with Exhibits A & B.

ATTACHMENTS:

- Exhibit A: Majestic Pines Apartments Neighborhood Regulating Plan
- Exhibit B: Majestic Pines Apartments NRP Exhibits
- Attachment 1: Location Map
- · Attachment 2: Updated Majestic Pines Street Design
- · Attachment 3: TxDOT Spacing Requirement
- Attachment 4: Approved Warrant for Rural Street Type Mauna Loa Lane, April 15, 2021
- Attachment 5: Denied Warrant for Block Size, April 15, 2021 with Applicant Request



Neighborhood Regulating Plan Checklist

Majestic Pines Apartments, Bastrop, TX

1. Please see attached Legal Description

Geographic Location Map

The development site consists of \sim 15.4 acres located to the South of Highway 95 near Majestic Pine Drive, as shown in the aerials and map below.

Property ID: 72568; GEO ID: R72568







2. Block and Place Type designation

The development is within the Lost Pines Character district and has been designed with the Village Center Development pattern in mind. The development predominately consists of P5 Place Type with buildings serving residential uses in an L shape. The L shape, P5 – Core, surrounds the P1-Nature area which accommodates the geographically sensitive areas in and around the development, including the preservation of protected pines within the Lost Pines Habitat Conservation Plan. For exact block measurements please see page 6 of the Exhibit and for an exact breakdown of the place type designations and locations throughout the development please see pages 2,5, and 6 of the Exhibit.

3. Demonstrate the structure of the proposed neighborhood based on the standards associated with the property:

- As the proposed neighborhood is over 3.4 acres there will be a variety of place types incorporated into the plan, those types include P1 and P5. However due to the nature of the P1 area the entire neighborhood regulating plan area faces many challenges. They are ecological and topographical in nature. The site is in the Lost Pines Habitat Conservation Plan, the USFWS defined habitat area for two endangered species, as well as being impacted by multiple USACE protected waterways. In order to keep the pond intact, as it could serve as a natural habitat for Bastrop's resident Houston Toad population, it would be impossible to create a block from North to South or East to West which meets the P5 maximum block size. The pond itself is more than 525 ft. long (North to South) and sits on the proposed development's eastern boundary. While the site plan does currently impact some of the trees on site, we have been able to rework the site in a way that saves 57% of the trees, many of which are the larger heritage of trees. Because of the importance of the Pines to Bastrop and the ecosystem we will be purchasing tree/habitat credits from the Griffith League Ranch to mitigate the removal of the impacted trees in addition to satisfying our proposed USFWS Conservation plan. See pages 3, 13, and 14 of the Exhibit for Tree Survey and proposed Tree Conservation Plan. Page 7 of the Exhibit provides the Cut and Fill Earthwork Analysis and the conceptual Site Grading. While we were not able to provide a standardized multiple block Courtyard Apartment layout, we did design a Village Cluster Development pattern around P1 Natural Open Spaces in a manner which allows for pedestrians to easily move about the development while doing everything we could to preserve and/or minimally impact the natural environment, the authentic Bastrop pines, and still creating a development that is fiscally feasible. Additionally, because we were not able to include the normal blocks within the development pattern, we are proposing to improve Mauna Loa Lane beyond the boundaries of our site further east to where the improved road currently meets Briar Forest Drive. This increases connectivity for the residents of the proposed development, as well as the visitors of the adjacent medical complex and Tahitian Village Neighborhood to the East.
- b. As mentioned previously there are many items which prohibit us from meeting the B³ standard block requirements. Additional barriers to meeting these standards include an LCRA easement which runs more than the entire length of the western boundary of the

site preventing any roadway from running completely east to west across the neighborhood, a path additionally blocked by the pond. There are two protected USFWS Intermittent Streams running from the southern boundary of the pond, and from the direction of Majestic Pines Drive, past the southern boundary of the proposed development approximately mid-way through the site (east to west). See pages 2, 3, 6 and 7 of the Exhibit. To break up the block vertically would require an impact greater than would be allowed by the US Army Corp of Engineers and greater than is financially feasible.

4. Street Network:

- a. The street network plan must show existing streets and the transition Street Types into the proposed neighborhood.
 - i. The development will have entrances from Highway 71 and Majestic Pine Drive, however, will not introduce any new public streets. See pages 2, 6 and 8 of the Exhibit.
 - ii. In line with the B³ Code, improvements will be made to both Majestic Pine Drive (to the east) and Mauna Loa Lane (to the south). Please see page 8 of the Exhibit for the location and measurement of those roadway improvements.
- b. A network of streets shall show connectivity to and through the development. As the development will be composed of private drives instead of public streets you will see that page 8 of the Exhibit shows 711.9 feet of improvements to Mauna Loa Lane beyond the portion of the road adjacent to the proposed development. This is in lieu of public roadways through the development, providing connectivity for the residents of the neighborhood and surrounding areas. For example, the extension of Mauna Loa Lane will give the residents of Tahitian Village direct access to the St. David's Emergency Center without crossing Highway 71 twice. It will also afford the first responders at Bastrop's Fire Station #2 the same access to the proposed multifamily dwellings. This is contingent on the City receiving all necessary easements and permits during the development process, as Kittle Property Group is unable to secure these items without site control of that portion of land.

5. Street Types:

- a. Each Street Type is scaled proportional to the associated Place Types and Building Types.
 - i. Please see page 8 of the Exhibit for a map of the proposed improvements to both Majestic Pines Drive and Mauna Loa Lane, including the applicable street cross sections. Both cross sections are in line with the existing roadways for both Majestic Pine Drive and Mauna Loa Lane.
- b. Blocks with Street Types with wider than 55.5 feet of right-of-way can chose to create smaller blocks or propose to adjust the grid to accommodate the selected street network of Street Types.
 - Both Majestic Pines Drive and Mauna Loa Lane have existing 60 feet rights-ofway. This will not affect block sizes. Please see pages 8, 10, 11 and 12 of the Exhibit.

- c. Blocks with Street Types wider than 55.5 feet of right-of-way must also demonstrate the fiscal sustainability of the requested Place Types and Street Types.
 - i. Both Majestic Pines Drive and Mauna Loa Lane have existing 60 feet rights-of-way. Maintaining the threshold of 55.5 feet is not a question of fiscal sustainability but instead continuity with rights-of-way already in place. Should the city decide that a smaller ROW would be sufficient we would adjust accordingly. Please see pages 8, 10, 11 and 12 of the Exhibit.
- d. Blocks adjacent to undeveloped land, areas unsuitable for development, or pre-existing incomplete Blocks may be exempt from Block Face length and Block Perimeter requirements by Warrant.
 - i. As previously noted, this neighborhood plan does not meet the block length or area requirements as set out in the B³ code for numerous reasons including preserving authentic Bastrop pines, fiscally feasible options, geological/ecological sustainability, and topographical challenges. It does, however, fit the delicate environment that it sits in and does not prohibit the connection of any future developments. To fit the B³ Code the site would need two streets running East to West and one street running North to South. Kittle Property Group is unable to add the streets East to West as there is a pond running about two thirds of the length of the site on the East, and an LCRA easement preventing development the entire length of the site on the West. Running a road to split the lot North to South as defined by the B3 would also encounter the pond, additionally it would run the length of a protected US Army Core of Engineers (USACE) waterway. See pages 2, 3, 4, 5, 6, 8 and 9 of the Exhibit.

For this reason, in addition to superseding regulations from USFWS and US Army Corp of Engineers, we will be requesting a Warrant to be exempt from the Block Face length and Block Perimeter requirements. We hope that our proposal to increase connectivity outside the development in a manner that should prove to be more fiscally responsible for the city than anything done within the site, will help our endeavor to be granted the necessary Warrant.

6. Refer to the Transportation Master Plan for street network requirements. Show how the Neighborhood Regulating Plan addresses those requirements.

Per the Transportation Master Plan map, no standardized plans for additional roadways were set out, in order to allow for flexibility given the challenges related to the geographic terrain and USACE waterways. That flexibility is a must here as these challenges weigh heavily on what is or is not possible, however we believe that our proposed extension of Majestic Pines Drive and Mauna Loa Lane as shown in page 8 of the Exhibit would reach the Transportation Master's goal of connectivity throughout Bastrop, while still being suitable for the area given the Lost Pines Habitat Conservation Plan in place, and the presence Waterways of the U.S. See pages 2, 3, 4, 5, 6, 8 and 9 of the Exhibit.



MAJESTIC PINES APARTMENTS - BASTROP, TEXAS

Neighborhood Regulating Plan Submission

DEVELOPER

HERMAN & KITTLE PROPERTIES, INC. 500 E 96th Street, Suite 300 Indianapolis, IN 46240

Contact: Elena Sanders esanders@kittleproperties.com

ARCHITECT

HERMAN & KITTLE PROPERTIES, INC. 500 E 96th Street, Suite 300 Indianapolis, IN 46240

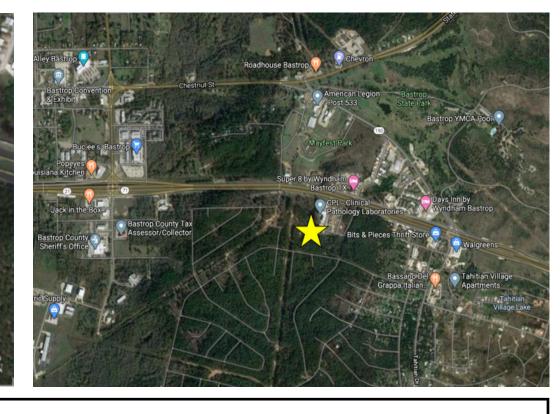
Contact: David Gibson dgibson@kittleproperties.com

CONTRACTOR

HERMAN & KITTLE PROPERTIES, INC. 500 E 96th Street, Suite 300 Indianapolis, IN 46240

Contact: Jay Kellogg jkellog@kittleproperties.com





<u>PAGE</u>	SHEET TITLE
1	COVER SHEET
2	SCALED SITE PLAN

TREE CONSERVATION PLAN

SITE DIMENSION PLAN

PEDESTRIAN SHED

BLOCK LENGTH PLAN

CONCEPTUAL GRADING PLAN

STREET DESIGNATION & BLOCK FRONTAGE PLAN

TRANSPORTATION PLAN

SURVEY

SURVEY

SURVEY

TREE SURVEY

TREE SURVEY

BUILDING TABULATION

EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS

MAINTENANCE/POOLHOUSE FLOOR PLANS

CLUBHOUSE EXTERIOR ELEVATIONS

GARAGE FLOOR PLANS AND EXTERIOR ELEVATIONS

GARAGE FLOOR PLANS AND EXTERIOR ELEVATIONS

GARAGE FLOOR PLANS AND EXTERIOR ELEVATIONS







COVER SHEET

REVIS	SIONS	5	
MARK	DATE	REVISIO	N

DO NOT SCALE PRINTS - USE

20-012

SHEET NUMBER



SITE SUMMARY:

15.36 ACRE SITE 15.63 DU's/ACRE

(4) 1BR12+2BR12+3BR12 (4) 1BR14+2BR2+3BR8

UNIT MIX:

(104) 1BR

(64) 2BR (72) 3BR

TOTAL UNITS: 240

PARKING COUNT:

300 UNASSIGNED SURFACE SPACES 8 ACCESSIBLE SURFACE SPACES 2 VAN ACCESSIBLE SURFACE SPACES 14 ASSIGNED DRIVEWAY SPACES 14 ATTACHED GARAGE SPACES 2 ACCESSIBLE ATTACHED GARAGE SPACES 30 DETACHED GARAGE SPACES

IMPERVIOUS COVER:

TOTAL PARKING: 372 SPACES

IMPERVIOUS SURFACE: 5.91 ACRES (38%)* PERMEABLE SURFACE: 9.45 ACRES (62%) **TOTAL SITE: 15.36 ACRES (100%)**

*INCLUDES POOL AREA DUE TO CONCRETE BASIN

OPEN SPACE:

8.43 ACRES (55% OF SITE)

SITE AMENITIES:

LARGE CLUBHOUSE W/ POOL

POOL HOUSE/MAINTENANCE SHOP

(5) TRASH DUMPSTER ENCLOSURES W/ MASONRY SCREENING

MAIL KIOSK

ENTERTAINMENT PAVILION

BARK PARK

MONUMENT SIGN

Indianapolis, IN 46240 (317) 846-3111 www.kittleproperties.com

> FIRM LOGO HERE

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PROJECT TITLE

BASTRO

DATE DO NOT SCALE PRINTS - USE FIGURED DIMENSIONS ONLY

20-012

SHEET TITLE

SCALED SITE PLAN

SHEET NUMBER

PAGE

ASP-1/ SCALE: 1" = 60'-0"





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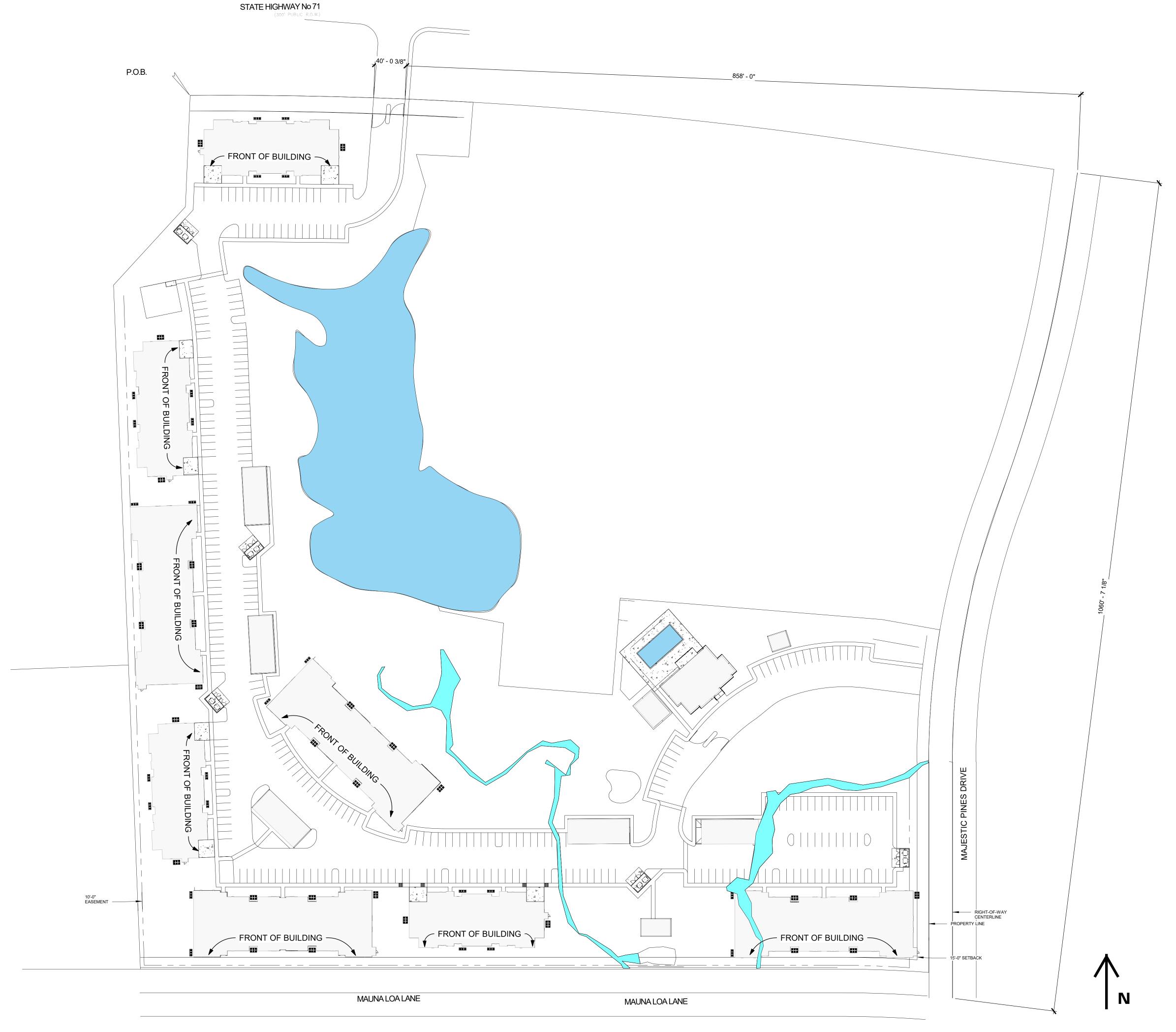
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TREE CONSERVATION PLAN

SHEET NUMBER

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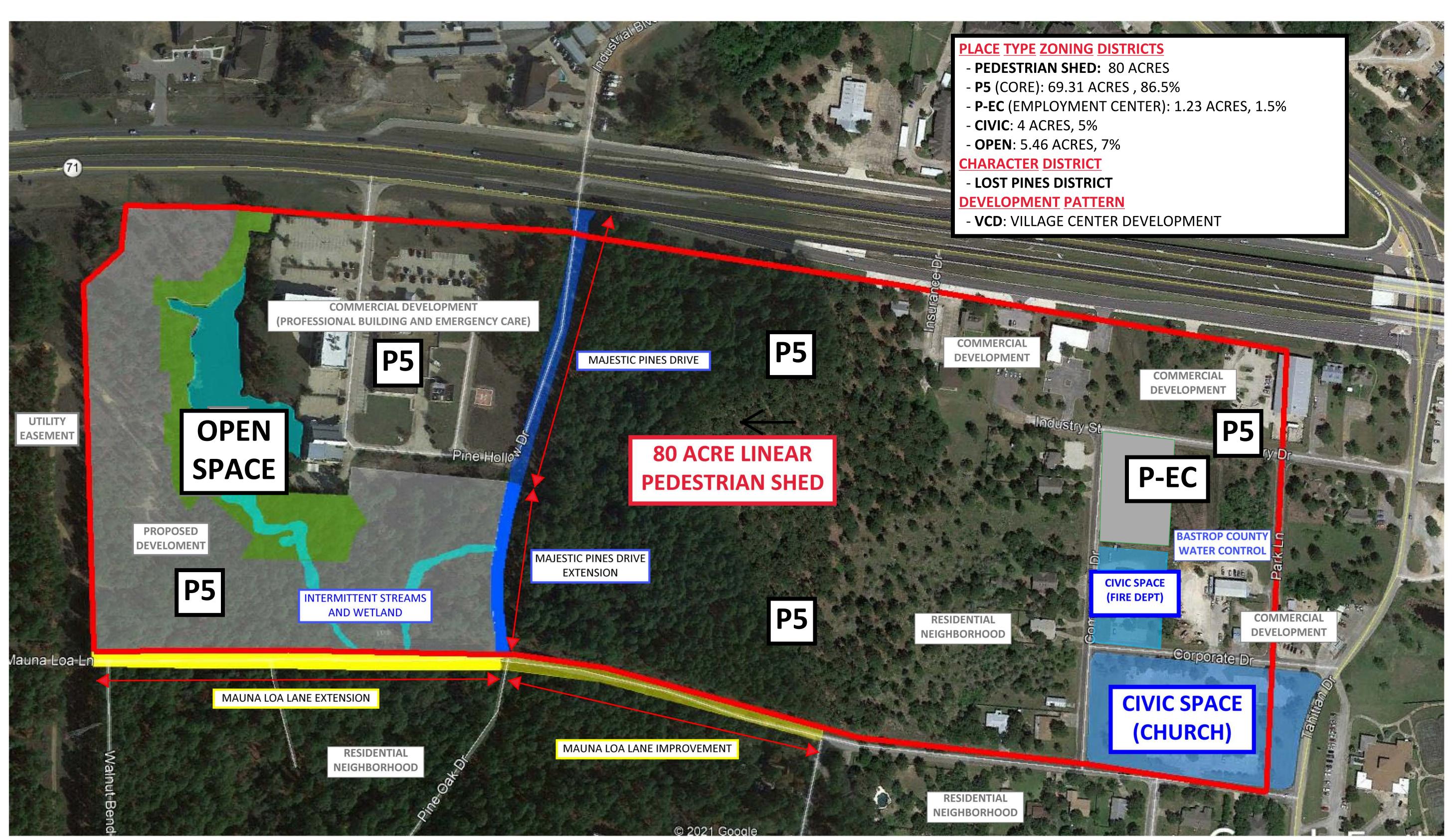
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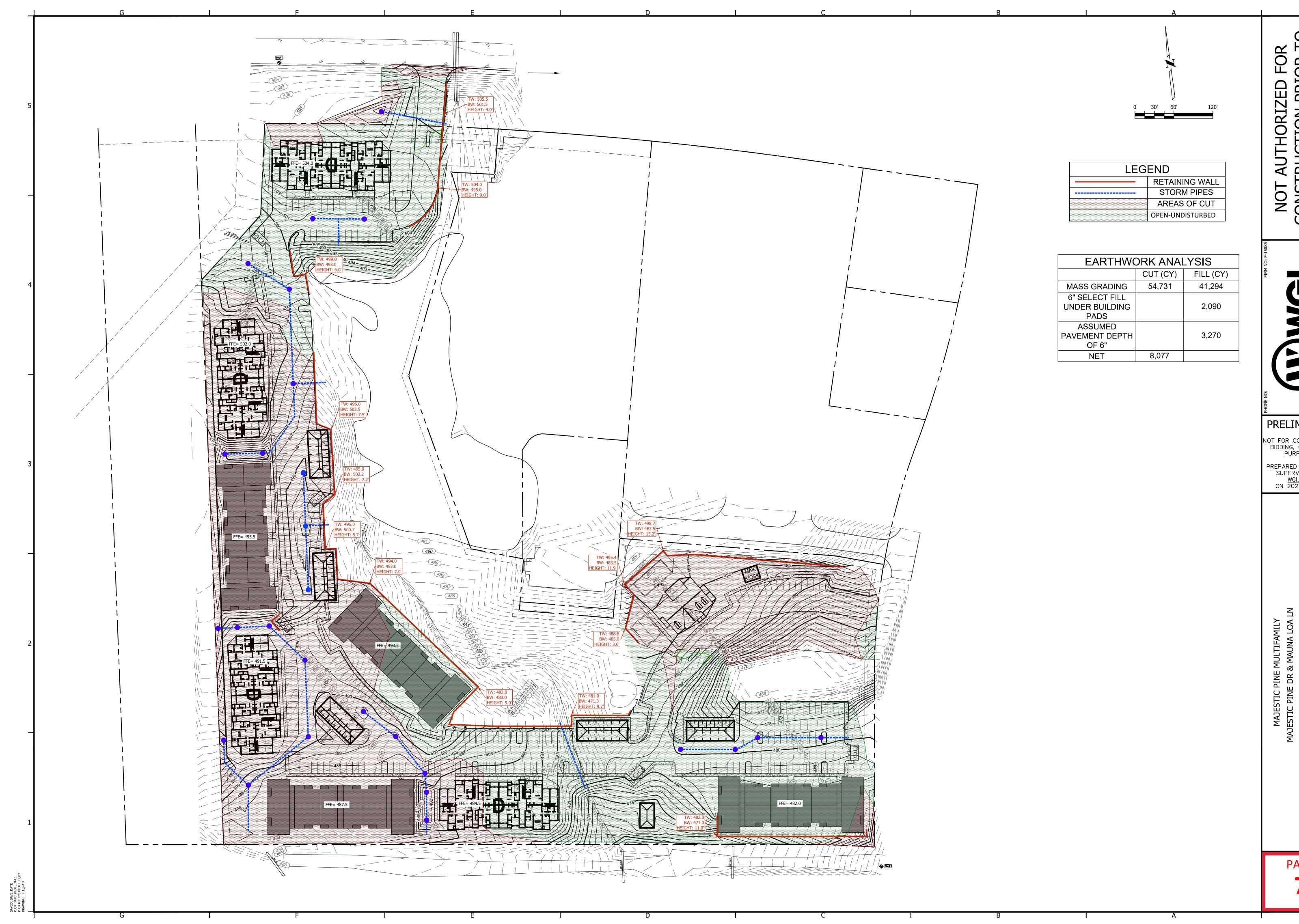
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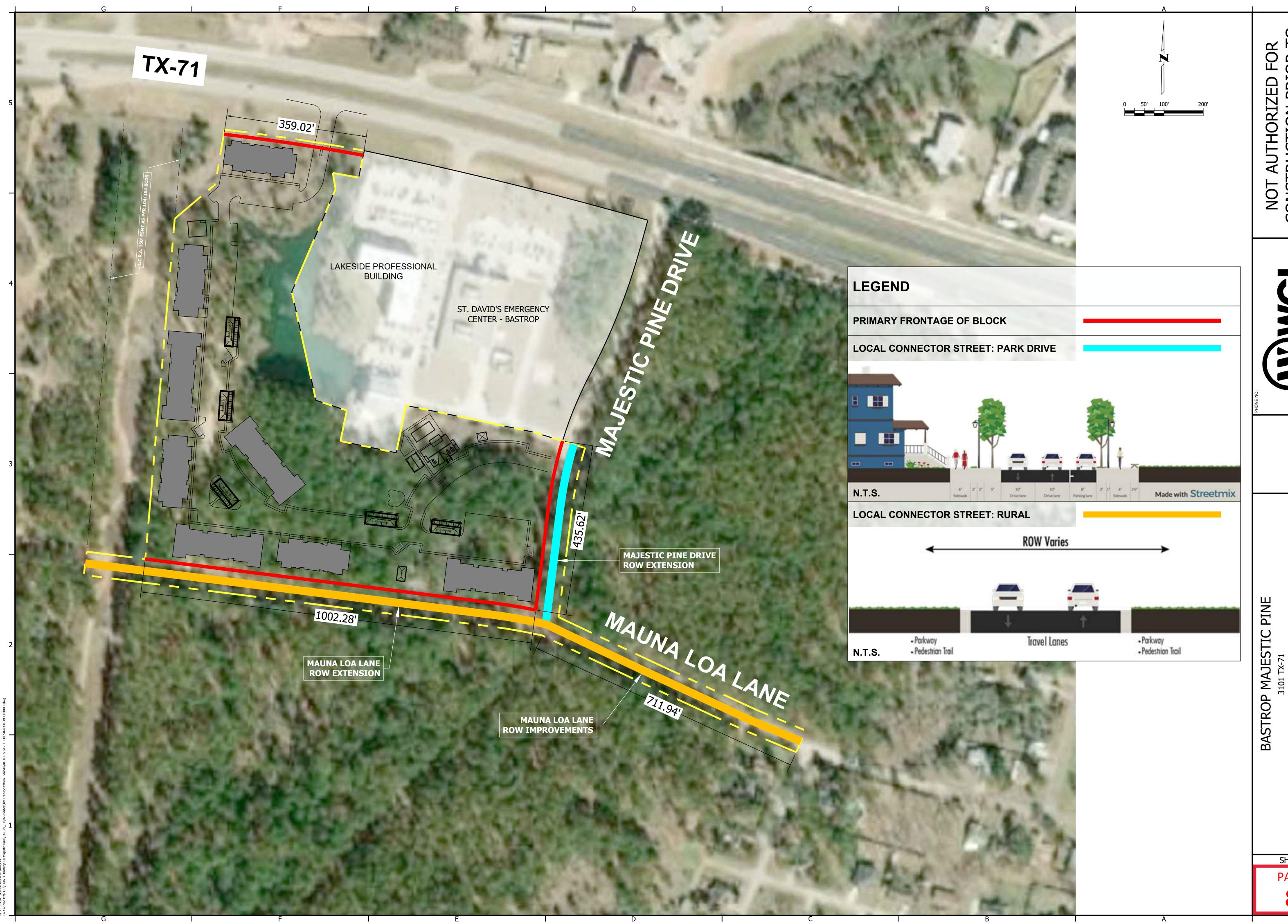


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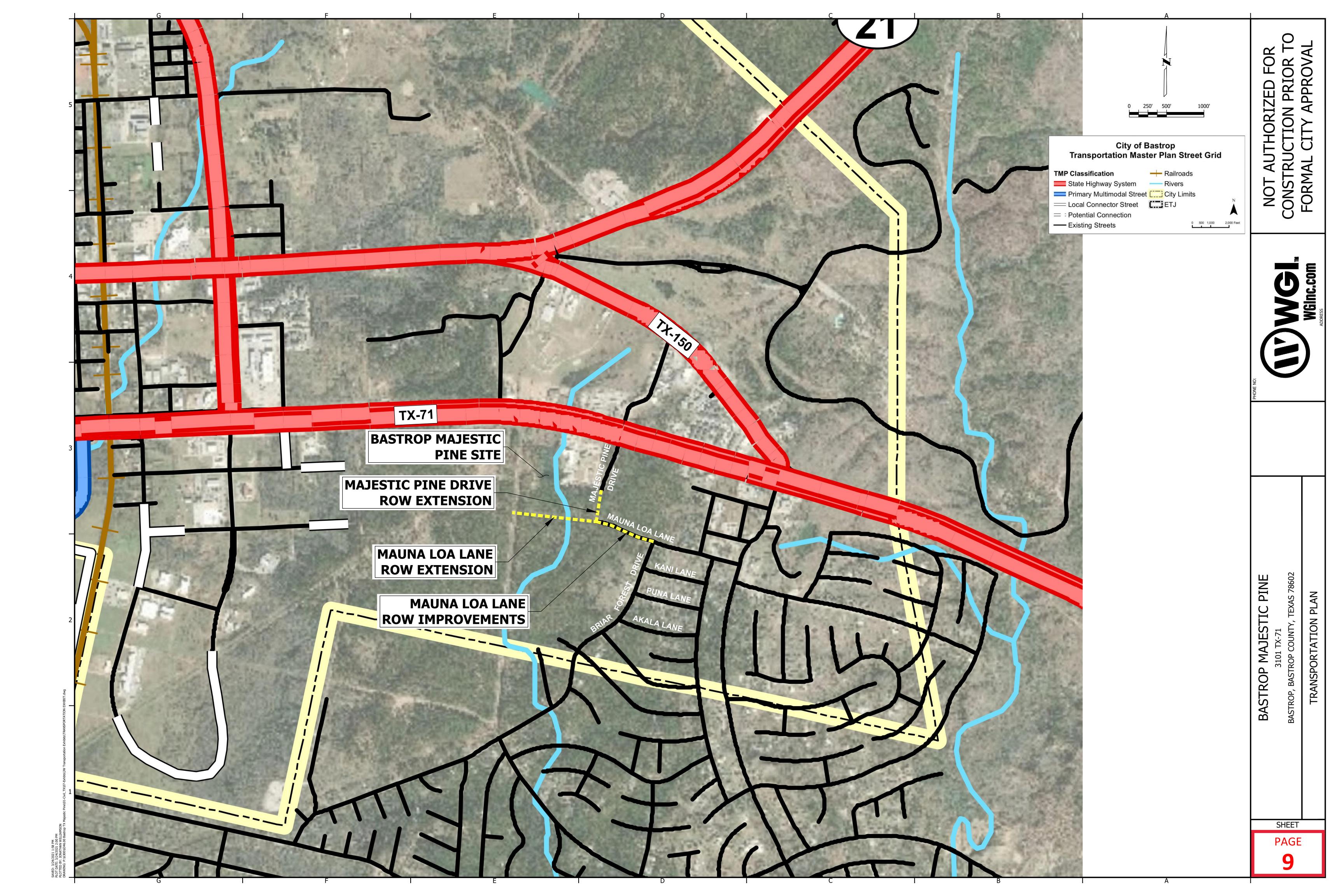
NOT FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.

PREPARED UNDER THE SUPERVISION OF WGI, INC.
ON 2021-03-29



STREET DESIGNATION & BLOCK FRONTAGE PLAN

SHEET PAGE



DESCRIPTION OF PROPERTY SURVEYED

DESCRIPTION of a 15.363 acre (669,196 square foot) tract of land located in the Bastrop Town Tract, Abstract Number 11, Bastrop County, Texas, said tract being the residue of Reserve "A" of Pine Forest Phase II, Unit 6, an addition to Bastrop County, Texas according to the plat recorded in Volume 1, Page 165-B of the Bastrop County Plat Records (B.C.P.R.), said tract also being the residue of that tract of land described in General Warranty Deed to Leslie L. Appelt (Undivided 1/2 Interest) recorded in Volume 745, Page 194, Exhibit "A", Item 4 in the Official Records of Bastrop County, Texas (O.R.B.C.) and described in Volume 653, Page 825, O.R.B.C. and in Exchange Deed to Leslie L. Appelt (Undivided 1/2 Interest) recorded in File Number 200312263, O.R.B.C., said 15.363 acre (669,196 square foot) tract being more particularly described by metes and bounds, as follows. (Bearing system for this survey is based on the Texas Coordinate System of 1983 (2011 adjustment), Central Zone 4203):

BEGINNING at a 5/8 inch iron rod with cap set for the northwest corner of said Reserve "A" and the herein described tract, said point being the northeast corner of Reserve "C" of said Pine Forest Phase II, Unit 6, same point also being on the south right-of-way line of State Highway 71 and in the arc of a curve to the right;

THENCE, with the north line of said Reserve "A", the south right—of—way line of said State Highway 71, and along said curve, having a central angle of 03 degrees, 40 minutes, 22 seconds, a radius of 5613.58 feet, a chord bearing and distance of South 80 degrees, 55 minutes, 05 seconds East, 359.79 feet, an arc distance of 359.85 feet to a 5/8 inch iron rod found for the northwest corner of Lot 1A of the Resubdivision of Lot 1, Amended Plat of Lakeside Phase 2, an addition to Bastrop County, Texas according to the plat recorded in Cabinet 4, Page 186B, B.C.P.R.;

THENCE, departing the north line of said Reserve "A" and the south right-of-way line of said State Highway 71, and with the west line of said Lot 1A the following six (6) courses:

- 1. South 12 degrees, 19 minutes, 06 seconds West, a distance of 69.87 feet to a 5/8 inch iron rod found for corner:
- 2.North 79 degrees, 25 minutes, 24 seconds West, a distance of 66.78 feet to a 5/8 inch iron rod with cap stamped 'RPLS 1753" found for corner;
- 3. South 08 degrees, 56 minutes, 02 seconds East, a distance of 41.83 feet to a 5/8 inch iron rod with cap set for corner;
- 4. South 23 degrees, 34 minutes, 41 seconds West, a distance of 284.10 feet to a point (falls in the middle of the pond) for corner;
- 5. South 12 degrees, 03 minutes, 46 seconds East, a distance of 283.28 feet to a 5/8 inch iron rod with cap set for corner;
- 6. South 71 degrees, 19 minutes, 14 seconds East, a distance of 82.60 feet to a 5/8 inch iron rod with cap set for corner on the west line of Lot 1B of said Resubdivision of Lot 1, Amended Plat

of Lakeside Phase 2 and of that certain tract of land described in Special Warranty Deed and Vendor's Lien to Schiff Properties, LLC recorded in File Number 201501846 in the Official Public Records of Bastrop County, Texas (O.P.R.B.C.);

THENCE, South 12 degrees, 19 minutes, 06 seconds West, with the west line of said Lot 1B and said Schiff Properties, LLC tract, at a distance of 66.2 feet pass the southwest corner of said Lot 1B and continuing with the west line of said Schiff Properties, LLC tract a total distance of 79.67 feet to a 5/8 inch iron rod with cap set for corner;

THENCE. South 77 degrees. 40 minutes. 54 seconds East, with the south line of said Schiff Properties, LLC tract, a distance of 145.00 feet to a 5/8 inch iron rod with cap set for corner, from which a found 5/8 inch iron rod with cap stamped "RPLS 1753" bears North 74 degrees, 26 minutes

THENCE, North 12 degrees, 19 minutes, 06 seconds East, with the east line of said Schiff Properties, LLC tract, at a distance of 13.5 feet pass the southeast corner of said Lot 1B and continuing with the east line of said Schiff Properties. LLC tract and said Lot 1B a total distance of 123.21 feet to a 5/8 inch iron rod with cap set for the southwest corner of Lot 1, Phase 1 of the Amended Plat of Lakeside Phase 1 & 2, an addition to Bastrop County, Texas according to the plat recorded in Cabinet 4, Page 177—B, P.R.B.C.;

THENCE, South 77 degrees, 38 minutes, 50 seconds East, with the south line of said Lot 1, Phase 1, a distance of 334.13 feet to a 5/8 inch iron rod with cap (illegible) found for corner;

THENCE, South 72 degrees, 10 minutes, 25 seconds East, continuing with the south line of said Lot 1, Phase 1, a distance of 74.61 feet to a point for the southeast corner of said Lot 1, Phase 1, from which a found 5/8 inch iron rod with cap (illegible) bears South 72 degrees, 24 minutes East, 0.37 feet, said point being on the east line of said Reserve "A", on the west right—of—way line of Pine Hollow Drive (60 feet wide) as shown on said Pine Forest Phase II, Unit 6, and in the arc of a non-tangent curve to the left;

THENCE, with the east line of said Reserve "A", the west right-of-way line of said Pine Hollow Drive, and said curve, having a central angle of 09 degrees, 51 minutes, 28 seconds, a radius of 980.00 feet, a chord bearing and distance of South 12 degrees, 33 minutes, 03 seconds West, 168.40 feet, an arc distance of 168.61 feet to a 5/8 inch iron rod with cap set at the end of said

THENCE, South 07 degrees, 37 minutes, 19 seconds West, with the east line of said Reserve "A" and the west right-of-way line of said Pine Hollow Drive, a distance of 267.60 feet to a 3/4 inch iron rod found for the southeast corner of said Reserve "A", same also being the intersection of the west right-of-way line of said Pine Hollow Drive and the north right-of-way line of Mauna Loa Lane as shown on said Pine Forest Phase II, Unit 6, said point being at the beginning of a non-tangent

THENCE, with the south line of said Reserve "A", the north right—of—way line of said Mauna Loa Lane, and said curve, having a central angle of 04 degrees, 02 minutes, 31 seconds, a radius of 1515.00 feet, a chord bearing and distance of North 80 degrees, 01 minutes, 16 seconds West, 106.85 feet, an arc distance of 106.87 feet to a 5/8 inch iron rod with cap set at the end of said

THENCE, North 82 degrees, 18 minutes, 05 seconds West, continuing with the south line of said Reserve "A" and the north right-of-way line of said Mauna Loa Lane, a distance of 895.56 feet to a 5/8 inch iron rod found for the southwest corner of said Reserve "A" and the southeast corner of that certain tract of land described in Deed to Lower Colorado River Authority, recorded in Volume 104, Page 104, O.P.R.B.C.;

THENCE, North 05 degrees, 27 minutes, 02 seconds East, departing the north right-of-way line of said Mauna Loa Lane and with the west line of said Reserve "A" and the east line of said Lower Colorado River Authority tract, a distance of 869.95 feet to a 5/8 inch iron rod with cap set for the most westerly northwest corner of said Reserve "A" and the south corner of said Reserve "C";

THENCE, North 50 degrees, 14 minutes, 00 seconds East, departing the east line of said Lower Colorado River Authority tract and with a northwest line of said Reserve "A" and a southerly line of said Reserve "C", a distance of 135.13 feet to a 5/8 inch iron rod with cap set for corner;

CONTAINING: 15.363 acres or 669,196 square feet of land, more or less.

THENCE, North 10 degrees, 07 minutes, 46 seconds East, with a west line of said Reserve "A" and an east line of said Reserve "C", a distance of 141.58 feet to the POINT OF BEGINNING;

NOTES

Bearing system for this survey is based on the Texas Coordinate System of 1983 (2011 adjustment), Central Zone 4203, based on observations made on August 13, 2020 with a combined scale factor of

MATCH LINE (SEE SHEET 2)

POND **ELEVATION OF WATER** AT TIME OF SURVEY=491.46±

- This boundary survey has been prepared and performed in accordance with the Professional Land Surveying Practices Act and General Rules of Procedures and Practices, adopted by the Texas Board of Professional
- 3. This topographic map and the survey upon which it is based have been prepared and performed in accordance with the United States National Map Accuracy Standards for vertical accuracy. It is not the intent of this survey to render a professional opinion as to the location or condition of the boundary of the real property shown hereon. This survey was not prepared for use in any real estate transaction, conveyance or title insurance proceedings. Any depiction that may appear hereon of bearings, distances, courses, areas or monumentation are not necessarily supported by field recovered evidence and shall be interpreted as being based on record information or conceptual renderings only.
- Subject property is shown on the National Flood Insurance Program Flood Insurance Rate Map for the City of Bastrop, Texas, Map No. 48021C0360E, Community—Panel No. 480022 0360 E, Revised Date: January 19 , 2006. All of the subject property is shown to be located in Zone "X" on said map. Relevant zones

are defined on said map as follows: Zone "X" - Other Areas: Areas determined to be outside 500-year floodplain.

- 5. This survey is based on deeds, easements and/or recorded plats and other records furnished by the client and/or the client's representative as well as significant visible monuments found on the subject property and adjacent properties, field measurements and evidence of boundaries found on the ground. However, this survey shall not represent warranty of title or guarantee of ownership. The surveyor did not abstract the subject property. This survey was performed with the benefit of a current title abstract provided by First American Title Insurance Company, GF No. NCS—1019157—HOU1, effective date July 1, 2020, issued July 22,
- 6. No underground utilities have been located and/or shown on this survey. Only visible and apparent above ground utility appurtenances are shown.
- This survey does not provide a determination or opinion concerning the location or existence of wetlands, faultlines, toxic or hazardous waste areas, subsidence, subsurface and environmental conditions or geological issues. No statement is made concerning the suitability of the subject tract for any intended
- Square footage totals shown hereon or referenced herein are based on mathematical closures and do not necessarily represent the positional accuracy of the boundary monuments.
- The word "certify" or "certificate" as shown and used hereon means an expression of professional opinion regarding the facts of the survey and does not constitute a warranty or guarantee, expressed or implied.
- 10. Except as specifically stated or shown on this plat, this survey does not purport to reflect any of the following which may be applicable to the subject tract: easements; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land-use regulations; Agreements; Lease Agreements; and ownership title evidence.
- 11. Any declaration made hereon or herein is made to the original purchaser of the survey. It is not transferable to additional institutions or subsequent owners.
- 12. The distances shown hereon for adjoining and adjacent properties have been compiled from recorded plats and deeds, and do not necessarily represent field verified or monumented distances.
- 13. The surveyor did not observe evidence of access to the abutting streets (and or highways).
- 14. The property described in General Warranty Deed(s), in declaration of Leslie L. Appelt recorded in Volume 745, Page 194 and County Clerks File No. 200315956 of the Official Public Records of Bastrop County,
- Texas is the same property shown hereon. 15. The surveyor did not observe evidence of site use as a solid waste dump, sump or sanitary landfill at the
- 16. The surveyor did not observe evidence of recent earth moving work, building construction or building additions at the time of this survey.
- 17. The surveyor did not observe evidence of proposed changes in street right of way lines, recent street or sidewalk construction or repairs at the time of this survey.
- 18. The surveyor did not observe evidence of wetland delineation markers on the ground at the time of this survev.

SURVEYOR'S CERTIFICATE

Date of Plat or Map: August 6, 2020.

To: Herman & Kittle Properties, Inc. (purchaser); Leslie L. Appelt, et al (seller); First American Title Insurance Company (Title Insurance Company Agent); and

First American Title Insurance Company, a Nebraska Corporation (Underwriter): This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6a, 6b, 7a, 7b1, 7c, 8, 9, 10a, 11, 13, 14, 16, 17, 18, and 20 of Table A thereof. The field work was completed on August 3, 2020.

ELEV=364.25'

Christopher B. Wells Registered Professional Land Surveyor No. 6615

cwells@pkce.com www.pkce.com

BENCH MARK LIST

BM# 1 - PK Nail - PK Nail set in asphalt approximately 96' Northeast or the Northwest corner or the subject property. ELEV=512.19'

BM# 2 - PK Nail - PK Nail set in asphalt approximately 31.3' feet Southeast of the Southeast corner of the subject property. ELEV=490.54'

BM# 0433 - DV - About 0.4 miles South along the Missouri, Kansas and Texas Railroad from the station at Bastrop, 45.0 feet West, Southwest of the Center of the crossing of with College St., 40.0 feet West of the West track of the main track at a concrete bridge over a drainage ditch, 12.7 feet South of the sent line of College St. set in top of the South end of the East concrete abutment of the bridge.

Christopher B. Well: 6615

NOTES ADDRESSING SCHEDULE "B" EXCEPTIONS

- 1. The subject tract is affected by the following restrictive covenants of record itemized below: Those restrictive covenants recorded in Plat Cabinet No. 1, Page 165B, Plat records of Bastrop County, Texas, Volume 281, Page 557, Deed Records of Bastrop County, Texas, Volume 2264, Page 345, Document No.'s 201510450, 201602234, and 201807207, Official Public Records of Bastrop County, Texas.
- 10d. This property is subject to a ten foot (10') public utility easement along front, side and rear property
- line(s), as dedicated on plat recorded in Plat Cabinet No. 1, Page 165B, Plat Records of Bastrop County, Texas and Document No. 201807207, Official Public Records of Bastrop County, Texas, as shown hereon. 10e. This property is subject to a ten foot (10') public utility easement along property line(s), as recorded on Volume 281, Page 557, Deed Records of Bastrop County, Texas and in Volume 2264, Page 345 and
- Document No. 201510450, Official Public Records of Bastrop County, Texas, as shown hereon. 10f. That certain Pipeline Easement in favor of Bi-Stone Fuel Company, executed by W.M. Moore, dated March 20, 1969, recorded in Volume 190, Page 436, Deed Records of Bastrop County, Texas. Said easement
- does not affect the subject tract. 10g. That certain Pipeline Easement in favor of Bi—Stone Fuel Company, executed by O.J. Moore and Elizabeth McAlister Solcher, dated March 19, 1969, recorded in Volume 190, Page 433, Deed Records of Bastrop County, Texas. Said easement does not affect the subject tract.
- 10h. Pipeline easement in favor of LoVaca Gathering Company, Judgement Cause No. 2303, styled LoVaca Gathering Company vs. O. J. Solcher, et al, dated December 13, 1963, recorded in Volume D, Page 41, Civil Minutes of Bastrop County, Texas, and in Volume 163, Page 646, Deed Records of Bastrop County, Texas. Does not affect the subject tract but is shown hereon.
- 10i. This property is subject to that certain 25' public utility easement adjacent to State Highway 71, granted to City of Bastrop, executed by Leslie L. Appelt and Lamesa Corporation, recorded in Volume 1525, Page 807, Official pubic Records of Bastrop County, Texas, as shown hereon.
- 10j. This property is subject to that certain Utility Easement ten feet on each side of all lone lines, and guy and anchors where necessary, dated July 1, 1976, from Tahitian Village Corporation to Bluebonnet Electric Co-Op., Inc., recorded in Volume 244, Page 183, Deed Records of Bastrop County, Texas, as shown
- 10k. This property is subject to all easements, buildings lines and conditions, covenants and restrictions set forth in plat recorded in Plat Cabinet No. 1, Page 165B, Plat Records, Bastrop County, Texas. Said plat easements, building lines and conditions, covenants and restrictions have been amended by instrument recorded under County Clerk's File No. 201807207 of the Official Public Records of Bastrop County, Texas.
- 10m. Property is situated in Bastrop County Water Control and Improvement District No. 2, Notice of Creation was filed for record on December 13, 1985, and duly recorded in Volume 401, Page 264, Official Records of Bastrop County. Texas: amended District Information aiving notice of the creation of a road utility district was filed for record on May 10, 1990, and duly recorded in Volume 570, Page 768, Official Records of Bastrop County, Texas.
- 10n. Building set back lines of 20 feet on front property line and 5 feet on the side property line, except in the case of corner lots, no improvements shall be erected or constructed within 20 feet of side property lines adjacent to streets, per restrictions recorded in Volume 281, Page 557, Deed Records of Bastrop County, Texas. Said instrument does not affect the subject property.
- 10o. This property is subject to a twenty foot (20') building line(s), as set out in Plat Cabinet No. 1, Page 165B, Plat Records, Bastrop County, Texas. Said plat easements, building lines and conditions, covenants and restrictions have been amended by instrument recorded under County Clerk's File No. 201807207 of the Official Public Records of Bastrop County, Texas
- 10p. This property is subject to a twenty foot (20') building line(s) along all front property line(s), fifteen foot (15') building line(s) along all rear property line(s), and a twenty foot (20') side building line(s) adjacent to a street or ten foot (10') along all side property line(s) not adjacent to a street, as set out in Volume 2264, Page 345, Document No. 201510450, and Document No. 201807207, Official Public Records of Bastrop County, Texas, as shown hereon.
- 10q. Limitations held by the State of Texas, regarding access to Highway 71, along the northerly property line, as shown on the plat recorded in Plat Cabinet No. 1. Page 165B. Plat Records of Bastrop County. Texas.
- 10x. This property is subject to the terms, conditions and stipulations in Declaration of Covenants, Conditions and Restrictions for Pine Forest, Phase II, Unit 6, Bastrop County, Texas dated August 13, 2015, recorded in Document No. 201510450, as amended by that certain Amended and Restated Declaration of Covenants, Conditions and Restrictions for Pine Forest, Phase II, Unit 6, Bastrop County, Texas dated May 14, 2018, recorded in Document No. 201807207, Official Public Records of Bastrop County, Texas, including but not limited to the Association's rights to plat additional lots in any of the reserves, the designation of Pine Forest Investment Group, LLC as the Developer with among other rights, the requirement for the reimbursement of certain expenses therein described, as shown hereon.
- 10y. This property is subject to building setback lines as set forth in instrument recorded in Document 201807207, Official Public Records, Bastrop County, Texas: Front: 20 feet, Rear: 15 feet, Interior Side: 10 feet, and Side Street: 20 feet, as shown hereon.

PAGE

ALTA/NSPS LAND TITLE AND

TOPOGRAPHIC SURVEY

15.363 ACRE TRACT LOCATED IN THE CITY OF BASTROP AND BEING A PORTION OF RESERVE "A." OUT OF PINE FOREST PHASE II, UNIT 6, CABINET No. 1, PAGE 165B, P.R.B.C., OUT OF BASTROP TOWN TRACT SURVEY, ABSTRACT NO. 11,

BASTROP COUNTY, TEXAS Thomas Land Surveying 20329 STATE HWY 249, SUITE 350 a Pacheco Koch company

HOUSTON, TX 77070 281.883.0103

TX REG. SURVEYING FIRM LS-10045800

DRAWN BY CHECKED BY JHT/CBW

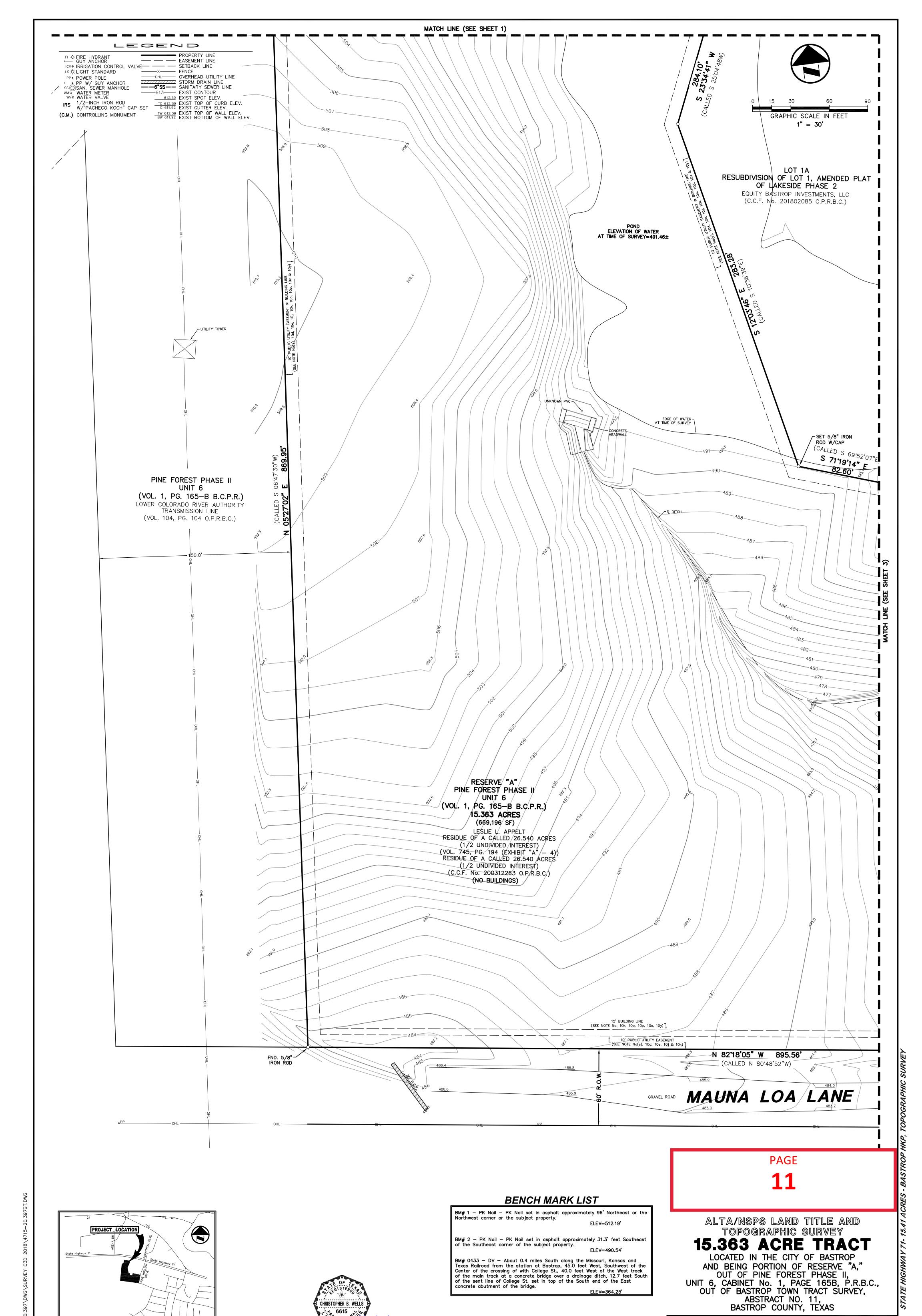
GF. NO. NCS-1019157-HOU1

SCALE 1"=30'

DATE 08/06/2020

JOB NUMBER 4715-20.397

PM 5-20 2:57 curve to the left:



WCOTTON

/6/2020 2:58 PM \DWG-47\4715BASTROP COUNTY GRIDMAP D5

VICINITY MAP
(NOT TO SCALE)

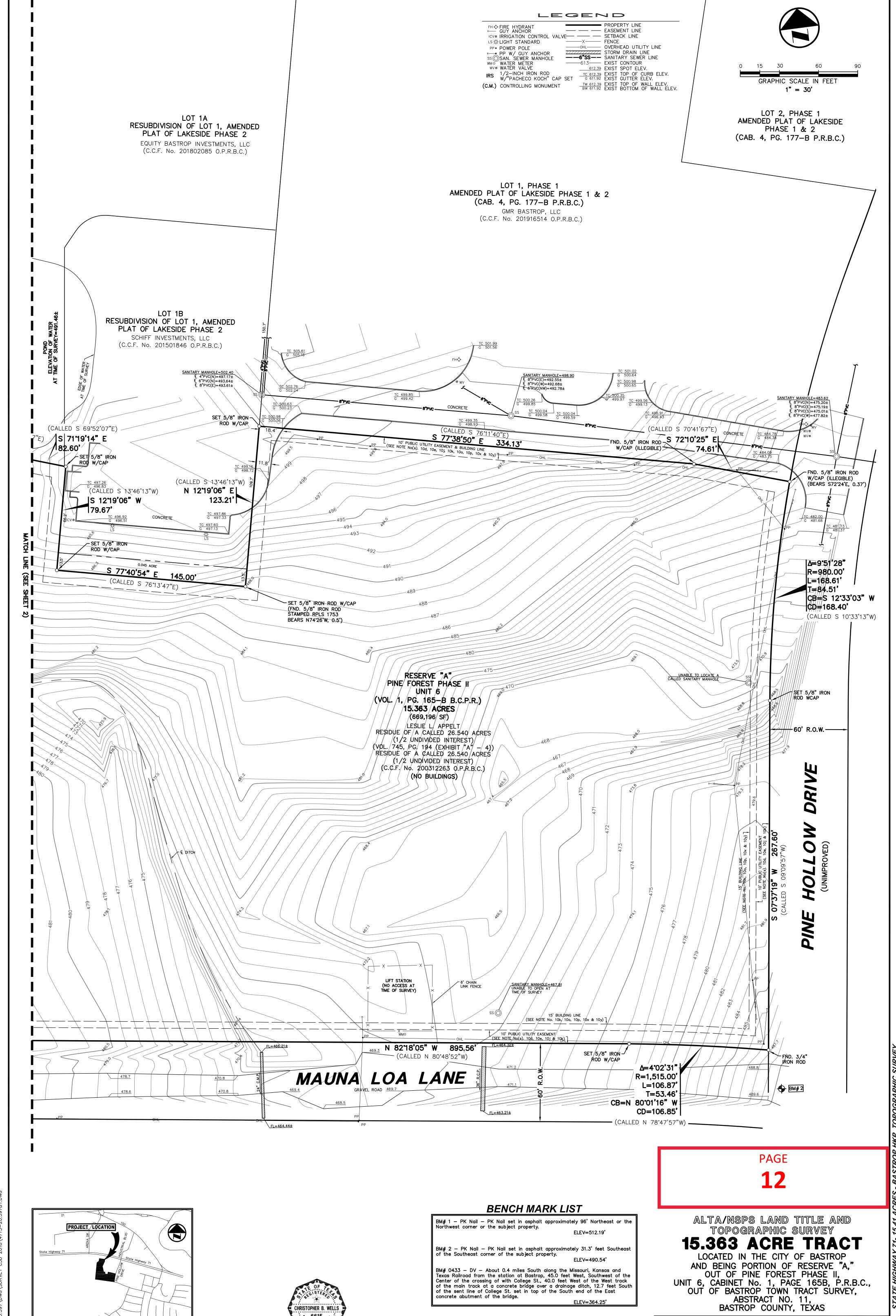
GF. NO. NCS-1019157-HOU1

Thomas Land Surveying 20329 STATE HWY 249, SUITE 350 HOUSTON, TX 77070 281.883.0103 TX REG. SURVEYING FIRM LS-10045800

 DRAWN BY
 CHECKED BY
 SCALE
 DATE

 WWC
 JHT/CBW
 1"=30"
 08/06/202

DATE JOB NUMBER 4715-20.397



VICINITY MAP (NOT TO SCALE)

BASTROP COUNTY

GRIDMAP D5

CHRISTOPHER B. WELLS

DRAWN BY

Thomas Land Surveying 20329 STATE HWY 249, SUITE 350 a Pacheco Koch company

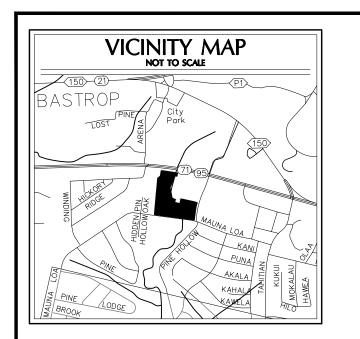
HOUSTON, TX 77070 281.883.0103

TX REG. SURVEYING FIRM LS-10045800 CHECKED BY DA TE JOB NUMBER SCALE

JHT/CBW 08/06/2020 1"=30' 4715-20.397

GF. NO. NCS-1019157-HOU1

ELEV=364.25'



BASTROP TOWN TRACT ABSTRACT NO.11

L	EGEND
	APPROXIMATE PROPERTY LINE PER BASTROP COUNTY APPRAISAL DISTRICT
•	5/8" IRON ROD FOUND [UNLESS NOTED]
VOL.	VOLUME
PG.	PAGE
R.O.W.	RIGHT-OF-WAY
0.P.R.B.C.T.	OFFICIAL PUBLIC RECORDS, BASTROP COUNTY, TEXAS

LEGAL DESCRIPTION:

A 26.540 ACRE TRACT OUT OF RESERVE A, A 27.0123 ACRE TRACT IN PINE FOREST, PHASE II, UNIT 6, A SUBDIVISION IN BASTROP COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT OF RECORD IN PLAT CABINET NUMBER 1, PAGE 165B, OF THE PLAT RECORDS OF BASTROP COUNTY, TEXAS, AS CONVEYED TO NEWMEDCO, LLC, IN GENERAL WARRANTY DEED OF RECORD IN VOLUME 1370, PAGE 627 OF THE OFFCIAL PUBLIC RECORDS OF BASTROP COUNTY, TEXAS.

CONTROL NOTE:
BASIS OF BEARING IS THE TEXAS COORDINATE SYSTEM, CENTRAL ZONE (4203), NORTH AMERICAN
DATUM 1983 (NAD83), 2011 ADJUSTMENT (EPOCH 2010) AND A VERTICAL DATUM OF NAVD88, GEOID
12B. ALL COORDINATE VALUES AND DISTANCES SHOWN ARE GRID VALUES.
UNITS: US SURVEY FEET.

THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT. EASEMENTS OR OTHER MATTERS OF RECORD MAY EXIST WHERE NONE ARE SHOWN.

FLOODPLAIN NOTE:
THIS PROPERTY (AS SHOWN HEREON) IS LOCATED WITHIN UNSHADED ZONE "X" (AREA OF MINIMAL FLOOD HAZARD), AS SHOWN ON F.I.R.M. PANEL NO. 48021C0360E, BASTROP COUNTY, TEXAS DATED JANUARY 19, 2006. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

TREE SURVEY NOTE:
THE TRUNK SIZE OF MULTI-TRUNK (MT) TREES AND THE CANOPY SHOWN HEREON WERE DETERMINED
BY USING THE TREE SURVEY REQUIREMENTS OUTLINED IN SECTION 6.3.004 PROTECTED & HERITAGE
TREES OF THE CITY OF BASTROP BUILDING BLOCK (B3) CODE (CURRENT VERSION: JANUARY 15, 2020).

I, GARRETT CAVAIUOLO, REGISTERED PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT THIS TREE SURVEY REPRESENTS AN ACTUAL SURVEY PERFORMED ON THE GROUND UNDER MY SUPERVISION.

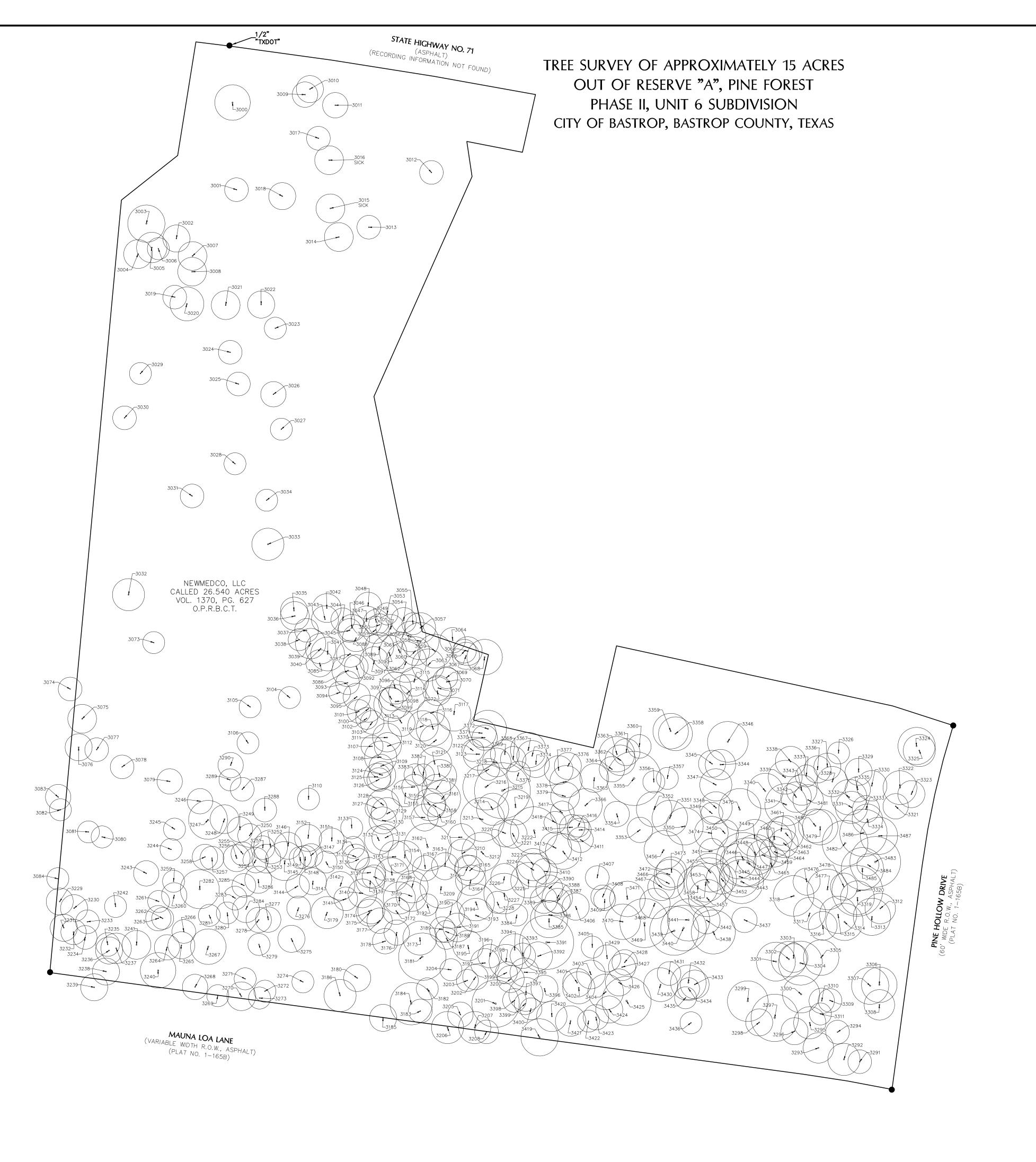
REGISTERED PROFESSIONAL LAND SURVEYOR TEXAS REGISTRATION NO. 6714 DOUCET & ASSOCIATES GCAVAIUOLO@DOUCETENGINEERS.COM

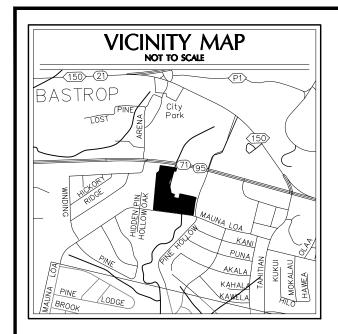




Scale: 1" = 60' Drawn by: AAC eviewer: GC Project: 2179-001 Sheet: 1 OF 2

Civil Engineering - Planning - Geospatial 7401 B. Highway 71 W, Suite 160 Austin, Texas 78735, Phone: (512)-583-2600 www.doucetengineers.com
TBPELS Firm No.: 10105800
TBPE Firm No.:F-3937





BASTROP TOWN TRACT ABSTRACT NO.11

LEGEND APPROXIMATE PROPERTY LINE PER BASTROP COUNTY 5/8" IRON ROD FOUND [UNLESS NOTED] VOLUME R.O.W. RIGHT-OF-WAY OFFICIAL PUBLIC RECORDS, BASTROP COUNTY, TEXAS 0.P.R.B.C.T.

TREE SURVEY OF APPROXIMATELY 15 ACRES OUT OF RESERVE "A", PINE FOREST PHASE II, UNIT 6 SUBDIVISION CITY OF BASTROP, BASTROP COUNTY, TEXAS

TREE TABLE

NUMBER SIZE(IN) SPECIES CANOPY(FT) MT(IN)

3280 13" PINE 26' 3281 13" PINE 26'

3282 23" PINE 46' 3283 14" PINE 28'

3285 14" PINE 28'

3286 | 16" PINE 32'

3287 14" PINE 28'

3288 14" PINE 28'

3289 13" PINE 26' 3290 15" PINE 30' 3291 14" PINE 28' 3292 19" PINE 38' 3293 18" PINE 36' 3294 14" PINE 28' 3295 19" PINE 38' 3296 16" PINE 32' 3297 28" PINE 56' 3298 16" PINE 32'

3299 24" AMERICAN ELM 48'

3300 22" PINE 44'

3301 23" PINE 46'

3302 21" PINE 42'

3303 17" PINE 34'

3304 26" PINE 52'

3305 21" PINE 42'

3306 21" PINE 42'

3307 22" PINE 44'

3308 18" PINE 36'

3309 14" PINE 28'

3310 15" PINE 30'

3311 13" PINE 26'

3312 18" PINE 36'

3313 22" PINE 44'

3314 22" PINE 44'

3315 22" PINE 44'

3316 | 17" PINE 34'

3317 | 19" PINE 38'

3318 24" PINE 48'

3319 20" PINE 40'

3320 30" PINE 60'

3321 15" PINE 30' 3322 20" PINE 40'

3323 16" PINE 32'

3324 22" PINE 44'

3325 19" PINE 38'

3326 | 13" PINE 26'

3327 16" PINE 32'

3328 18" PINE 36'

3329 16" PINE 32'

3330 18" PINE 36'

3331 19" PINE 38'

3332 21" PINE 42'

3333 16" PINE 32'

3334 18" PINE 36'

3335 15" PINE 30'

3336 | 16" PINE 32'

3337 | 13" PINE 26'

3338 18" PINE 36'

3339 20" PINE 40'

3340 21" PINE 42'

3341 25" PINE 50'

3342 18" PINE 36'

3343 18" PINE 36'

3344 18" PINE 36'

3345 16" PINE 32'

3347 19" PINE 38'

3348 19" PINE 38'

3349 | 13" PINE 26'

3346 29" PINE 48' 24 11

3284 16" POST OAK 32'

1	l .				
3000	21"	PINE	42'		
3001	14"	POST	OAK	28'	
3002	16"	PINE	32'		
3003	22"	PINE	44'		
3004	17"	PINE	34'		
3005	18"	PINE	36'	13	10
3006	13"	PINE	26'		
3007	17"	PINE	34'		
3008	17"	PINE	34'	13	8
3009	15"	POST	OAK	30'	
3010	16"	POST	OAK	32'	
3011	15"	PINE	30'		
3012	14"	POST	OAK	28'	
3013	14"	POST	OAK	28'	
3014	17"	PINE	34'		
3015	17"	PINE	34'		
3016	17"	PINE	34'		
3017	14"	PINE	28'	_	
3018	16"	PINE	32'		
3019	14"	PINE	28'		

3020 20" PINE 40' 14 11

3021 17" PINE 34'

3022 16" PINE 32'

3023 13" PINE 26'

3024 14" PINE 28'

3025 14" PINE 28'

3026 15" PINE 30'

3027 13" PINE 26'

3028 13" PINE 26'

3029 13" PINE 26'

3030 14" PINE 28'

3031 14" PINE 28'

3034 13" PINE 26'

3035 16" PINE 32'

3036 17" PINE 34'

3037 14" PINE 28'

3038 13" PINE 26'

3039 18" PINE 36'

3040 18" PINE 36'

3042 17" PINE 34' 3043 16" PINE 32'

3044 14" PINE 28'

3045 14" PINE 28'

3046 16" PINE 32'

3047 18" PINE 36'

3048 16" PINE 32'

3049 15" PINE 30'

3050 13" PINE 26'

3051 16" PINE 32'

3052 17" PINE 34'

3053 | 13" PINE 26'

3054 15" PINE 30'

3055 13" PINE 26'

3058 22" PINE 44'

3059 20" PINE 40'

3060 17" PINE 34'

3061 24" PINE 48'

3062 24" PINE 48'

3063 19" PINE 38'

3064 15" PINE 30'

3065 14" PINE 28'

3066 17" PINE 34'

3067 | 16" PINE 32'

3068 21" PINE 42'

3069 13" PINE 26'

3056 18" PINE 36' 13 11

3057 18" PINE 36' 13 11

3032 19" PINE 38' 13 12

3033 19" PINE 38' 14 6 4

3041 20" PINE 40' 15 10

TREE TABLE

NUMBER SIZE(IN) SPECIES CANOPY(FT) MT(IN)

NUMBER	SIZE	(IN)	TREE TA	CANOPY(FT)	MT(IN)
3070	17"	PINE	34'	. ()	
3071	15"	PINE	30'		
3072	17"	PINE	34'		
3073	13"	CEDA	R 26'		
3074	14"	PINE	28'		
3075	17"	PINE	34'		
3076	16"	PINE	32'		
3077	14"	PINE	28'		
3078	14"	PINE	28'		
3079	15"	PINE	30'		
3080	13"	PINE	26'		
3081	13"	PINE	26'		
3082	13"	PINE	26'		
3083 3084	15"	PINE	30' 26'		
3085	13" 16"	PINE	32'		
3086	19"	PINE	38'		
3087	16"	PINE	32'		
3088	16"	PINE	32'		
3089	17"	PINE	34'		
3090	21"	PINE	42'		
3091	17"	PINE	34'		
3092	14"	PINE	28'		
3093	14"	PINE	28'		
3094	13"	PINE	26'		
3095	16"	PINE	32'		
3096	19"	PINE	38'		
3097	14"	PINE	28'		
3098	20"	PINE	40'		
3099	20"	PINE	40'		
3100	16"	PINE	32'		
3101	14"	PINE	28'		
3102	13"	PINE	26'		
3103	14"	PINE	28'		
3104	13"	PINE	26'		
3105	13"	PINE	26'		
3106	13"	PINE	26'		
3107 3108	13" 19"	PINE	26' 38'		
3109	14"	PINE	 28'		
3110	13"	PINE	26'		
3111	17"	PINE	34'		
3112	16"	PINE	32'		
3113	16"	PINE	32'		
3114	22"	PINE	44'		
3115	17"	PINE	34'		
3116	16"	PINE	32'		
3117	20"	PINE	40'		
3118	20"	PINE	40'		
3119	18"	PINE	36'		
3120	19"	PINE	38'		
3121	20"	PINE	40'		
3122	13"	PINE	26'		
3123	19"	PINE	38'		
3124	16"	PINE	32'		
3125	16"	PINE	32'		
3126	14"	PINE	28'		
3127	13"	PINE	26'		
3128	19"	PINE	38'		
3129	19"	PINE	38'		
3130	16"	PINE	32'		
3131	16"	PINE	32'		
3132 3133	17"	PINE	34'		
3133	13" 13"	PINE	26' 26'		
3135	15"	PINE	30'	13 5	
\cup \cup \cup	١٦			10 0	
3136	1 7"	PINE	26		
3136 3137	13" 18"	PINE	26' 36'		

3138 14" PINE 28'

3139 17" PINE 34'

			TREE	TAE	BLE				
NUMBER	SIZE	(IN)	SPECI	ES	СА	NOPY	(FT)	MT(IN	1)
3140	17"	PINE	34'						
3141	14"	PINE	28'						
3142	17"	PINE	34'						
3143	16"	PINE	32'						
3144	14"	PINE	28'						
3145	23"	PINE	46'						
3146	16"	PINE	32'						
3147	14"	PINE	28'						
3148	14"	PINE	28'						
3149	13"	PINE	26'						
3150	13"	PINE	26'						
3151	15"	PINE	30'						
3152	16"	PINE	32'						
3153	19"	PINE	38'						
3154	20"	PINE	40'						
3155	16"	PINE	32'						
3156	15"	PINE	30'						
3157	16"	PINE	32'						
3158	14"	PINE	28'						
3159	19"	PINE	38'						
3160	14"	PINE	28'						
3161	22"	PINE	44'						
3162	28"	PINE	56'						
3163	16"	PINE	32'						
3164	18"	PINE	36'						
3165	18"	PINE	36'						
3166	15"	PINE	30'						
3167 3168	15" 19"	PINE	30' 38'						
3169	18"	PINE	36'						
3170	19"	PINE	38'						
3170	20"	PINE	40'						
3172	16"	PINE	32'						_
3173	20"	PINE	40'						_
3174	16"	PINE	32'						
3175	16"	PINE	32'						
3176	15"	PINE	30'						
3177	15"	PINE	30'						
3178	15"	PINE	30'						
3179	19"	POST		38'					
3180	16"	PINE	32'						_
3181	28"	PINE	56'						_
3182	13"	PINE	26'						
3183	14"	PINE	28'						
3184	25"	POST	OAK	50'		13 1	2 12		
3185	16"	PINE	32'						
3186	19"	POST	OAK	38'					_
3187	13"	PINE	26'						
3188	13"	PINE	26'						
3189	15"	PINE	30'						
3190	17"	PINE	34'						
3191	17"	PINE	34'						
3192	13"	PINE	26'						_
3193	20"	PINE	40'		16 7				_
3194	22"	PINE	44'		19 5				_
3195	18"	PINE	36'						_
3196	14"	PINE	28'						
3197	17"	PINE	34'						
3198	20"	PINE	40'						_
3199	13"	PINE	26'						
3200	16"	PINE	32'						
3201	28"	PINE	56'						
3202	15"	PINE	30'						
3203	13"	PINE	26'						
3204	13"	PINE	26'						
3205	15"	PINE	30'						
3206	19"	POST		38'					
3207	19"	POST		38'					
3208	14"	PINE	28'						
7000	1 0 - "		,						

3209 25" PINE 50'

				TABLE			
NUMBER		(IN)	SPECI	ES	CANOP	Y(FT)	MT(IN
3210	17"	PINE	34'				
3211	16"	PINE	32'				
3212	23"	PINE	46'				
3213	26"	PINE	52'				
3214	19"	PINE	38'				
3215	33"	PINE	66'				
3216	27"	PINE	54'				
3217	13"	PINE	26'				
3218	17"	PINE	34'				
3219	21"	PINE	42'				
3220	16"	PINE	32'				
3221	17"	PINE	34'				
3222	28"	PINE	56'				
3223	19"	PINE	 38'	16	6		
3224	20"	PINE	40'	10			
3225	21"	PINE	42'				
3226	16"	PINE	32'				
3227	24"	PINE	48'				
3228	13"	PINE	26'				
3229	16"	PINE	32'				
3230	16"	PINE	32'				
3231	16"	PINE	32'				
3232	15"	PINE	30'				
3233	14"	PINE	28'				
3234	14"	PINE	28'				
3235	14"	PINE	28'				
3236	16"	PINE	32'				
3237	18"	PINE	36'				
3238	16"	PINE	32'				
3239	16"	PINE	32'	13	6		
3240	21"	PINE	42'	10	-		
3241	17"	PINE	34'				
3242	13"	PINE	26'				
3243	15"	PINE	30'				
3244	13"	PINE	26'				
3245	13"	PINE	26'				
3246	15"	PINE	30'				
3247	23"	PINE	46'	13	11 10		
3248	17"	PINE	34'	13	7		
3249	15"	PINE	30'				
3250	14"	PINE	28'				
3251	14"	PINE	28'				
3252	20"	PINE	40'	15	6 4		
3253	17"	PINE	34'				
3254	15"	PINE	30'				
3255	14"	PINE	28'				
3256	16"	PINE	 32'				
3257	14"	PINE	28'				
3258	15"	PINE	30'				
3259	13"	PINE	26'				
3260	15"	PINE	30'				
3261	13"	PINE	26'				
3262	13"	PINE	26'				
3263	15"	PINE	30'				
3264	15"	PINE	30'				
3265	16"	PINE	32'				
3266	14"	PINE	28'				
3267	21"	PINE	42'				
3268	15"	PINE	30'				
3269	13"	PINE	26'				
3270	17"	PINE	34'				
3270				26,			
	13"	POST		26'			
3272	13"	PINE	26'				
3273	13"	PINE	26'				
3274	13"	PINE	26'				
3275	16"	POST	OAK	32'			
3276	14"	PINE	28'				
3277	15"	PINE	30'				
						_	
3278	15"	PINE	30'				

NUMBER	SIZE	(IN)	SPECI	ES CANOPY(FT)	М
3350	22"	PINE	44'	20 0,1101 1(1.1)	
3351	21"	PINE	42'		
3352	21"	PINE	42'		
3353	15"	PINE	30'		
3354	15"	PINE	30'		
3355	32"	PINE	64'	22 20	
3356	13"	POST	OAK	26'	
3357	13"	POST	OAK	26'	
3358	20"	PINE	40'		
3359	21"	PINE	42'		
3360	14"	PINE	28'		
3361	16"	PINE	32'		
3362	18"	PINE	36'		
3363	21"	PINE	42'		
3364	15"	PINE	30'		
3365	17"	PINE	34'		
3366	20"	PINE	40'	14 13	
3367	21"	PINE	42'		
3368	15"	PINE	30'		
3369	17"	PINE	34'		
3370	15"	PINE	30'		
3371	17"	PINE	34'		
3372	22"	PINE	44'		
3373	18"	PINE	36'		
3374	16"	PINE	32'		
3375	14"	PINE	28'		
3376	16"	PINE	32'		
3377	17"	POST		34'	
3378	19"	PINE	38'		
3379	17"	PINE	34'		
3380	20"	PINE	40'		
3381	17"	PINE	34'		
3382	13"	PINE	26'		
3383	13"	PINE	26'		
3384	13"	PINE	26'		
3385	22"	PINE	44'		
3386	17"	PINE	34'		
3387	15"	PINE	30'		
3388	18"	PINE	36'		
3389	16"	PINE	32'		
3390	16"	PINE	32'		
3391	32"	PINE	64'	22 20	
3392	17"	PINE	34'		
3393	15"	PINE	30'		
3394	19"	PINE			
3395	17"	PINE	34'		
3396					
	16"	PINE	32'		
3397	20"	PINE	40'		
3398	14"	PINE	28'		
3399	13"	PINE	26'		
3400	13"	PINE	26'		
3401	17"	PINE	34'		
3402	19"	PINE	38'		
3403	17"	PINE	34'		
3404	21"	PINE	42'		
3405	13"	PINE	26'		
3406	16"	PINE	32'		
3407	14"	PINE	28'		
3408	14"	PINE	28'		
3409	13"	PINE	26'		
3410	15"	PINE	30'		
3411	15"	PINE	30'		
3412	21"	PINE	42'		
3413	19"	PINE	38'		
3414	14"	PINE	28'		
3415	15"		20 30'		
		PINE			
3416	13"	PINE	26'		
3417	14"	PINE	28'		
3418	13"	PINE	26'		
3419	22"	PINE	44'		

	TREE TABLE
NUMBER	SIZE(IN) SPECIES CANOPY(FT) MT(IN)
3420	18" PINE 36'
3421	18" PINE 36'
3422	13" PINE 26'
3423	15" PINE 30'
3424	16" PINE 32'
3425	29" PINE 58'
3426	16" POST OAK 32'
3427	16" PINE 32'
3428	15" PINE 30'
3429	16" CEDAR 32'
3430	20" PINE 40' 14" PINE 28'
3431 3432	14" PINE 28' 21" PINE 42'
3433	17" PINE 34'
3434	13" PINE 26'
3435	13" PINE 26'
3436	13" PINE 26'
3437	15" AMERICAN ELM 30'
3438	26" COTTONWOOD 52'
3439	19" PINE 58'
3440	27" PINE 54'
3441	25" PINE 50'
3442	16" COTTONWOOD 32'
3443	26" PINE 52'
3444	24" PINE 48'
3445	21" PINE 42'
3446	32" PINE 64' 25 13
3447	19" PINE 58'
3448	24" PINE 48' 18 17
3449	22" PINE 44'
3450	16" PINE 32'
3451	15" PINE 30'
3452	18" PINE 36'
3453	19" PINE 58'
3454	23" PINE 46'
3455	23" PINE 46'
3456	23" PINE 46'
3457	22" PINE 44'
3458	24" PINE 48'
3459	18" PINE 36'
3460	21" PINE 42'
3461	17" PINE 34'
3462	21" PINE 42'
3463	17" PINE 34'
3464	18" PINE 36'
3465	20" PINE 40'
3466	18" POST OAK 36'
3467	16" PINE 32'
3468	18" PINE 36'
3469	19" PINE 58'
3470	21" PINE 42' 16 9
3471	21" PINE 42'
3472	18" PINE 36'
3473	18" PINE 36'
3474	20" PINE 40'
3475	25" POST OAK 50' 19 12
3476	16" PINE 32'
3477	24" PINE 48'
3478	16" PINE 32'
3479	21" PINE 42'
3480	20" PINE 40'
3481	18" PINE 36'
3482	27" PINE 54'
3483	30" PINE 60'
L 3463	T
3484	13" PINE 26'
	13" PINE 26' 25" PINE 50'
3484	

3487 22" PINE 44'

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PAGE



Party Chief: ADM

Survey Date: 07/20/202



FIRM LOGO

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SEAL

PROJECT TITLE

3ASTROP, TX

REVISION	IS	
MARK	DESCRIPTION	DATI

DO NOT SCALE PRINTS - USE FIGURED DIMENSIONS ONLY PROJECT NO.

20-012

SHEET TITLE

BUILDING

SHEET NUMBER

PAGE 15

TABULATION

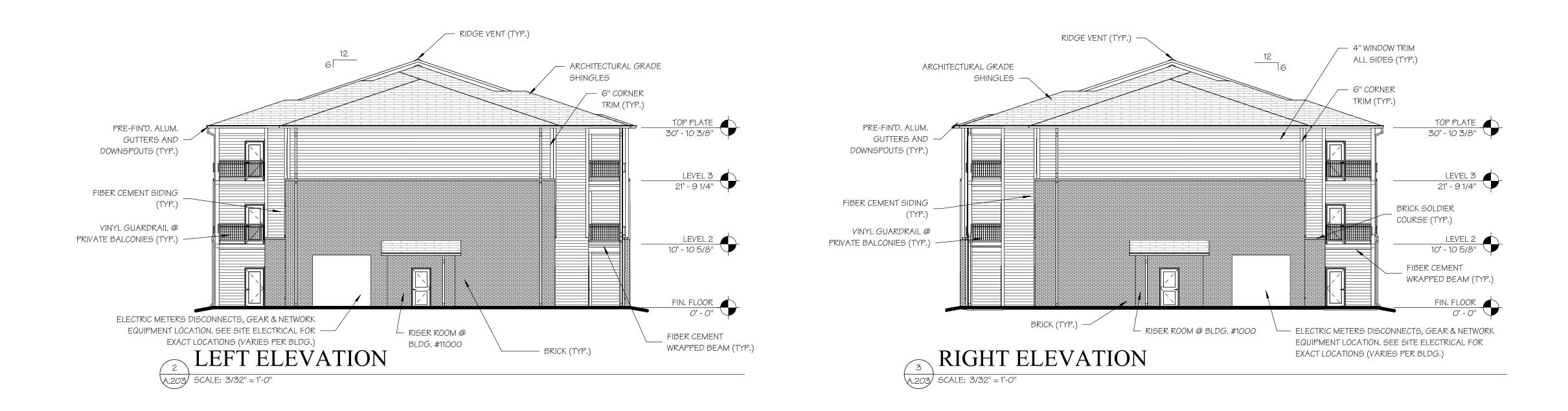
			DECIDENTIAL	DI III DING AN	ID LINUT BAIL												NIT TYPES								
			RESIDENTIAL	BUILDING AN	ID ONIT WILK	_				UNIT TYPES 1BR/1BATH 2BR/2BATH 3BD/2BATH															
												1BR/1	BATH				2BR/2BATH				3BD/2B	ATH			
BLDG NO.	BLDG. ADDRESSES	BUILDING TYPE	UNITS PER BUILDING	TOTAL GROSS AREA PER BLDG.	LEVEL	UNIT AREA GROSS (SF)	COMMON	AREA GROSS (SF)		1 BR	1 BR ACC	1 BR A1	1BR A1 ACC	1BR B2	1BR B2 ACC	2BR SPLIT	2 BR SPLIT ACC	2BR B8	3BR SPLIT	3BR SPLIT ACC	3BR A	3BR B1	3BR B1 ACC	3BR B2	
							PATIO/ BALCONY	CIRCULATION/ MECH.	GSF	865	865	785	785	828	828	1200	1200	1308	1325	1325	1318	1318	1318	1360	
							,	ŕ	NSF	800	800	706	706	746	746	1122	1122	1204	1237	1237	1223	1223	1223	1265	
					1ST FLOOR	7518	602	1225				2		3	1							2			
1	1000	(40044 - 2004 - 2005)	24	30211	2ND FLOOR	8564	602	1225						4				2			2				
1	1000	(1BR14+2BR4+3BR6)	24	30211	3RD FLOOR	8648	602	1225						4				2						2	
					TOTAL	24730	1806	3675				2		11	1			4			2	2		2	
			1		1ST FLOOR	13560	769	1603		4					_	3	1	-	3	1		 			
					2ND FLOOR	13560	769	1603		Δ						Δ	_		Δ	_				†	
2	2000	(1BR12+2BR12+3BR12)	36	47796	3RD FLOOR	13560	769	1603								1			1 1			 	 		
					TOTAL	40680	2307	4809		12						11	1		11	1		+		+	
						7518	602	1225	_	12		1	1	^		11	1		11	1		1	1		
					1ST FLOOR							1	1	4					 	+		 	 		
3	3000	(1BR14+2BR4+3BR6)	24	30211 2ND FLOOR	8564	602	1225						4					 		2	+		+		
				3RD FLOOR	8648	602	1225					_	4				2				<u> </u>		2		
					TOTAL	24730	1806	3675				1	1	12				4			2	1	1	2	
			1			1ST FLOOR	13560	769	1603		4						3	1		4					
4	4000	(1BR12+2BR12+3BR12)	36	47796	2ND FLOOR	13560	769	1603		4						4			4						
·	4000	(15/112-15/112-15/112/	1	""	3RD FLOOR	13560	769	1603		4						4			4						
					TOTAL	40680	2307	4809		12						11	1		12					<u> </u>	
					1ST FLOOR	13560	769	1603		3	1					4			4						
_	E000	(40043, 20043, 20043)	26	47706	2ND FLOOR	13560	769	1603		4						4			4						
5	5000	(1BR12+2BR12+3BR12)	30	47796	3RD FLOOR	13560	769	1603		4						4			4						
					TOTAL	40680	2307	4809		11	1					12			12						
			1		1ST FLOOR	13560	769	1603		4						3	1		3	1		1			
_					2ND FLOOR	13560	769	1603	1	4						4	_		4	_					
6	6000	(1BR12+2BR12+3BR12)	36	47796	3RD FLOOR	13560	769	1603		Δ						4			4	1		1			
		l			TOTAL	40680	2307	4809		12	1					11	1 1		11	1 1		†	1	†	
			1		1ST FLOOR	7518	602	1225		12		•		2	1	11	1			+ +		1	1		
		l				8564	602	1225			+			4	<u> </u>		+	1	+	+ +	7	 	+ -		
7	7000	(1BR14+2BR4+3BR6)	24	30211	2ND FLOOR		+												 	+	۷	+		+	
					3RD FLOOR	8648	602	1225						4				2	 	+		 	 	+	
			ļ		TOTAL	24730	1806	3675				2		11	1			4			2	1	1		
		l			1ST FLOOR	7518	602	1225				1	1	4						ļ		2			
8	8000	(1BR14+2BR4+3BR6)	24	30211	2ND FLOOR	8564	602	1225						4				2			2				
-]		3RD FLOOR	8648	602	1225						4				2						2	
					TOTAL	24730	1806	3675				1	1	12				4			2	2		2	
			240	312028		261640	16452	33936		47	1	6	2	46	2	45	3	16	46	2	8	6	2	8	

COMMON BUILDING AREAS							
		GROSS AREA					
CLUBHOUSE		1 BLDG	3,900 SF				
ENTERTAINMEN	T AREA	1 PAVILION	775 SF				
MAIL KIOSK		1 PAVILIONS	663 SF				

PARKING COUNT:

300 UNASSIGNED SURFACE SPACES
8 ACCESSIBLE SURFACE SPACES
2 VAN ACCESSIBLE SURFACE SPACES
14 ASSIGNED DRIVEWAY SPACES
2 ACCESSIBLE DRIVEWAY SPACES
14 ATTACHED GARAGE SPACES
2 ACCESSIBLE ATTACHED GARAGE SPACES
30 DETACHED GARAGE SPACES

TOTAL PARKING: 372 SPACES



A.203 SCALE: 3/32" = 1'-0"





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PROJECT TITLE

BASTROP,TX

ISSUED FO	R:	DATE
REVISIO	NS	
MARK	DESCRIPTION	

20-012

FIGURED DIMENSIONS ONLY

SHEET TITLE

1BR14+2BR4+3BR6 EXTERIOR ELEVATIONS

SHEET NUMBER

PAGE **16**

4 3BR12+2BR12+1BR12 - REAR ELEVATION 3/32" = 1'-0"

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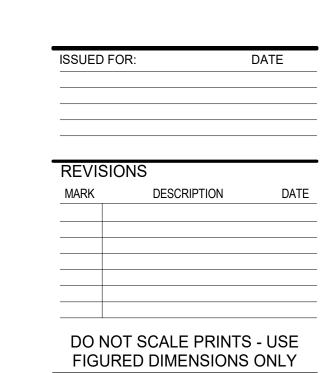
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20-012

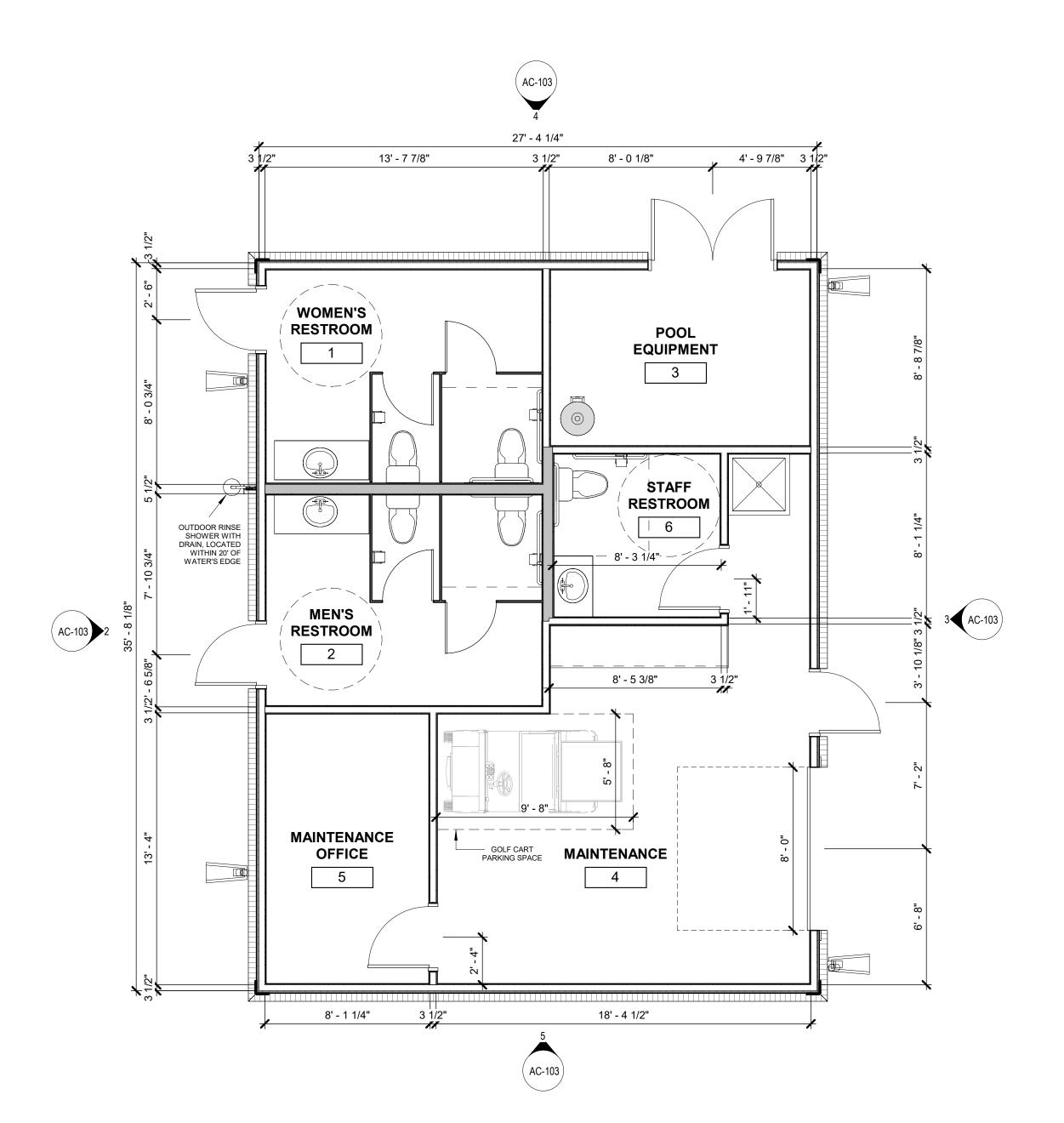
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ELEVATIONS - 3BR12+2BR12+1BR12

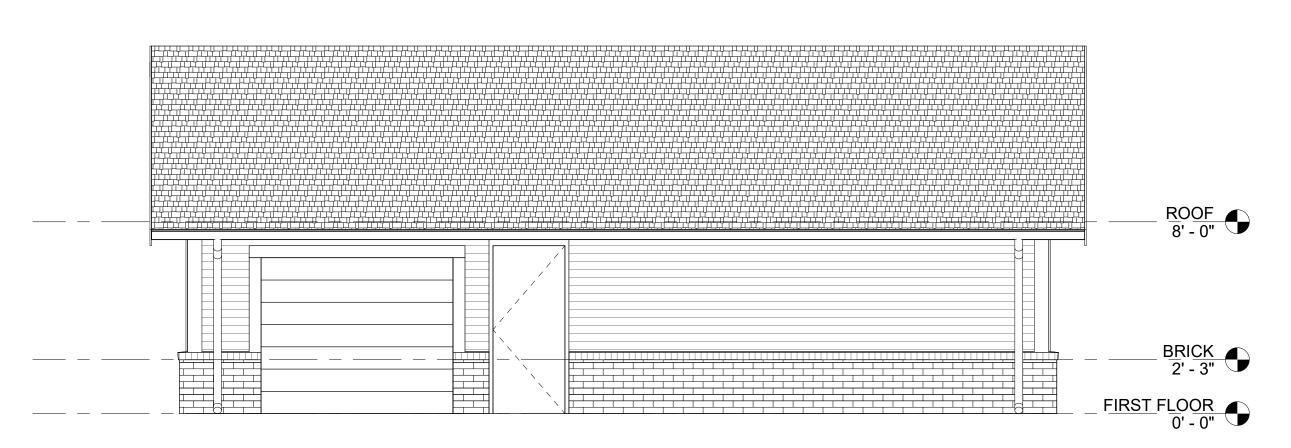
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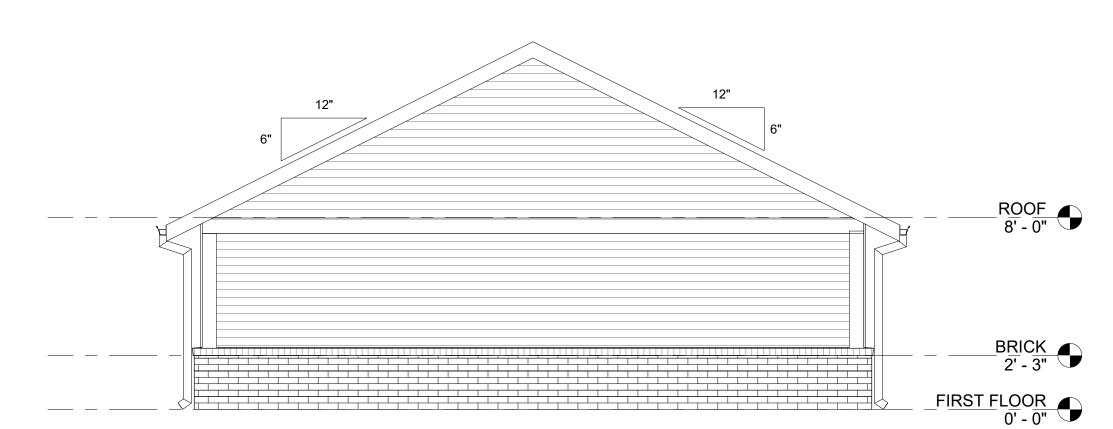
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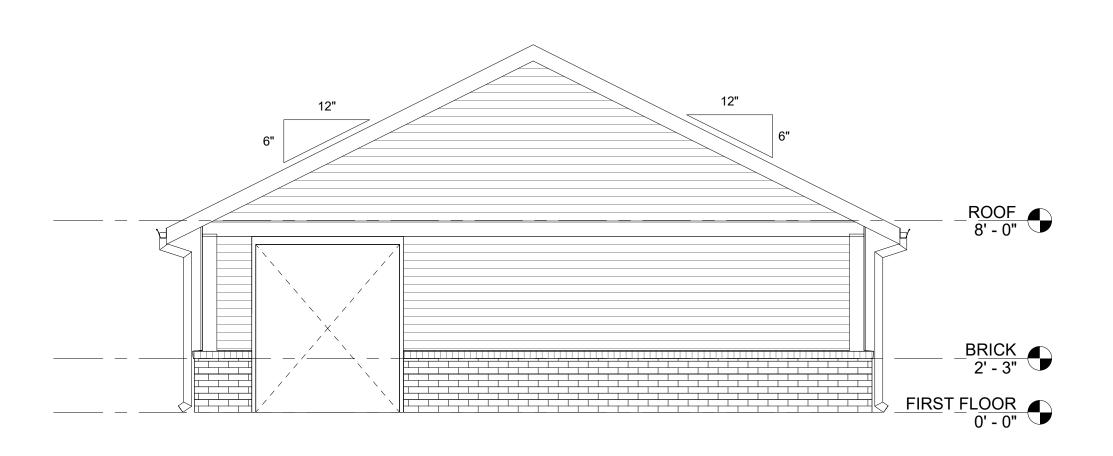


MAINTENANCE/POOL HOUSE FLOOR PLAN
SCALE: 1/4" = 1'-0"



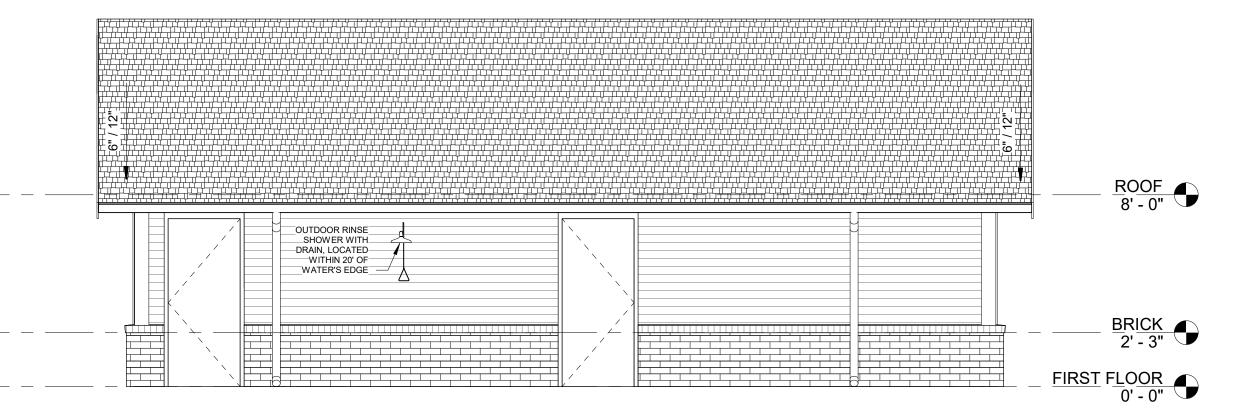


5 SIDE ELEVATION SCALE: 1/4" = 1'-0"



POOL EQUIPMENT ENTRANCE ELEVATION

SCALE: 1/4" = 1'-0"



POOL SIDE ELEVATION

AC-103 SCALE: 1/4" = 1'-0"



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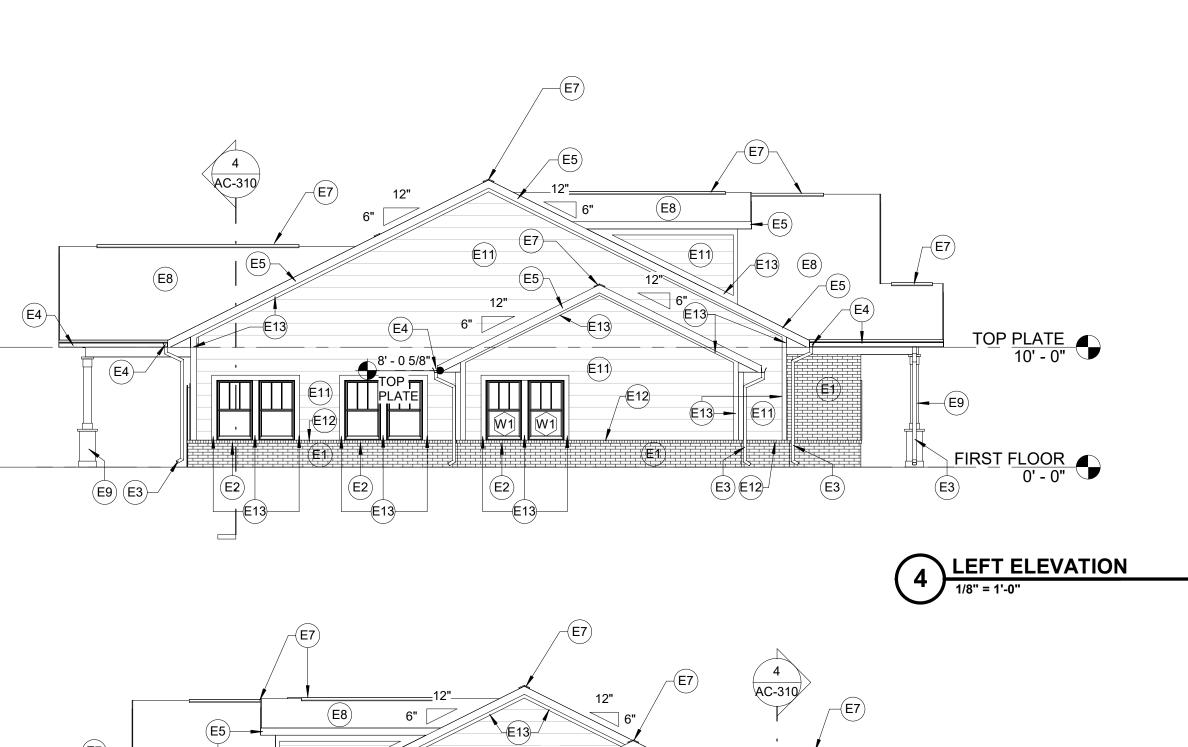
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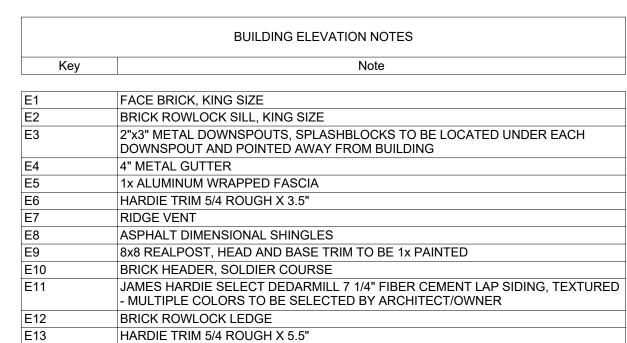
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MAINTENANCE/POOL HOUSE FLOOR PLAN AND DETAILS

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PAGE **18**







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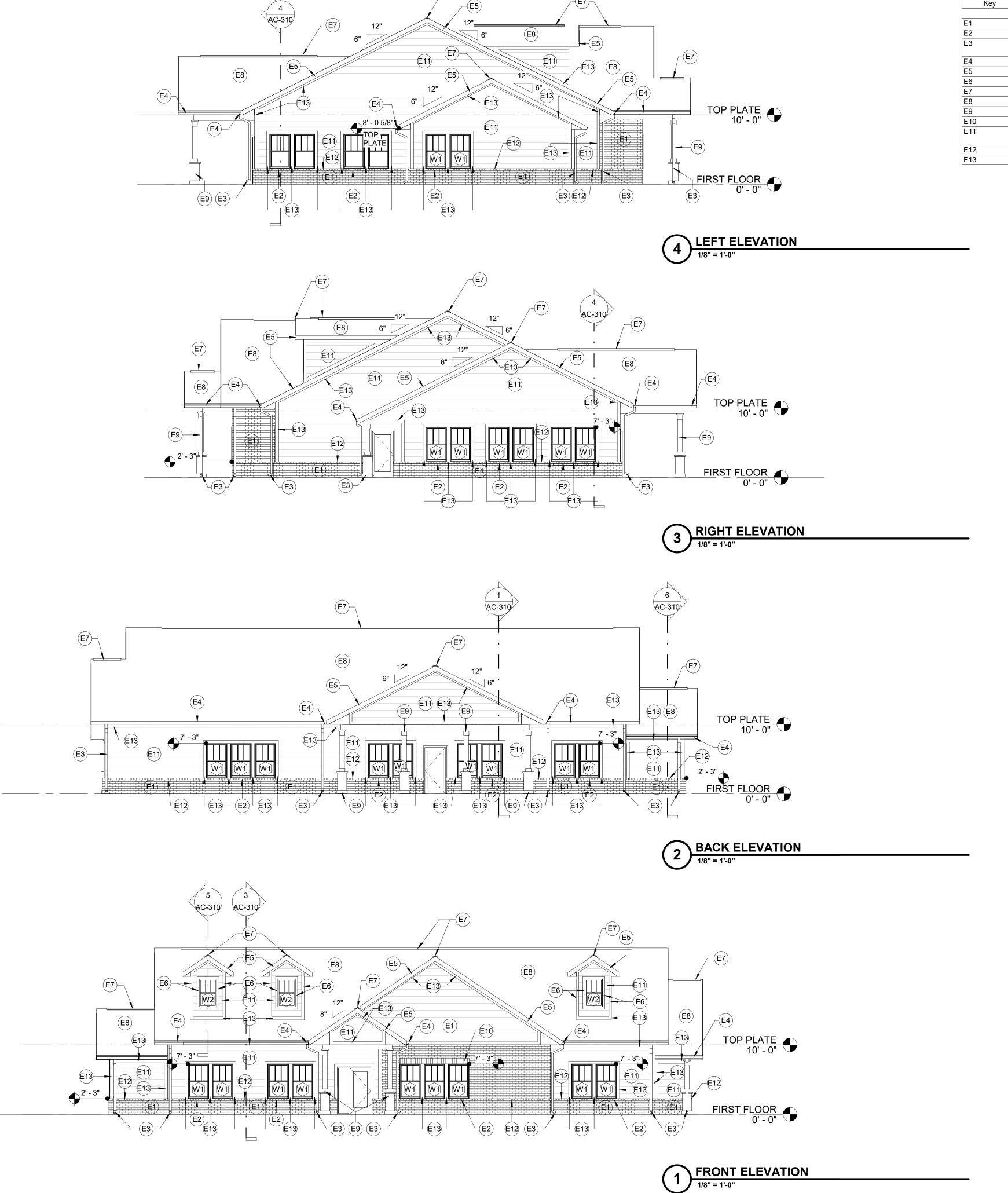
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SHEET TITLE

CLUBHOUSE **ELEVATIONS**

SHEET NUMBER



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PROJECT TITLE

ISSUED FOR: DATE REVISIONS DESCRIPTION

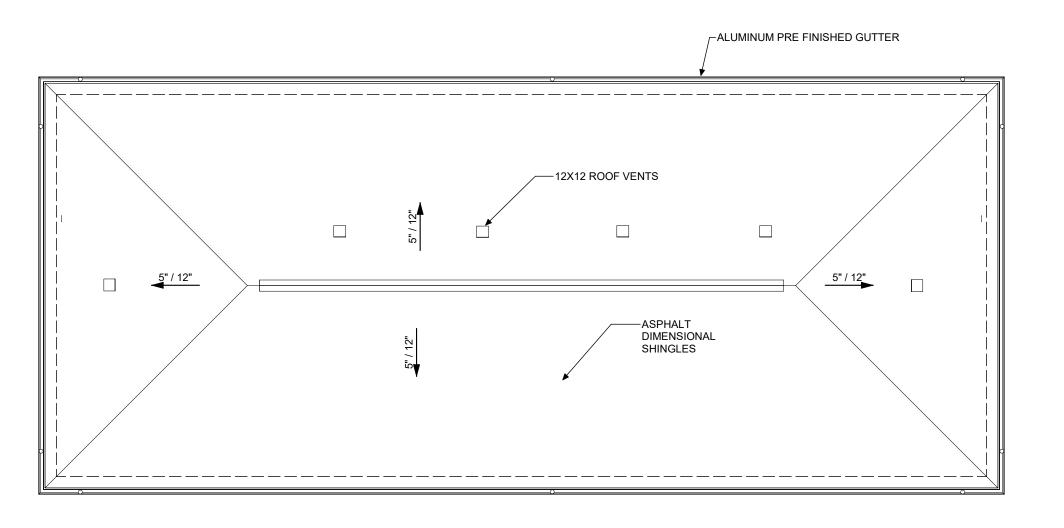
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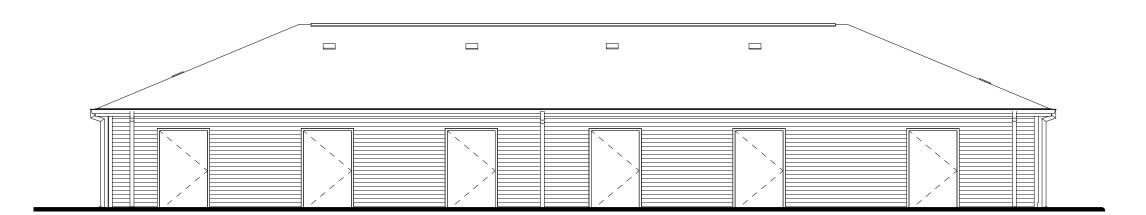
SHEET TITLE

TYPE A - ACCESSIBLE 6-BAY, 6 STORAGE GARAGE

SHEET NUMBER

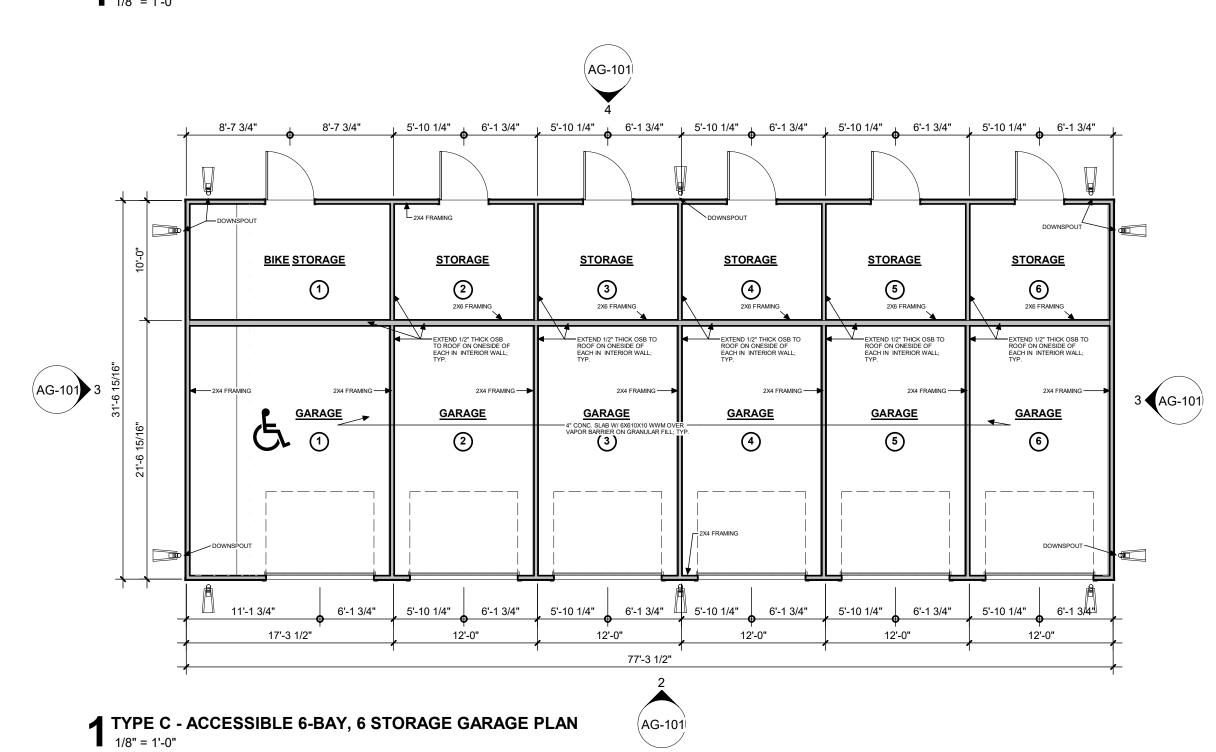


5 TYPE C - ACCESSIBLE 6-BAY, 6 STORAGE GARAGE ROOF PLAN 1/8" = 1'-0"



TYPE C - ACCESSIBLE 6-BAY, 6 STORAGE GARAGE REAR ELEVATION

1/8" = 1'-0"



—ASPHALT DIMENSIONAL SHINGLES —ALUM. HALF ROUND -FIBER-CEMENT

2 TYPE C - ACCESSIBLE 6-BAY, 6 STORAGE GARAGE FRONT ELEVATION 1/8" = 1'-0"

-12X12 ROOF VENTS — ASPHALT DIMENSIONAL SHINGLES —ALUM. HALF ROUND GUTTER —FIBER-CEMENT SIDING —ALUM. 4" DIA. DOWNSPOUT

EXTERIOR MATERIALS:

FIBER-CEMENT SIDING: 100%

TYPE C - ACCESSIBLE 6-BAY, 6 STORAGE GARAGE SIDE ELEVATION

1/8" = 1'-0"

SIDING

OVERHEAD DOOR WITH EMBOSSED PANELS

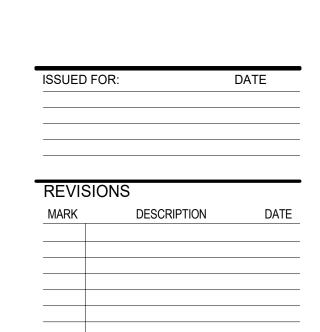
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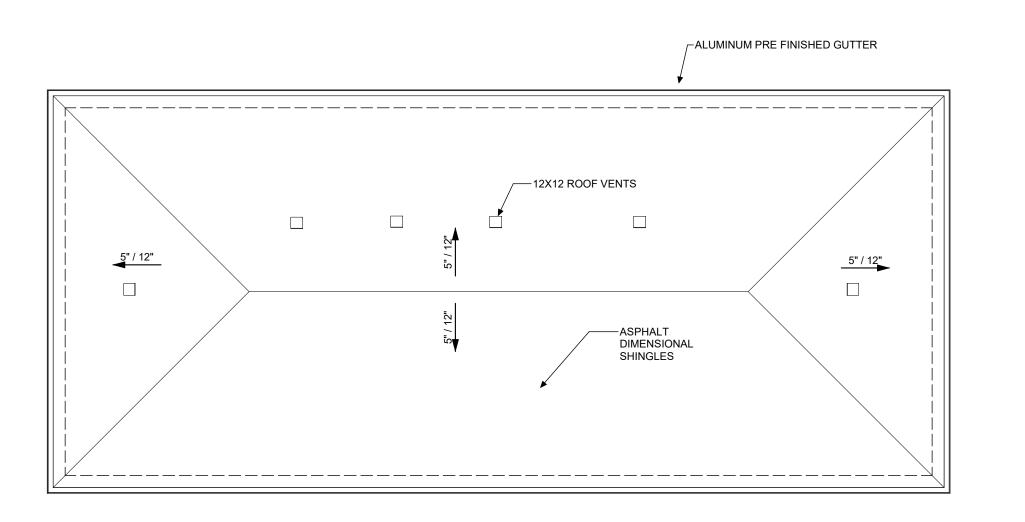
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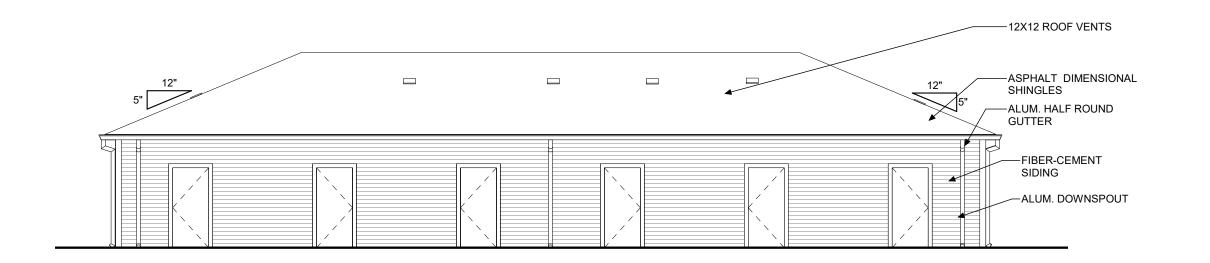
TYPE B - 6-BAY, 6 STORAGE GARAGE

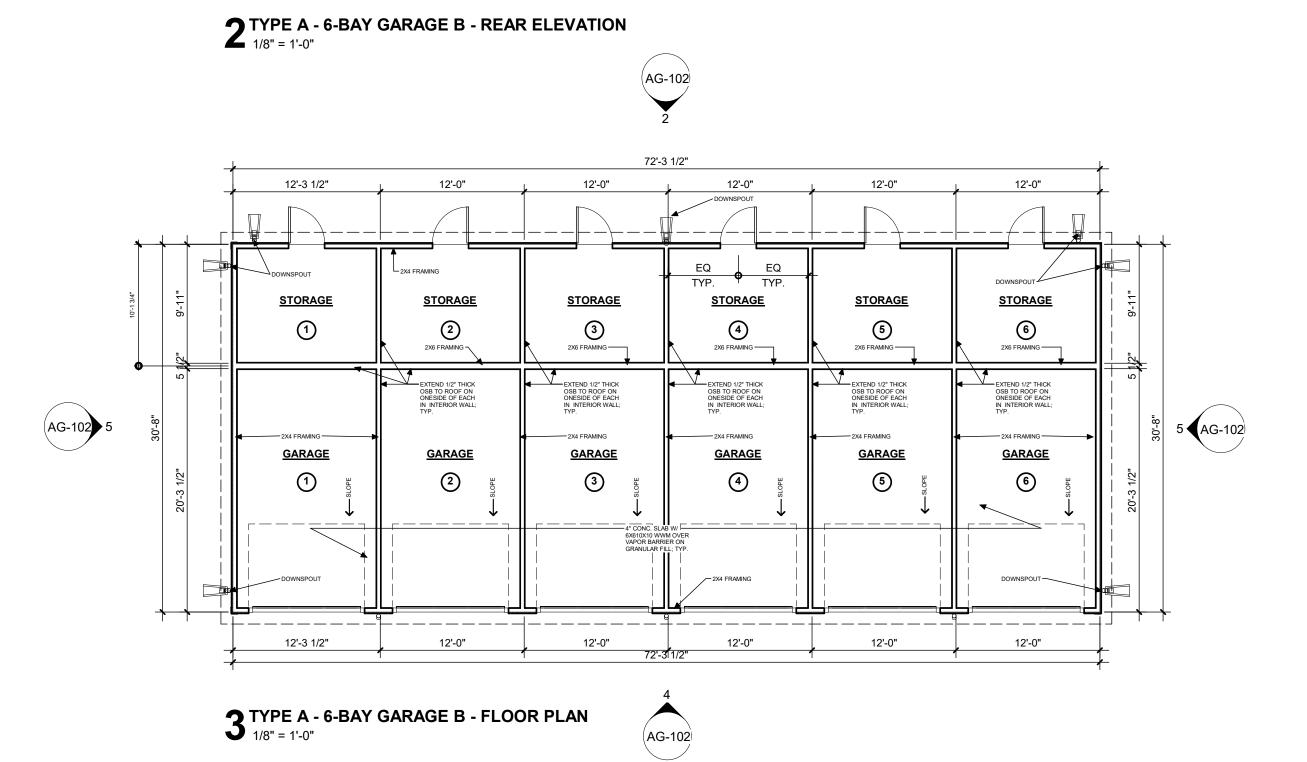
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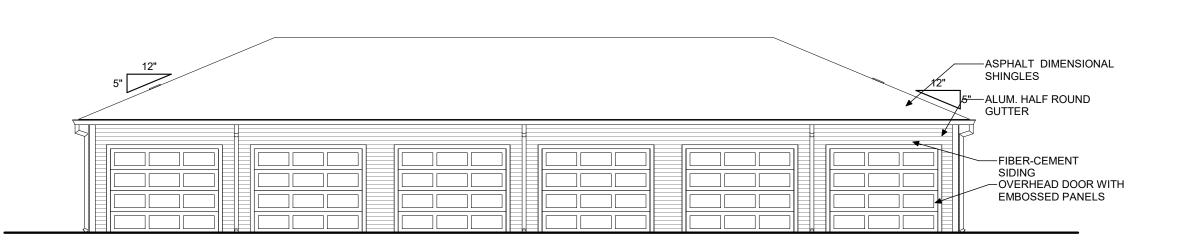
PAGE **71**



TYPE A - 6-BAY GARAGE B ROOF PLAN 1/8" = 1'-0"







TYPE A - 6-BAY GARAGE B - FRONT ELEVATION

1/8" = 1'-0"

EXTERIOR MATERIALS:

FIBER-CEMENT SIDING: 100%

12"

12X12 ROOF VENTS

ASPHALT DIMENSIONAL SHINGLES

ALUM. HALF ROUND GUTTER

9'-1"

PL. HGT.

FIBER-CEMENT SIDING

ALUM. 4" DIA.
DOWNSPOUT

5 TYPE A - 6-BAY GARAGE B - SIDE ELEVATION 1/8" = 1'-0"

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20-012

SHEET TITLE

TYPE C - 6-BAY, 12 STORAGE GARAGE

SHEET NUMBER

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_ALUMINUM PRE FINISHED GUTTER

5" / 12"

-12X12 ROOF VENTS

—ASPHALT DIMENSIONAL SHINGLES

ALUM. HALF ROUND
GUTTER

—FIBER-CEMENT SIDING

-ALUM. DOWNSPOUT

—12X12 ROOF VENTS

—ASPHALT DIMENSIONAL SHINGLES

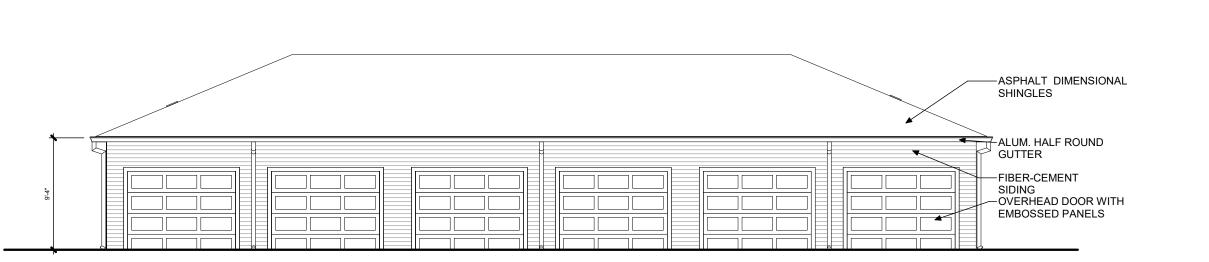
TYPE B- 6-BAY GARAGE A - FLOOR PLAN 1/8" = 1'-0"

6'-1 3/4" 5'-10 1/4" 5'-10 1/4" 5'-10 1/4" 6'-1 3/4"

TYPE B - 6-BAY GARAGE A - ROOF PLAN 1/8" = 1'-0"



5'-10 1/4" 6'-1 3/4"

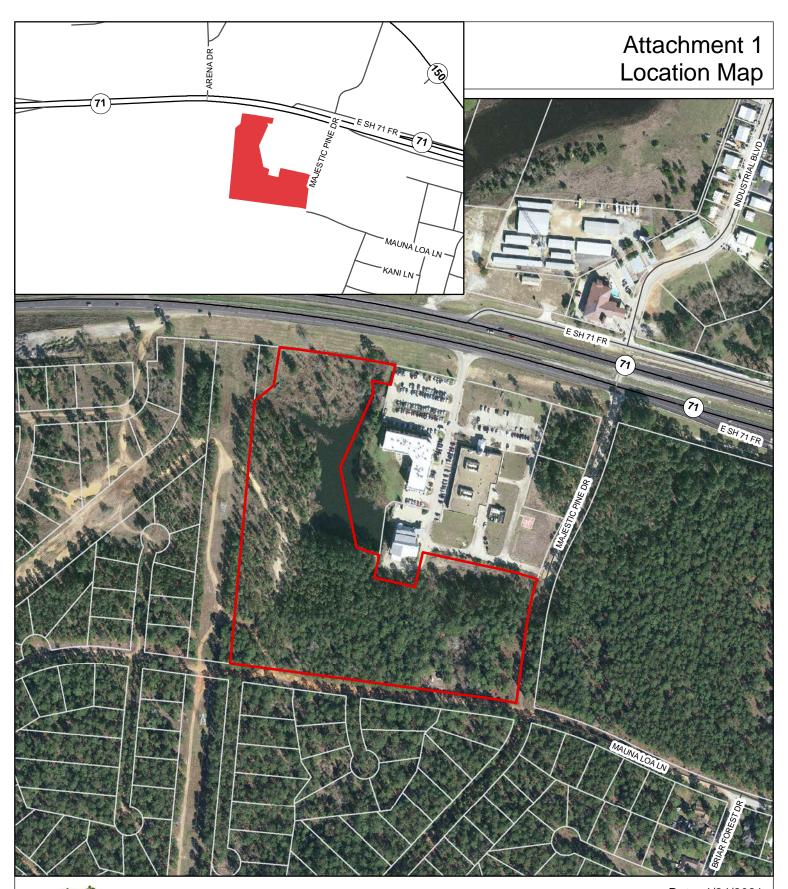


4 6BAY GARAGE + 12 STORAGE FRONT ELEVATION
1/8" = 1'-0"

EXTERIOR MATERIALS:

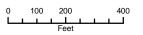
FIBER-CEMENT SIDING: 100%

J. 100 /0





Neighborhood Regulating Plan

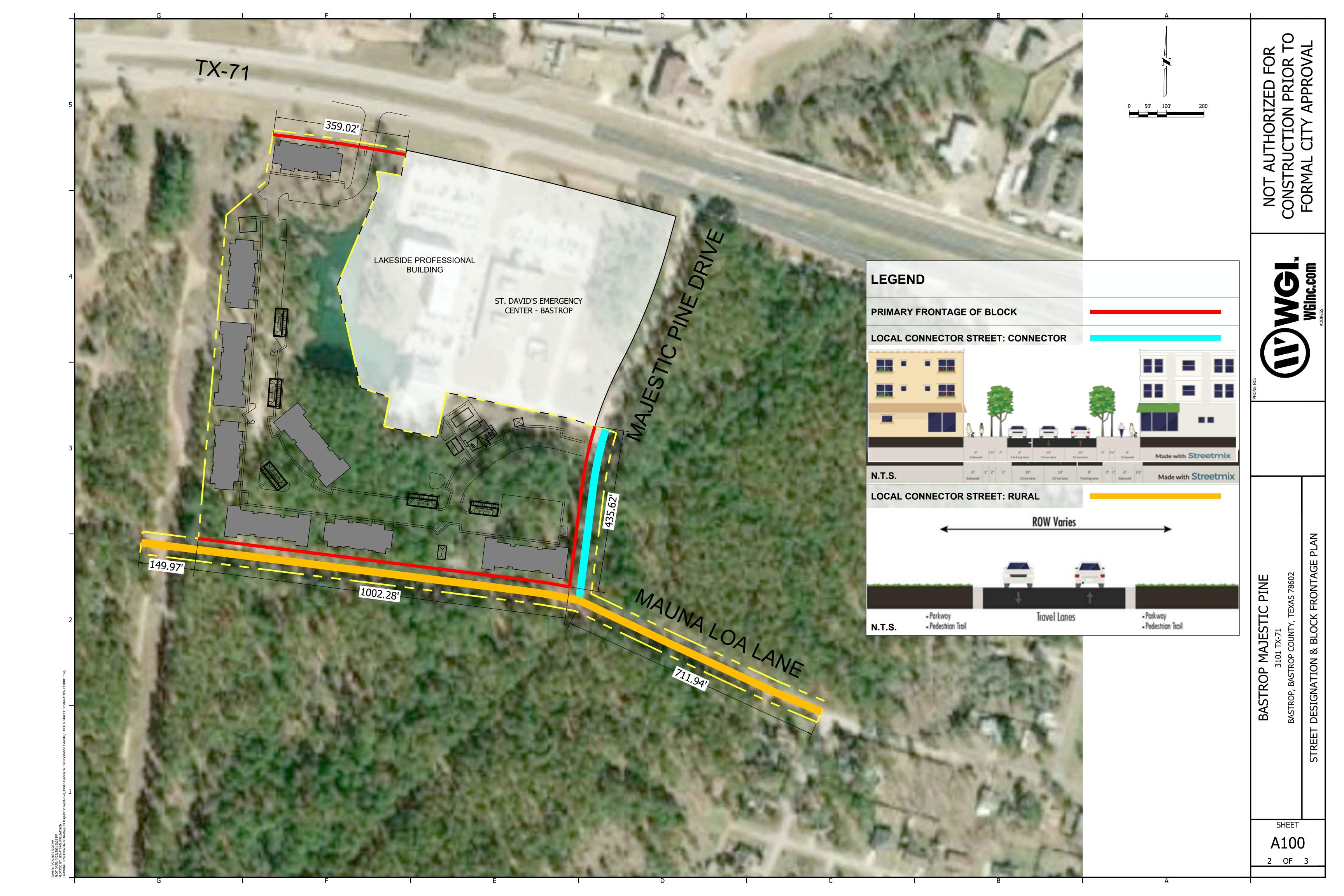


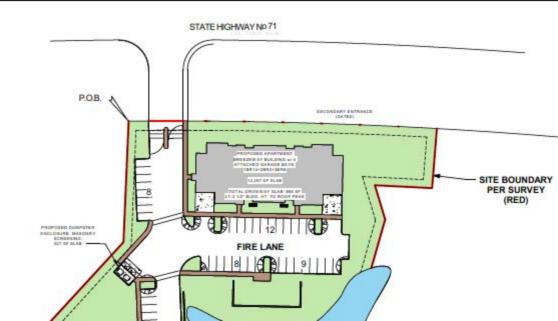
Majestic Pines Apartments

Date: 4/24/2021

Date: 4/24/2021

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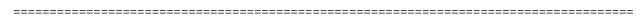
TO: Elena Sanders, Applicant

From: Trey Job, Assistant City Manager

Date: April 15, 2021

Subject: Warrant Determination - #21-000078 – Mauna Loa Street Type

- Approved



In order to approve a warrant one of the three B³ Code Intents must be met.

The intent of the Code is to establish the Standards that enable, encourage, and ensure the community achieves:

Fiscal Sustainability – new development and redevelopment must be done with a focus on the intersection of the Public and Private Realms. This is the area where city and utility infrastructure is maintained in a efficient manner and the commercial development creates a complete neighborhood.

This project continues the construction of Mauna Loa as a Rural Street (Section 7.3.013)
 which is appropriate and fiscally sustainable given the terrain and Lost Pines Habitat
 Conservation Plan.

Geographically Sensitive Developments – development will retain its natural form and visual character derived from the topography.

• Continuation of Mauna Loa Lane as a Rural Street cross section is consistent with the existing developed section, which corresponds to the existing topography of the area.

Perpetuation of Authentic Bastrop – The B³ Code will perpetuate the built form that has been predominate over the City's 189-year history. The recent trend of allowing parking and automobile traffic as the predominate feature has created a pattern that is contrary to the historical building patterns of the City and creates sites/buildings that are not adaptable and sustainable in the long-term.

 This site is a transitional commercial area between the highway and the adjacent neighborhood to the south. Mauna Loa Lane serves as an informal division between the commercial and residential area and even though these are zoned as Place Type 5 and Place Type 3, in this instance, a Rural Street is appropriate, when usually allowed in Place Type 2 zoning (Section 7.3.013).

Sincerely,

Trey Job

Assistant City Manager

TO: Elena Sanders, Applicant

From: Trey Job, Assistant City Manager

Date: April 15, 2021

Subject: Warrant Determination - #21-000077 - Block Size - **Denied**

In order to approve a warrant, at least one of the three B³ Code Intents must be met.

The intent of the Code is to establish the Standards that enable, encourage, and ensure the community achieves:

Fiscal Sustainability – new development and redevelopment must be done with a focus on the intersection of the Public and Private Realms. This is the area where city and utility infrastructure is maintained in an efficient manner and the development creates a complete neighborhood.

• This project proposes limit the interaction between the Public and Private Realms and create a large block that limits pedestrian and multimodal access through the area.

Geographically Sensitive Developments – development will retain its natural form and visual character derived from the topography.

- This site includes a number of driveways and parking lots which will require grading and filling in of the natural terrain. This is not geographically sensitive to the area. If the site is to be altered in order to put in private drive aisle and parking lots, the smaller block structure could be provided for with internal streets.
- The development should be constructed in a way to enhance and preserve the natural terrain and vegetation. The development proposes to grade the site and remove trees.

Perpetuation of Authentic Bastrop – The B³ Code will perpetuate the built form that has been predominant over the City's 189-year history. The recent trend of allowing parking and automobile traffic as the predominant feature has created a pattern that is contrary to the historical building patterns of the City and creates sites/buildings that are not adaptable and sustainable in the long-term.

While other sites in the area perpetuate this pattern, this site is a transitional commercial
area between the highway and the adjacent neighborhood to the south and should create
connectivity for automobile traffic from the highway into the neighborhood and public
sidewalks/trails for pedestrians within the neighborhood.

Sincerely,

Trey Job

Assistant City Manager



Warrant Checklist

Code Sections requiring Warrants

Code Reference	Requested Deviation



Warrant Checklist

Justification for Request

An Intent Statement providing justification	for a Warrant Request to be considered.	

Intents of the B ³ Code		
1.	Fiscal Sustainability	
2	Cooperathically Consitive Developments	
2.	Geographically Sensitive Developments	
3.	Perpetuation of Authentic Bastrop	



STAFF REPORT

MEETING DATE: April 29, 2021 AGENDA ITEM: 3E

TITLE:

Consider action to deny a Building Placement Warrant Request and Parking Lot Placement Warrant Request for The Leaning Place at Lost Pines being 1.160 acres out of the Riverside Grove Subdivision Phase 1, Block A, Lot 33, located west of Hasler Shores Drive.

STAFF REPRESENTATIVE:

Jennifer C. Bills, AICP, LEED AP, Assistant Planning Director Allison Land, Planner II

ITEM DETAILS:

Site Address: TBD Hasler Shores Blvd (Attachment 1)

Total Acreage: 1.160 acres

Legal Description: Riverside Grove Subdivision Phase 1, Block A, Lot 33

Property Owner: JoAnne and Danny Rountree

Agent Contact: Erin Abbey, Arnold Custom Builders

Existing Use: Vacant/Undeveloped

Existing Zoning: P5 Core

Adopted Plan: Bastrop Building Block Code adopted November 12, 2019

Future Land Use: Neighborhood Commercial

BACKGROUND/HISTORY:

The applicant submitted Warrant applications to request an increase to the build-to line and to allow parking in the first layer instead of third layer. Buildings are intended to be pulled closer to the street, which prioritizes non-vehicular traffic and creates a sustainable built environment. By moving buildings close to the road, parking is moved behind the front of the building toward the rear of the lot. This allows pedestrians and bicycle traffic a more welcoming and less dangerous path to the building, with fewer places and less distance for vehicular conflict, while still allowing vehicular access. In this case, the proposed use is a child care center, which will experience peak times for vehicular traffic. Keeping true to the B³ Code with parking in the rear will allow more space off-street for vehicular queuing during those peak times.

POLICY EXPLANATION:

Warrants are reviewed and approved by the Development Review Committee. Appeals are approved by the Planning & Zoning Commission.

Bastrop Building Block Code Chapter 10 Definitions

Warrant shall mean a ruling that would permit a practice that is not consistent with a specific provision of this Code, but that is justified by its Intent. Warrants are granted administratively by the DRC.

Bastrop Building Block Code Section 1.3.005 Warrants and Variances

The Development Review Committee (DRC) has the discretion to approve any Neighborhood Regulating Plan, Public Frontage submittal, Administrative Plat, Site Development, and/or building permit that deviates less than 5% from any specific standard prescribed in the Code.

The requested deviation was greater than 5%.

If not approved or the deviation is greater than 5%, the Applicant may request a Warrant or a Variance. The type of Application is determined by the DRC.

The Warrants were accepted for review on March 16, 2021. One requested an increased build-to line distance and one requested parking in the first layer.

The DRC shall have the authority to approve or disapprove administratively a request for a Warrant.

The Development Review Committee disapproved the requests on April 7, 2021.

Bastrop Building Block Code Intent

The intent of the Code is to establish the Standards that enable, encourage, and ensure the community achieves:

- √ Fiscal Sustainability
- √ Geographically Sensitive Developments
- ✓ Perpetuation of Authentic Bastrop

Fiscal Sustainability:

This project proposes to set the building past the maximum build-to line and place multiple rows of parking that will create a firm barrier between the Public and Private Realm, separating the built form from the existing neighborhood.

Geographically Sensitive Developments:

This site does not contain any geography that would prevent placement of the building and parking as required by the B³ Code.

Perpetuation of Authentic Bastrop:

While other sites in the area perpetuate a sprawl pattern and have deviated from the Authentic Bastrop pattern, this site is directly adjacent to the neighborhood and should create a transition area for pedestrians. Neighboring sites that redevelopment or expand will be required to comply with the B³ Code and transition to a sustainable pattern.

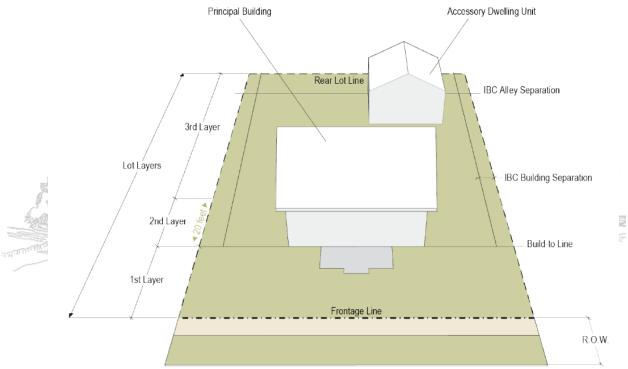
Bastrop Building Block Code Section 6.5.003 Building Standards Per Place Type Build-to Line in P5 is 2 feet to 15 feet.

The conceptual site plan shows the proposed building set back greater than 130 feet from the front property line.

Bastrop Building Block Code Section 6.3.006 Parking

On-site surface parking must be located in the Second Layer or Third Layer of each Lot as defined by the Place Type Standards.

P5 Core requires parking to be located in the Third Layer, which is located greater than or equal to 20 feet behind the front façade of the building. See Code illustration.



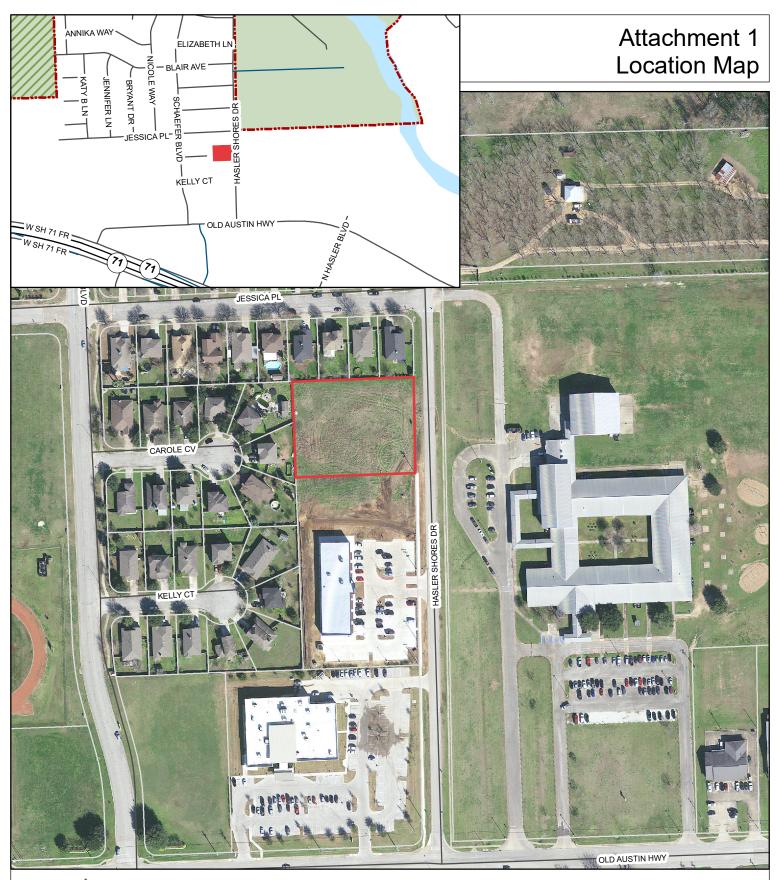
The applicant requested for the parking to be located in the First Layer, which is in front of the building behind the front property line (frontage line).

RECOMMENDATION:

Consider action to deny a Building Placement Warrant Request and Parking Lot Placement Warrant Request for The Leaning Place at Lost Pines being 1.160 acres out of the Riverside Grove Subdivision Phase 1, Block A, Lot 33, located west of Hasler Shores Drive.

ATTACHMENTS:

- Attachment 1: Location Map
- Attachment 2: Riverside Grove Warrants 21-000059 21-000060 Denied
- Attachment 3: Conceptual Site Plan





Riverside Grove Phase 1 Block A Lot 33 Warrant Appeal

1 inch = 200 feet

Date: 4/26/2021

Date: 4/20/2021
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TO: Erin Abbey, Applicant

From: Trey Job, Assistant City Manager

Date: April 7, 2021

Subject: Warrant Determination - #21-000059 & #21-000060 - Denied



In order to approve a warrant one of the three B³ Code Intents must be met.

The intent of the Code is to establish the Standards that enable, encourage, and ensure the community achieves:

Fiscal Sustainability – new development and redevelopment must be done with a focus on the intersection of the Public and Private Realms. This is the area where city and utility infrastructure is maintained in a efficient manner and the commercial development creates a complete neighborhood.

This project proposes to set the building past the maximum build-to line and place multiple
rows of parking that will create a firm barrier between the Public and Private Realm,
separating the built form from the existing neighborhood.

Geographically Sensitive Developments – development will retain its natural form and visual character derived from the topography.

• This site does not contain any geography that would prevent placement of the building and parking required by the B³ Code.

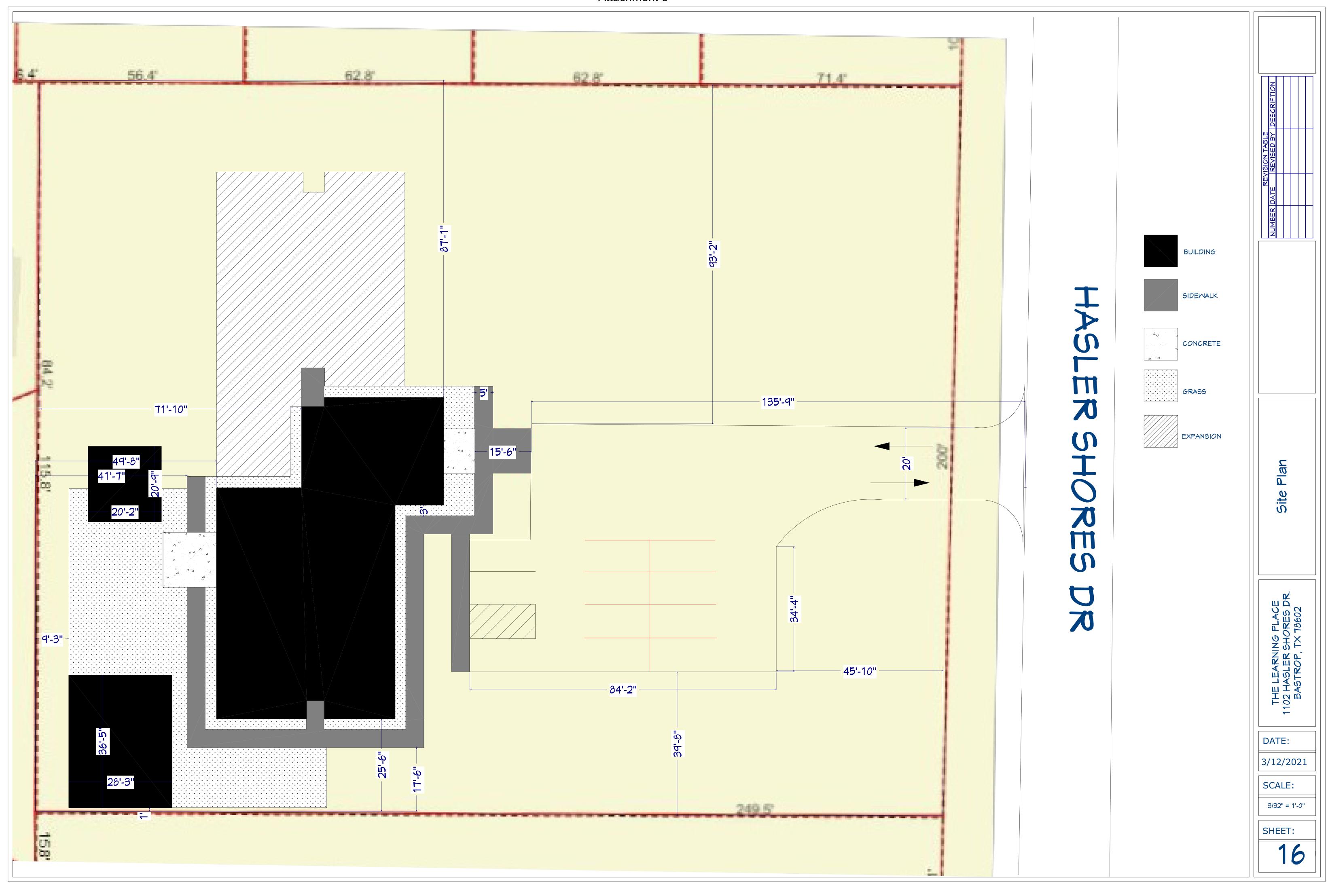
Perpetuation of Authentic Bastrop – The B³ Code will perpetuate the built form that has been predominate over the City's 189-year history. The recent trend of allowing parking and automobile traffic as the predominate feature has created a pattern that is contrary to the historical building patterns of the City and creates sites/buildings that are not adaptable and sustainable in the long-term.

• While other sites in the area perpetuate this pattern, this site is directly adjacent to the neighborhood and should create a transition area for pedestrians. Neighboring sites that redevelopment or expand will be required to comply with the B³ Code and transition to a sustainable pattern.

Sincerely,

Trey Job

Assistant City Manager





STAFF REPORT

MEETING DATE: April 29, 2021 AGENDA ITEM: 3F

TITLE:

Public hearing and consider action to recommend approval of an ordinance for amendments to Chapter 8 – Signs, including, Section 8.1.007 Non-conforming Signs, Section 8.1.009 Signs Requiring a Permit, Section 8.1.011 Sign Permit Requirements, Article 8.2 Master Plans, Article 8.3 On-Premises Sign Types & Standards, and Article 8.4 Temporary Signs, and Chapter 10 – Section 10.1.002 Definitions of the Bastrop Building Block B3 Code and forward to the May 25, 2021 City Council meeting for adoption.

STAFF REPRESENTATIVE:

Jennifer C. Bills, AICP, LEED AP, Assistant Planning Director

BACKGROUND/HISTORY:

At the January 28, 2021 Planning and Zoning Commission Meeting, the Assistant Planning Director provided an update on the Bastrop Building Block (B³) Code and provided specific sections of the Code that need some revisions that staff has identified during the implementation phase. Chapter 8 – Signs is a part of the code that the business community has provided feedback on, especially on the State Highway 71 and State Highway 95 corridors.

Summary of Amendments

Section 8.1.007 Non-conforming Signs

 Added language for applicable standards from the previous code that apply to existing non-conforming Electronic Message Signs.

Section 8.1.009 Signs Requiring a Permit

- Removed Address Sign. Addresses are required in the International Building Code and International Fire Code. Remove any references from Chapter 8 as size requirements conflict with adopted I-Codes.
- Reorganized Freestanding Signs list to include all freestanding sign types (directional, monument and pylon/pole.) Added applicable standards for each sign type.
- Added Internal Illumination Standards in addition to External Illumination Requirement.
 - Internal illumination shall not operate at brightness levels of more than 0.2 foot-candles above ambient light conditions at the property line, as measured using a foot-candle meter. The total lumen output of all signs

cannot exceed 10% of the total lumen allowance in Section 6.6 – Outdoor Lighting.

- Added Sign Corridors for SH 71, SH 95 and Loop 150 south of the bridge.
 - Locations for Sign Corridors:
 - SH 71 Corridor. The area located 720 feet from the center line of the adjacent main lane of State Highway 71.
 - SH 95 Corridor. The area located 330 feet from the center lane of the lane of State Highway 95.
 - Loop 150 Corridor. The area located 330 feet from the center lane of Loop 150, south of the Colorado River.
- Added Incidental signs definition signs that are intended for the convenience of the public, which are informational only, and which do not include the advertising of products or services. Such signs include business hours signs, credit card signs, entrance and exit signs, and similar signs, some of which may be required by law for safety purposes. Cannot be illuminated. Total signage on buildings will count towards 15% total sign area. Individual signs cannot be greater than 12 square feet.

Section 8.1.011 Sign Permit Requirements

- Added clarification of when Warrants can be requested and approval process by the Sign Administrator.
- Appeals of denials are forward to Zoning Board of Adjustments instead of Planning & Zoning Commission, to be consistent with other sign review complaints and variances.

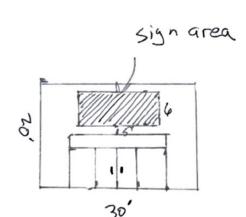
Article 8.2 Master Plans

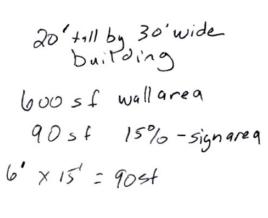
 Clarified what elements can be approved in a Master Plan. Not appropriate for a single tenant site. Cannot include sign types not allowed in that Place Type. Cannot include changes to non-conforming signs.

Article 8.3 On-Premise Sign Types & Standards

- a) Awnings & Signs. Added standards for flat roof awning, which are prevalent in Bastrop.
- c) Band Signs SH 71, SH 95, & Loop 150 Added standards for Corridors
 - Band signs allowed on street facing facades.
 - Band Size allowance will be calculated as maximum of 15% of the area of the tallest story.
 - Sites that install a Band Signs over 4 feet in height cannot have Pylon/Pole signs and are limited to a Monument Sign 8 feet in height.

Band Sign Example Proposed Standard





- Split Monument and Pylon/Pole Standards into two separate tables.
 - Added Internal Illumination to Monument Signs and Pole/Pylon Signs along SH 71, SH 95 and Loop 150 Corridors.
 - o Added maximum height of 6 feet for Monument Signs in P5 not in a Corridor...
 - Added allowance to apply for a warrant for internal illumination on Monument Signs outside of Sign Corridors
- Article 8.4 Temporary Signs
 - Added permit requirements for Banner, Construction Site, and Development Information Signs.
 - Removed requirements/reference to the Central Business District (pre-2015 zoning district)
 - Removed Light Pole-mounted Banners. Banners on city owned poles are regulated under Government Signs.
- Chapter 10 Definitions Sign Administrator (page 244).
 - Amended from City Council appointed to the Director of Planning & Development or designee.

The Planning & Zoning Commission recommendation will be forwarded to the City Council Meeting on May 25, 2021 for Public Hearing and First Reading of the Ordinance to adopt amendments.

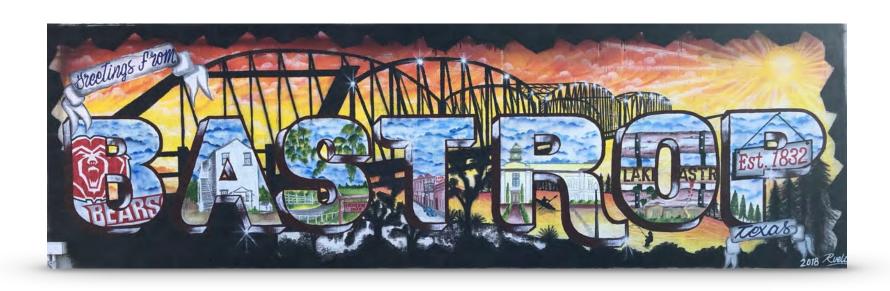
RECOMMENDATION:

Hold public hearing and consider action to recommend approval of an ordinance for amendments to Chapter 8 – Signs, including Section 8.1.007 Non-conforming Signs, Section 8.1.009 Signs Requiring a Permit, Section 8.1.011 Sign Permit Requirements, Article 8.2 Master Plans, Article 8.3 On-Premises Sign Types & Standards, and Article 8.4 Temporary Signs, and Chapter 10 – Section 10.1.002 Definitions of the Bastrop Building Block B3 Code and forward to the May 25, 2021 City Council meeting for adoption.

ATTACHMENTS:

Draft Amendments to Bastrop Building Block (B3) Code: Chapter 8 – Signs & Chapter 10:
 Definitions

CHAPTER 8: SIGNS



CHAPTER 8: SIGNS 164 of 249

ARTICLE 8.1 SIGNS

SEC. 8.1.001 INTENT

The intent of regulating Signs that are visible from the Public Frontage is to ensure proper dimensioning and placement with respect to existing or planned architectural features, to maintain or improve public safety, to maintain or improve the aesthetic character of the context where they are located, and to provide legible information for pedestrians, not just drivers.

SEC. 8.1.002 PURPOSE

The purpose of a Sign permit is to authorize the display, erection, rebuilding, restructuring, expansion, relocation, or structural Alteration of any on-premise or Off-Premise Sign.

SEC. 8.1.003 APPLICABILITY

These Standards apply to all property within the City Limits and the ETJ of the City of Bastrop as it exists at the time this Code was adopted and as it may be amended and expanded in the future.

SEC. 8.1.004 ENFORCEMENT

- (a) It is an offense for a person to violate, a section of this chapter designated as an offense commits a misdemeanor punishable by a fine. A violation occurs when a person violates or causes, allows, or permits a violation of this chapter.
- (b) Each violation of this chapter designated as an offense constitutes a separate offense.
- (c) No culpable mental state is required to prove an offense under this chapter if this offense involves:
 - (1) Placement of a Sign in the right-of-way;
 - (2) Placement of a Sign in another person's property without the person's permission; or,
 - (3) Placement of a Sign that encumbers access to a person's property or encumbers use of a Street, Sidewalk, trail, Path, or Driveway.
 - (4) Placement of a sign unlawfully situated in a required Sight Triangle.

CHAPTER 8: SIGNS 165 of 249

SEC. 8.1.005 PROHIBITED SIGNS

- (a) All Signs are prohibited in the City Limits and the Extraterritorial Jurisdiction (ETJ) unless:
 - Constructed, maintained, structurally altered, or improved pursuant to a valid permit when required under this Code; and,
 - (2) Expressly authorized under the City of Bastrop's B³ Code.
- (b) Signs that cannot be expressly authorized include:
 - (1) Signs located in or projected over any public right-ofway or across the public right-of-way line extended across a railroad right-of-way, except when attached to and projecting no more than 18 inches from a Building wall legally located at or near the right-of-way line in the City Limits or in the ETJ.
 - (2) Portable Signs.
 - (3) Off-Premise Sign (including Billboards) containing Commercial advertising for the sale, rent, or lease of goods, real property, or services.

- (4) Signs with lights that blink, fluctuate, or move. Light rays must shine only upon the Sign and upon the property within the Premises where the Sign is located.
- (5) Signs of a size, location, movement, coloring, or manner of illuminating that may be confused with or construed as a traffic control device.
- (6) Signs that are attached to any utility pole or wire, traffic Sign, or public easement or are placed on government-owned property unless placed by written permission of the governmental entity.
- (7) Signs that obstruct any fire escape, required exit, window, or door opening intended as a means of egress.
- (8) Boxes, tires, or other goods stored in view of the Street, etc. that have large product identification that serves as a Sign.
- (9) Feather Banners.
- (10) Commercial Signs or advertising materials that are worn, held, or attached to a person's body advertising the sale of goods, real property, or services.

(11) Balloon Signs.

CHAPTER 8: SIGNS 166 of 249

- (12) Inflatable Signs.
- (13) Pennants.
- (14) Pole Signs other than along Hwy. 71.
- (15) Roof Signs (including Signs that are otherwise authorized but are placed on a roof or on a Mobile Food Vendor or vehicle).
- (16) Signs placed or attached to trees, bushes, planters, benches, or other Pedestrian elements.
- (17) Signs on trash receptacles except for Signs that are required by law, provide direction on the trash receptacle's use, provide safety instructions, or are otherwise customarily found on trash receptacles as a means of identifying the trash collection company.
- (18) Flags with a Commercial message.

SEC. 8.1.006 OFF-PREMISE SIGNS (BILLBOARDS)

- (a) No permit for Alteration or relocation may be issued for an off-Premises Signs.
- (b) Alteration. An off-Premises Sign may not be altered regarding amount of surface area, shape, orientation,

- Height, illumination, or location without the prior issuance of a Sign Alteration or relocation permit. Ordinary and routine necessary repairs that do not change the size, shape, orientation, Height, illumination, or location of an inventoried off-Premises Sign do not require an Alteration permit. A Sign Alteration permit expires if the approved modifications are not completed within 90 days of permit issuance.
- (c) Maintenance. If the City finds that any off-Premises Sign is not maintained in good repair, the City will notify and order the owner to repair the Sign within 30 calendar days. If the City finds that the Sign Structure or Sign areaof an off-Premises Sign has deteriorated more than 60% of its replacement value or is not repaired within 30calendar days, the City shall notify the owner of the off- Premises Sign and the owner of the real property where the off-Premises Sign is located to remove the off- Premises Sign or poster panel from the property within a specified time. Replacement of more than 60% of an off- Premises Sign during one calendar year shall void the legal nonconforming status of the Sign and require immediate Removal or conformance with current Standards, All off-Premises Signs ordered to be removedshall be stricken from the authorized list.

CHAPTER 8: SIGNS 167 of 249

(d) No existing billboard shall exceed 40 feet in Height from the ground level. No existing billboard shall interfere with the visibility of pedestrians or drivers of motor vehicles at Street intersections or otherwise obstruct traffic or create a traffic hazard.

SEC. 8.1.007 NONCONFORMING SIGNS

- (a) Signs in Existence Prior to this Code. A Sign existing on the effective date of the Development Code that violates this Article or any other ordinance, and a Sign that comes under the jurisdiction of this Chapter due to theexpansion of the City, is a legal Nonconforming Sign andmay be continued, repaired, and maintained in goodcondition, but may not be otherwise altered.
- (b) Voluntary Removal. Voluntary Removal of a Nonconforming Sign for purposes other than maintenance shall terminate its status as a legal Nonconforming Sign. Replacing a Sign cabinet is not considered maintenance.
- (c) Existing Electronic Message Signs must meet the following standards:
 - (1) Illumination:
 - A. No sign shall be brighter than is necessary for clear and adequate visibility.
 - B. No sign shall be of such intensity or brilliance as to impair the vision of a motor vehicle driver or to otherwise interfere with the driver's operation of a motor vehicle.

- C. No sign shall be of such intensity or brilliance that it interferes with the effectiveness of an official traffic-control sign, device or signal.
- D. All signs must be equipped with a mechanism that automatically adjusts the brightness of the display in response to ambient conditions, such that the display is automatically dimmed as ambient light levels decrease.
- E. The illumination of a sign at full brightness shall not exceed 0.3 footcandles above the footcandle level with the sign turned off when both measurements are taken perpendicular to the sign at a distance determined by the following formula: measurement distance = square root of area of sign in square feet × 100.
- F. All signs shall contain a default mechanism that will cause the sign to revert immediately to a black screen if the sign malfunctions.

(2) Changing Message:

- A. Any change of pictures or information on the sign shall not produce the illusion of scrolling, moving objects, expanding or contracting shapes, rotation, or any similar effect of animation.
- B. Any change of pictures or information on the sign shall not change more often than once every eight (8) seconds except for message display of time or temperature. Each change of pictures or information must constitute a complete phrase or thought and not be the completion of a previous phrase or thought. Each change of pictures or information must be completed in two (2) seconds or less and may not include visually distracting techniques such as flashing, racing, strobing, twinkling, animation, etc.

CHAPTER 8: SIGNS 168 of 249

SEC. 8.1.008 EXEMPTED SIGNS

(a) The following Signs authorized under this Section are authorized in every Place Type or property in the ETJ without a permit, unless specifically required below:

- (1) Government Signs including Signs placed by the City, state, or federal government governing in their official capacity.
- (2) Traffic control devices that are erected and maintained to comply with the Texas Manual on Uniform Traffic Control Devices.
- (3) Signs required by this section.
- (4) Signs required by other law, including federal, state, or local law, including a Sign that a property owner is required to post on the owner's property to warn of a danger or to prohibit access to the property either generally or specifically; the owner must comply with the federal, state, or local law to post a Sign on the property.
- (5) Official governmental notices and notices posted by governmental officers in the performance of their duties for regulatory purposes such as neighborhood crime watch areas, to identify Streets, or to warn of danger including those placed by the City, County, federal or state.

CHAPTER 8: SIGNS 169 of 249

- (6) Signs displayed on trucks, buses, trailers, mobile food vendors, or other vehicles that are less than 32 square feet and are being operated as motor vehicles, provided that the primary purpose of the vehicles is not for display of Signs and provided that they are parked in areas appropriate to their use as vehicles, are in operable condition, and carry a current and valid license plate and state inspection tag. Vehicle Signs shall conform to the following restrictions:
 - A. Vehicular Signs shall contain no flashing or moving elements;
 - B. Vehicular Signs shall not be attached to a vehicle so that the driver's vision is obstructed from any angle; and,
 - C. Signs, lights and signals used by authorized emergency vehicles shall not be restricted.
- (7) Vending Machine Signs where the Sign Face is not larger than the normal dimensions of the machine to that the Sign is attached.
- (8) Memorial Signs or tablets when cut into any masonry surface or attached to a Building when constructed of

bronze or other metal up to 6 square feet as part of a Building.

- (9) Real Estate Signs.
 - A. Signs containing the message that the real estate where the Sign is located is for sale, lease, or rent together with information identifying the owner or agent.
 - B. A real estate Sign may not exceed 4 square feet in size for Residential properties or 16 square feet in size for Nonresidential properties.
- (10) Any Sign wholly within the confines of a Building and oriented to be out of view from outside the Building.
- (11) Any Sign wholly within the confines of a sports field or court and oriented to be out of view from outside the field or court. No Sign under this section may be larger than 32 square feet. The maximum Height for a field Sign shall not exceed 6 feet.
- (12) A non-Commercial Sign that is carried by a person or is a bumper sticker on a vehicle.

CHAPTER 8: SIGNS 170 of 249

- (13) Business-related Signs on or visible through doors or windows indicating: store hours, security systems,trade organization memberships, credit cardsaccepted, no solicitation, and open/closed. These Signs will not count towards the cumulative Sign area limits so long as their total cumulative Sign area does not exceed 5 square feet.
- (14) Changing a Commercial message to a noncommercial message on any legal Sign surface. Any Sign surface where a Commercial message may contain a noncommercial message.

SEC. 8.1.009 SIGNS REQUIRING A PERMIT

(a) Building Signs:

A Building Sign is an on-Premises Sign that is directly attached to, erected on, or supported by a Building or other Structure having a principal function other than the support of such Sign.

- (1) Building Signs Types:
 - A. Awning Sign
 - B. Band Sign

- C. Blade Sign
- D. Marquee Sign
- E. Nameplate Sign
- F. Outdoor Display Case Sign
- G. Window Sign
- (2) General Requirements:
 - A. Size. The maximum size of the sum of the area of all Building Signs may not exceed 15% of the Facade area of the tallest floor.
 - B. Number. More than one Building Sign may be erected, provided the total surface area allowed is not exceeded.
 - C. Height. No Building Sign may extend above the parapet wall or roof line of the Building.
 - D. Projection / Clearance. With the exception of a blade Sign, no Building Sign may project more than 7 inches from the Building wall. All Signs that project more than 7 inches from the wall must maintain a clear Height of 8 feet above the ground.

CHAPTER 8: SIGNS 171 of 249

- E. Illumination. Building Signs may only be externally illuminated, except for Band Signs in the SH 71, SH 95 or Loop 150 Corridors. No Sign may be illuminated except during operating hours of the use with which it is associated. Lighting shall be directly directed down toward the Sign and shielded so that it does not shine directly into a public right-of-way and does not interfere with the safe vision of motorists or people passing by. All Standards must meet the Lighting Standards within this Code. Internal illumination shall not operate at brightness levels of more than 0.2 foot-candles above ambient light conditions at the property line, as measured using a foot-candle meter. The total lumen output of all signs cannot exceed 10% of the total lumen allowance in Section 6.6 - Outdoor Lighting.
- (b) Freestanding Signs:

A Freestanding Sign is an on-Premises Sign not directly attached to, erected on, or supported by a Building or other Structure having a principal function other than the support of such Sign, but instead attached to, erected on, or supported by some Structure such as a pole, frame, or other Structure that is not a part of the Building.

- (1) Small Freestanding Signs Types:
 - A. Sidewalk Sign
 - B. Yard Sign
 - C. Directional Sign
- (2) General Requirements:

CHAPTER 8: SIGNS 172 of 249

- A. Size. Allocation of Sign area is based on the linear Frontage of the Project Site. A maximum Sign area of 1 square foot for each 2 linear feet of Frontage, provided that the maximum surface area does not exceed 16 square feet.
- B. Number. One Sidewalk Sign or Yard Sign is allowed on any Lot. If a Master Sign Plan is approved, two Signs may be allowed on a Lot or Project having a minimum Frontage of 300 feet. Directional Signs cannot exceed the number of driveways
- C. Illumination. Small Freestanding Signs may only be externally illuminated. Lighting shall be directly directed down toward the Sign and shielded so that it does not shine directly into a public right-ofway and does not interfere with the safe vision of motorists or people passing by. All Standards must meet the City's Code.
- (3) Large Freestanding Sign Types:
 - A. Monument Sign
 - B. Pylon/Pole Sign
- (4) General Requirements:
 - A. Size: Cannot have a ratio of less than 4:1 sign width to narrowest width of support structure. Must follow

- standards in Article 8.3.
- B. Number. One Sign per street frontage of a lot.
- C. Illumination: Large Freestanding Signs may only be externally illuminated unless approved by Warrant or located within the SH 71/SH 95/Loop 150 Corridors.
 - i. External lighting shall be directly directed down toward the Sign and shielded so that it does not shine directly into a public right-of-way and does not interfere with the safe vision of motorists or people passing by. All Standards must meet the City's Code.
 - ii. Internal illumination shall not operate at brightness levels of more than 0.2 foot-candles above ambient light conditions at the property line, as measured using a foot-candle meter. The total lumen output of all signs cannot exceed 10% of the total lumen allowance in Section 6.6 – Outdoor Lighting.
- D. Locations for Sign Corridors:
- i. SH 71 Corridor. The area located 720 feet from the centerline of the adjacent main lane of State Highway 71.
- ii. SH 95 Corridor. The area located 330 feet from the centerline of the lane of State Highway 95.

CHAPTER 8: SIGNS 173 of 249

- iii. Loop 150 Corridor. The area located 330 feet from the centerline of Loop 150, south of the Colorado River.
- iv. All Signs must be located within 25 feet of the property line.

(c) Incidental Sign

Signs that are intended for the convenience of the public, which are informational only, and which do not include the advertising of products or services. Such signs include business hours signs, credit card signs, entrance and exit signs, and similar signs, some of which may be required by law for safety purposes.

- (1) General Requirements:
 - A. Size. Sign area cannot exceed 12 square feet.
 - B. Number. No limit. Incidental signage on buildings will count toward 15% area total.
 - C. Cannot be illuminated.

CHAPTER 8: SIGNS 174 of 249

SEC. 8.1.010 (RESERVED)

SEC. 8.1.011 SIGN PERMIT REQUIREMENTS

(a) Applications for a Sign permit must be processed through the City pursuant to this Code.

- (b) Requirements. Except as otherwise provided for herein, no Sign shall be erected, posted, painted, or otherwise produced, changed, or reconstructed, in whole or in part, within the City Limits and ETJ of the City without first obtaining a permit.
- (c) Applications: Application for a permit required by this Code shall be made upon forms provided by the City. The Application for Sign permits shall contain all information, drawings, and specifications necessary to fully advise the City of the type, size, shape, location, Place Type Zoning District, if within City Limits, Construction, and materials (if in Historic District) of the proposed Sign, and the Building Structure or Premises where it is to be placed. Drawings shall also show all existing Signs on the property. An Application is not considered complete until all necessary information listed in this Code are provided with the Application.
- (d) Application for permit. An application for a Sign permit must be Filed with the City. An Application for any Sign must state the date when the owner intends to erect the Sign.
- (e) All Applicants must provide sufficient proof, to be determined by the City, showing a real property ownership interest in the property where the Sign will be

CHAPTER 8: SIGNS 175 of 249

located or sufficient proof of authorization from the real property owner for Sign placement on the property.

- (f) An Application shall include:
 - (1) Name, address, and telephone number of the owner of the Sign;
 - (2) Name, address, and telephone of lessor sponsoring the Sign, if any;
 - (3) Name, address, and telephone number of the contractor, if any, installing the Sign;
 - (4) Name, address, and telephone number of the property where the Sign is to be installed;
 - (5) Date when it is to be installed;
 - (6) Place Type Zoning District, if in the City Limits, where the proposed Sign will be located;
 - (7) Any Warrant that will be requested or has been approved; and,
 - (8) An illustration or photograph including the location, appearance, and dimensions of the proposed Sign.

- (9) An illustration or photograph of the position of the Sign on a Building or on the ground in plain view, drawn to scale, and Elevation views, drawn to scale.
- (10) If required by the City, a copy of stress sheets and calculations showing that the structure is designed for dead load and wind pressure in any direction and in any amount required by this chapter or by the Building Code or other laws adopted by the City.
- (11) An application is not considered complete unless all the above information is provided with the Application.
- (g) The City shall promptly process the Sign permit Application and approve the Application, reject the Application, or notify the Applicant of deficiencies in the Application within 21 calendar days after receipt. Any Application that complies with all provisions of this Code, the Building Code, and other applicable laws, Standards, and ordinances shall be approved after inspection and approval of the plans and the Site.
 - (1) If the Application is rejected, the City shall provide in writing a list of the reasons for the rejection. An application shall be rejected for non-compliance with the terms of this Code, Building Code, B³ Technical

CHAPTER 8: SIGNS 176 of 249

Manual or other applicable law, Standards, or ordinance. If the permit Application does not comply with the City ordinances after resubmission and review by City and no variances have been applied for, the Applicant must pay a reapplication fee before the City will review the Application again.

- (2) If the City has not approved or rejected the permit within 45 calendar days after the completed Application is Filed, the Applicant may file acomplaint to the ZBA as if the permit had been denied.
- (h) Duration and revocation of permit. If a Sign is not completely installed within 6 months following the issuance of a Sign permit, the permit shall be void. The City may revoke a Sign permit under any of the following circumstances:
 - (1) The City determines that information in the Application was materially false or misleading;

- (2) The Sign as installed does not conform to the Sign permit Application;
- (3) The Sign violates this Code, Building Code, B³ Technical Manual, or other applicable law, standard, or ordinance; or
- (4) The City determines that the Sign is not being properly maintained or has been abandoned.
- (i) Warrants. Items listed as available for approval with a Warrant shall be applied for prior to submitting the sign application. The Warrant will be reviewed and approved by the Sign Administrator.
- (j) Appeals. If the City denies a permit, the Applicant may Appeal to the Zoning Board of Adjustment.
- (k) All applications for permits shall include a drawing to scale of the proposed Sign and all existing Signs maintained on the Premises and visible from the right-of-way, a drawing of the Lot plan or Building Facade indicating the proposed location of the Sign, and specifications for its Construction, Lighting, motion, and wiring, if any. All drawings shall be of sufficient clarity to show the extent of the work.
- (a) Qualifications. Only those individuals who properly obtained a permit by the City, the City's designee, or other

CHAPTER 8: SIGNS 177 of 249

statutorily required permit or approval shall receive a permit to erect or alter any Sign. Permits for the

CHAPTER 8: SIGNS 178 of 249

installation, erection, or Alteration of any electrical components on a Sign shall be issued only to those individuals who hold a Commercial Sign operator's license and master electrician's license. It is an offense for any person licensed under the provisions of this Code to obtain a permit on behalf of, or for the benefit of, any unlicensed person whose Business activities are such that such unlicensed person would need a license to obtain a permit.

- (I) Conditions for issuing permits. No permit for the erection or Alteration of any Sign over any Sidewalk, Alley, or other public property, or on or over any roof or Building shall be issued to any person except upon the condition that the permit may be withdrawn at any time, at which time the Sign shall be immediately removed by the Responsible Party, who will also be liable under the penalties provided for in this Code.
- (m) Issuance. A new permit shall not be issued when:
 - (1) An existing billboard (Off-Premises) Sign is in a deteriorated, unsafe, or unsightly condition.
 - (2) A Sign on the Premises is not in compliance with this Code.

- (3) Authorization of the property owner where the Sign is to be placed has not been obtained.
- (4) Inspection. Any Sign that a permit is issued shall be inspected after its erection for conformity to the provisions of this Code.
- (5) Fees. No permit shall be issued until applicable fees have been paid to the City. Fees may be subject to change without prior notification. The Sign permit fee schedule shall be in accordance with the fee schedule enacted by the City Council and located at City Hall.
- (6) Before any permit may be issued for a new Sign under this chapter, the Responsible Party shall modify or remove any of its own nonconforming Signs and Sign structures displayed or erected on the same property that the permit is being sought, so that all the Signs and Sign structures they are responsible for on the property conform to the provisions of this chapter. This provision does not apply to real estate Signs, banners, temporary Signs, or Sidewalk Signs. This provision does not apply to nonconforming Signs with a Variance.

CHAPTER 8: SIGNS 179 of 249

ARTICLE 8.2 MASTER SIGN PLANS

- (a) A Master Sign Plan is a comprehensive document containing specific regulations for an entire Project's Signs. Master Sign Plans are appropriate for Planned Development Districts, Master Planned Developments, development agreements or in the case where a Project applicant is seeking several variances to the Signs Chapter of the B³ Code.
 - (1) Master Sign Plans for areas with a multi-unitcomplex are highly encouraged to meet the unique needs of each multi-unit complex.
 - (2) All owners, tenants, subtenants and purchasers of individual units within the Development shall comply with the approved Master Sign Plan.
 - (3) Master Sign Plans are not appropriate for a single tenant to increase the amount or size of signage.
 - (4) A change is Sign Types cannot be approved if not allowed in the base Place Type District for the site.
 - (5) Cannot include changes to non-conforming signs.

SEC. 8.2.001 APPROVAL OF MASTER SIGN PLANS

(a) A Responsible Party that seeks approval of a Master Sign Plan must file a request for a Master Sign Plan with the Sign Administrator along with a Sign permit fee, as stated in the City's most recent fee schedule. The Sign Administrator will indicate what documentation the Responsible Party must provide in support of the request.

- (b) Once the necessary documentation has been provided to the Sign Administrator, the Sign Administrator may administratively deny or approve the Master Sign Plan, with or without conditions.
- (c) The Sign Administrator may determine to present the Master Sign Plan to the City Council for approval or denial in lieu of Administrative Approval.
- (d) If the Responsible Party disagrees with a decision of the Sign Administrator to deny a Master Sign Plan, or disagrees with the conditions placed on a Master Sign Plan by the Sign Administrator, the Responsible Party may submit a written request that the City Council review the Master Sign Plan request, the supporting documents, and the Sign Administrator's decision. The City Council can affirm, reverse, or modify the decision of the Sign Administrator.
- (e) The City Council has final authority to approve a Master Sign Plan or conditions on a Master Sign Plan.
- (f) A Master Sign Plan ordinance can modify Variance procedures for its specific property.

CHAPTER 8: SIGNS 180 of 249

SEC. 8.2.002 PROCEDURE FOR VARIANCES TO MASTER SIGN PLANS

- (a) A Responsible Party that wants a Variance from a Master Sign Plan adopted under this chapter must file a request for Variance with the Sign Administrator along with a Variance fee, as stated in the City's most recent fee schedule. The Sign Administrator will indicate what documentation the Responsible Party must provide in support of the request.
- (b) Once the necessary documentation has been provided to the Sign Administrator, the Sign Administrator may administratively deny or approve a Variance, with or without conditions, from an adopted Master Sign Plan if the change is related to:
 - Change the location of the Sign within the area designated by the Master Sign Plan;
 - (2) Change the location of the Sign within the right-ofway or into the right-of-way so long as a license agreement is presented and approved by the Sign Administrator;
 - (3) Change illumination of the Sign so long as the illumination complies with Section 6.5.004 Outdoor Lighting;

- (4) Change of Sign Face so long as the size of the Sign Face is not increased;
- (5) Change in number of panels or size of panels on a Monument Sign so long as total size of Sign Face is not increased; or
- (6) Change in letter size or line number so long as total size of Sign Face is not increased.
- (c) Administrative Approval is not allowed and Variance procedures in Section 8.2.003 - Variances - shall be followed if:
 - (1) Additional Signs are requested;
 - (2) Increase in the size of the Sign is requested;
 - (3) Change in Sign type is requested;
 - (4) Increase in the Height of the Sign is requested; or
 - (5) The Sign Administrator determines the Variance request shall be reviewed in the regular Variance process.

CHAPTER 8: SIGNS 181 of 249

- (d) If the Responsible Party disagrees with a decision of the Sign Administrator to deny a Variance request, or disagrees with the conditions placed on a grant of a Variance by the Sign Administrator, the Responsible Party may submit a written request that the ZBA review the Variance request, the supporting documents, and the Sign Administrator's decision. The ZBA can affirm, reverse, or modify the decision of the Sign Administrator.
- (e) The ZBA has final authority to approve a Variance or conditions on a Variance.
- (f) A Master Sign Plan ordinance can modify Variance procedures for its specific property.

SEC. 8.2.003 VARIANCES

- (a) A Responsible Party that wants a Variance from the Sign Chapter of the B³ Code must file a request for Variance with the Sign Administrator along with a Variance application fee, as stated in the City's most recent fee schedule. The Sign Administrator will indicate what documentation the Responsible Party must provide in support of the request.
- (b) Once the complete and necessary documentation has been provided to the Sign Administrator, the Sign Administrator shall review the request and make a

- determination based on the documentation provided by the Responsible Party.
- (c) The Sign Administrator may, in specific cases and subject to appropriate conditions, and only after a finding based on the evidence presented that strict compliance with the requirements of this Chapter will result in substantial undue hardship, sufficient mitigation, or inequity to the applicant without sufficient corresponding benefit to the City and its citizens in accomplishing the objectives of this Chapter:
 - (1) Permit a Variance for a noncommercial or Commercial Sign of the Setback, effective area, size of internal components of a Sign so long as total size of Sign Face is compliant, or Height requirements of this Chapter;
 - (2) Authorize one additional Sign on Premises more than the number permitted by this Chapter; or
 - (3) Approve an increase in Height up to four (4) feet.
- (d) Other requests for variances shall be forwarded to the ZBA. The ZBA may decide, subject to appropriate conditions, and only after a finding based on the evidence presented that strict compliance with the

requirements of this Code will result in substantial undue hardship, sufficient mitigation, or inequity to the applicant without sufficient corresponding benefit to the City and its citizens in accomplishing the objectives of this Chapter.

The Sign Administrator and ZBA shall consider:

- (1) Special or unique hardship because of the size or shape of the property on which the Sign is to be located, or the visibility of the property from public roads.
- (2) Hardship claim based on the exceptional topographic conditions or physical features uniquely affecting the property on which a Sign is to be located.
- (3) Proposed Sign location, configuration, design, materials and colors are harmonious.
- (4) The Sign and its supporting structure is in architectural harmony with the surrounding Structures.
- (5) Mitigation measures related to the Sign in question or other Signs on the same Premises.

- (6) Demonstrated and documented correlation between the Variance and protecting the public health and safety.
- (7) Whether the Sign could have been included in a Master Sign Plan. Master Sign plans are highly encouraged. The City will be more inclined to favorably consider a Variance request when the Variance is part of a Master Sign Plan. There will be a presumption against granting variances piecemeal, ad hoc, on a case-by-case basis when the Sign for which a Variance is sought could have been included in a Master Sign Plan and considered in the course of a comprehensive review of the entire Project's signage.
- (8) The Sign Administrator may authorize the remodeling, renovation, or alteration of a Sign when some nonconforming aspect of the Sign is thereby reduced.
- (f) Where a permit was required for a Sign's erection according to the law in effect at the time the Sign was erected and where the Sign Administrator finds no record of a permit being issued, the Sign Administrator may authorize the issuance of a replacement permit when, from the evidence presented, the Sign Administrator finds either that a permit was issued or that arrangements were made with a sign company to obtain such permit.

CHAPTER 8: SIGNS 179 of 249

- (g) If a Variance applicant wishes to appeal the decision of the Sign Administrator, the applicant shall file for an appeal with the ZBA within10 days of receipt of the Sign Administrator's decision. The ZBA shall consider the appeal at its next regular meeting or as soon as practicable. The ZBA shall either:
 - (1) Approve, reject, or approve upon condition the Variance Application, if any, at its meeting;
 - (2) Postpone its decision on the request of the applicant; or,
 - (3) Postpone its decision to its next regular meeting for good cause based on need for further review by the board of adjustment. Upon approval by the board of adjustment, the Sign permit and variances, if any, the permit shall be issued by the city administrator or the administrator's designee.

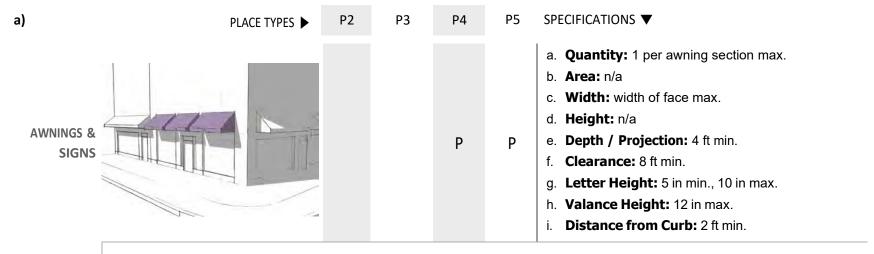
SEC. 8.2.004 CONDITIONS

(a) The Sign Administrator or ZBA may impose conditions upon the granting of a Variance under this chapter. Such conditions must be related to the Variance sought and be generally intended to mitigate the adverse effects of the Sign on neighboring tracts and the general aesthetic ambiance of the community. A non-exhaustive list of examples of conditions include increased setbacks, added vegetation, muted colors, and decreased Lighting. The ZBA may condition Sign variances on the Responsible Party bringing other existing, nonconforming Signs into compliance with current regulations. A Responsible Party's failure to comply with conditions placed on a Variance may result in the ZBA voiding the Variance and authorizing all available code enforcement actions and other remedies available in equity or at law.

CHAPTER 8: SIGNS 180 of 249

ARTICLE 8.3 ON-PREMISE SIGN TYPES & STANDARDS **ADDRESS SIGN** DESCRIPTION SIGN DETAILS

CHAPTER 8: SIGNS 181 of 249



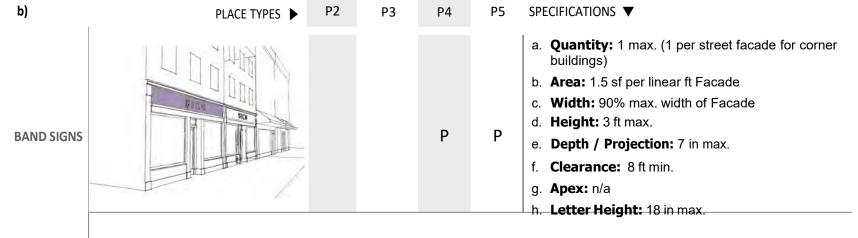
DESCRIPTION

Awning Signage shall be limited to no more than 70% of the Valance of the awning or the vertical portion of a dome awning. The Height of the Valance shall not exceed 12 inches. For a flat roof awning, Awning Signage can extend 12 inches above the top of the awning. Awning Signs shall contain only the Business name, Logo, and/or Street address.

- i. The following variations of awnings, with or without Sign Bands, are permitted: (1) Fixed or retractable awnings; (2) Shed awnings; (3) Dome awnings; 4) Flat roof awnings.
- ii. Other awning types may be permitted by Warrant.
- iii. Signage shall be limited to the Valance of the awning, the vertical portion of a dome awning, or along the front edge of a flat roof awning.
- iv. No portion of an awning shall be lower than 8 feet Clearance.

SIGN DETAILS

- v. Awnings shall be a minimum of 4 feet in depth.
- vi. Awnings shall not extend beyond the width of the Building or tenant space, nor encroach above the roof line or the Story above.
- vii. The Height of the Valance shall not exceed 12 inches.
- viii. Awning Signs shall contain only the Business name, Logo, and/or Street address.
- ix. Letters, numbers, and graphics shall cover no more than 70% of the Valance area or 70% of the width of a flat roof awning.
- x. Awning Signs shall not be internally illuminated or backlit.



DESCRIPTION

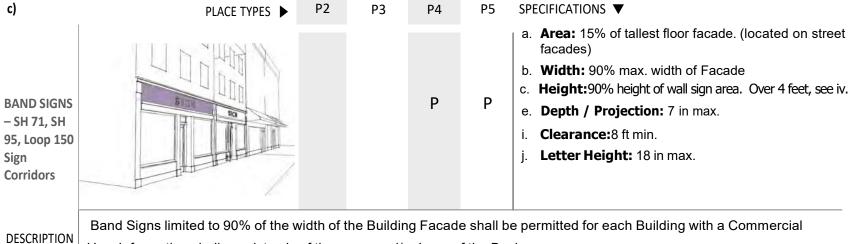
1 Band Sign limited to 90% of the width of the Building Facade shall be permitted for each Building with a Commercial Use. Information shall consist only of the name and/or Logo of the Business.

- i. All businesses are permitted 1 Band Sign on each first Story Facade.
- ii. Band Signs shall include only letters, background, Lighting, and an optional Logo. Information shall consist only of the name and/or Logo of the Business. Band Signs shall not list products, sales, or other promotional messages, or contact information.

SIGN DETAILS

- iii. The following Band Sign Construction types are permitted: Cut-out Letters. Letters shall be individually attached to the wall or on a separate background panel, and shall be externally illuminated.
 - (1) Flat Panel. Letters shall be printed or etched on same surface as the background, that is then affixed to the wall and externally illuminated.
 - (2) Channel Letters by Warrant. Each letter shall have its own internal Lighting element, individually attached to the wall or onto a separate background panel.

CHAPTER 8: SIGNS 183 of 249



Use. Information shall consist only of the name and/or Logo of the Business.

- All businesses are permitted Band Signs on each street facing facade. Businesses with no street frontage are allowed Band Signs on the façade with the primary entrance.
- Band Signs shall include only letters, background, Lighting, and an optional Logo. Information shall consist only of the name and/or Logo of the Business. Band Signs shall not list products, sales, or other promotional messages, or contact information.

SIGN DETAILS

- iii. The following Band Sign Construction types are permitted:.
 - (1) Flat Panel. Letters shall be printed or etched on same surface as the background, that is then affixed to the wall and externally illuminated.
- iv. Channel Letters . Each letter shall have either 1.) its own internal Lighting element, individually attached to the wall or onto a separate background panel; or 2.) The raceway must be mounted to not be visible. For band signs that exceed 4 feet, sites cannot have a pylon or pole sign and monument signs are limited to 8 feet in height.

CHAPTER 8: SIGNS 184 of 249

d)	PLACE TYPES ▶	P2	Р3	P4	P5	SPECIFICATIONS ▼
BLADE SIGNS				Р	Р	 a. Quantity: 1 per Facade max. 2 max. b. Area: 4 sf max. In P2, P3 & 6 sf max. in P4, P5 c. Width: 4 ft max. d. Height: 4 ft max. e. Depth / Projection: 4 ft max. f. Clearance: 8 ft min. g. Apex: n/a h. Letter Height: 8 in max.

DESCRIPTION

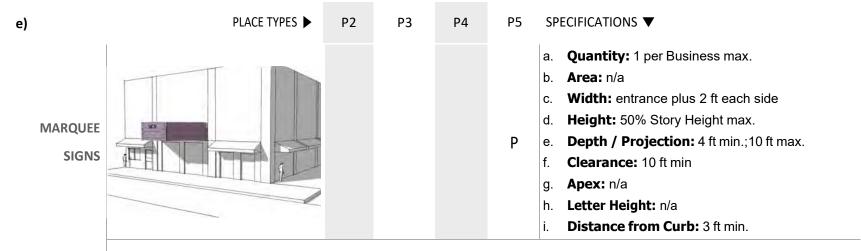
Blade Signs shall be permitted only for businesses that have a Principal Entrance on the first Story. One Blade Sign shall be permitted for each Business if the Facade is no more than 5 feet from the Principal Frontage Line. Blade Signs may encroach into the Public Frontage up to 4 feet, shall clear the Sidewalk by at least 8 feet, and shall not encroach above the bottom of any second Story windows. Blade Signs shall be limited to the name and/or Logo of the Business.

- i. Blade Signs may be double-sided.
- ii. Blade Signs shall be permitted only for businesses that have a Principal Entrance on the first Story.
- iii. Businesses shall be permitted 1 Blade Sign where its Principal Frontage Lin is no more than 5 feet from the Facade. Businesses that have a Secondary Frontage line that is no more than 2 feet from the Facade shall be permitted 1 additional blade Sign on that Facade.

SIGN DETAILS

- iv. Blade Signs may encroach into the Public Frontage up to 4 feet and shall clear the Sidewalk by at least 8 feet.
- v. Blade Signs shall not encroach above the roof line nor above the bottom of the second Story window.
- vi. Text and graphics on the Blade Sign shall be limited to the name and/or Logo of the Business. Slogans, address labels, operating hours and contact information shall not be permitted.
- vii. Mounting hardware, such as supports and brackets, may be simple and unobtrusive or highly decorative, but shall complement the design of the Sign, the Building, or both.
- viii. For buildings with multiple Signs, mounting hardware or Sign shapes, sizes and colors shall be Coordinated.

CHAPTER 8: SIGNS 185 of 249



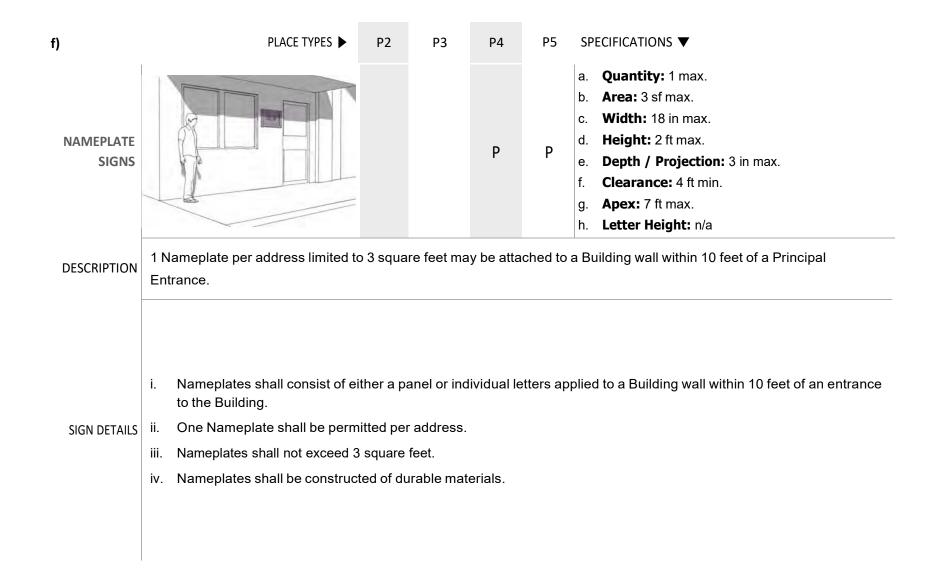
Marquees shall be located only above the Principal Entrance of a Building, shall provide a minimum clearance DESCRIPTION of 10 feet, and may Encroach the Public Frontage to within 2 feet of the Curb. Message Boards shall be permitted as part of Marquees.

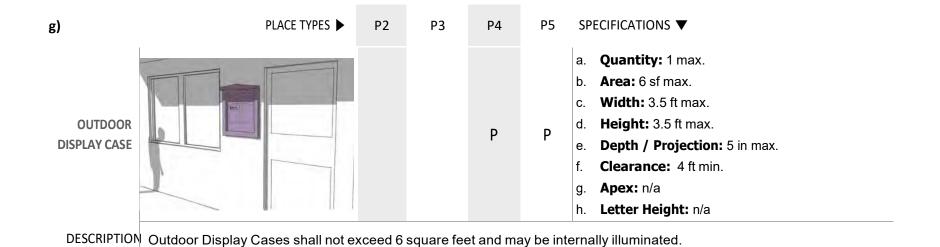
- Marquees shall be located only above the Principal Entrance of a Building.
- No Marquee shall be wider than the entrance it serves, plus 2 feet on each side thereof.
- No portion of a Marquee shall be lower than 10 feet Clearance. iii.
- No Marquee shall extend closer to the Curb than 3 feet. İ۷.
- Columns or posts may be used as supports for Marquees 8 feet deep or deeper if approved by the DRC.

SIGN DETAILS

- vi. All Marquees, including anchors, bolts, supporting rods, and braces, shall be constructed of non-combustible materials and shall be designed by a structural engineer submitted for approval to the Building Official.
- vii. Marquee components and materials may vary. Anchors, bolts, and supporting rods should be limited to the interior of the Marquee.
- viii. Message Boards shall be permitted as part of Marquees.
- ix. A Band Sign shall be permitted above a Marquee.

CHAPTER 8: SIGNS 186 of 249



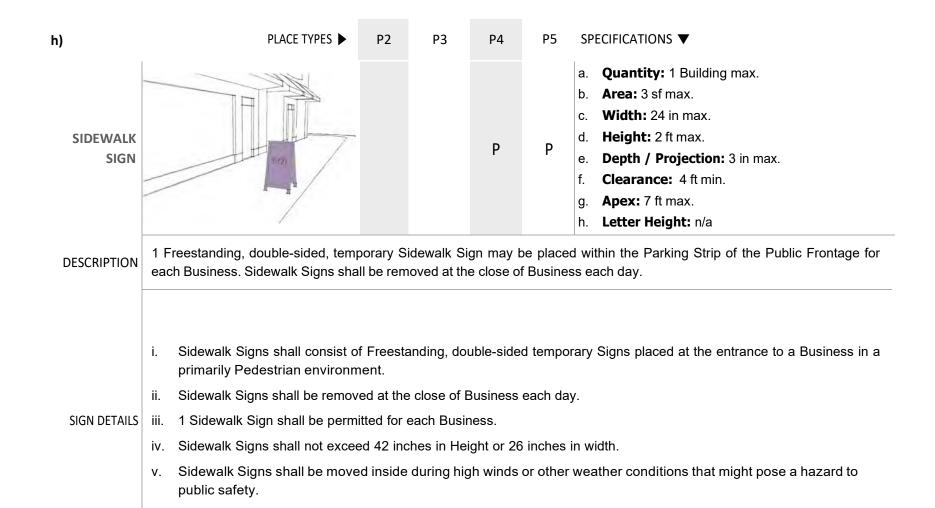


i. Each Outdoor Display Case shall not exceed 6 square feet.

SIGN DETAILS

- ii. Outdoor display cases may be externally or internally illuminated.
- iii. Theaters may be permitted larger outdoor display cases by Warrant.
- iv. Outdoor display cases shall not be attached to Shopfront windows.

CHAPTER 8: SIGNS 188 of 249



CHAPTER 8: SIGNS 189 of 249

i)	PLACE TYPES ▶	P2	Р3	P4	P5	SPECIFICATIONS ▼
WINDOW SIGN	Ach I I I I I I I I I I I I I I I I I I I			Р	Р	 a. Quantity: 1 per window max. b. Area: 25% coverage per window c. Width: n/a d. Height: n/a e. Depth / Projection: n/a f. Clearance: 4 FT min. g. Apex: n/a h. Letter Height: 8 in max.

DESCRIPTION

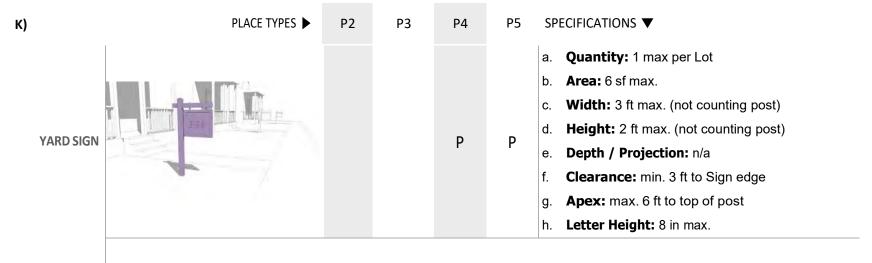
Window Signs shall not interfere with the primary function of windows, that is to enable passersby and public safety personnel to see through windows into Premises and view product displays.

- i. Only the following Window Sign types shall be permitted:
 - (a) Vinyl applique letters applied to the window. Appliques shall consist of individual letters or graphics with no visible background.
 - (b) Letters painted directly on the window.
 - (c) Hanging Signs that hang from the ceiling behind the window.
 - (d) Neon Signs.

SIGN DETAILS

- (e) Door Signs applied to or hanging inside the glass portion of an entrance doorway.
- ii. Window Signs shall not interfere with the primary function of windows, that is to enable passersby and public safety personnel to see through windows into Premises and view product displays.
- iii. Window Signs shall be no larger than 25% of the total area of the window onto which they are applied. Sign area shall be measured using smallest rectangle that fully encompasses the entire extent of letters, Logo and background.
- iv. Window Signs may list services and/or products sold on the Premises, or provide phone numbers, operating hours or other messages, provided that the total aggregate area of these messages not exceed the limit provided above.
- v. Letters on window Signs shall be no taller than 8 inches.

CHAPTER 8: SIGNS 190 of 249



DESCRIPTION 1 single- or double-post Yard Sign may be placed with the Private Frontage.

SIGN DETAILS

i. One single- or double-post Yard Sign for each Business may be permitted, provided it is set back at least6 feet from the Frontage Line, does not exceed 6 square feet excluding posts, and does not exceed 6 feet high including posts, measured from the yard at the post location.

к)	PLACE TYPES ▶	P2	Р3	P4	P5	SPECIFICATIONS ▼
MONUMENT	SIGN Sign Height				Р	 a. Quantity: 1 max per Frontage b. Height: 35 ft max. in P5 on SH 71 *see v 20 ft max in P5 on SH 95 & Loop 150 6 ft max in P5 c. Max Height to width ratio: 4:1

A Sign permanently affixed to the ground at its base or by poles that are enclosed by natural stone, stucco, brick, or wood and DESCRIPTION not mounted to a part of a Building. Pole(s) may be used to construct a Monument Sign so long as the poles are notvisible below the Sign.

- i. A Monument Sign can be defined as a ground Sign generally having a low profile with little or no Open Space between the ground and the Sign and having a Structure constructed of masonry, wood, or materials similar in appearance.
- ii. How to Measure:
 - (1) Maximum total Height is measured from the finished grade at the center of the Sign. If the finished grade at the center of the Sign is higher than the finished grade of the closest paved surface, then the Height shall be measured from the finished grade of the closest paved surface.

SIGN DETAILS

- (2) The monument base shall be a maximum of 2 feet in Height and shall be included in the calculation of total Height.
- (3) A Monument Sign width cannot exceed 2 times the allowable Sign Height.
- iii. The max Height allowed along SH. 71 is 35 feet. Height limit is 8 feet if Band Sign Height exceeds 4 feet.
- iv. The max Height allowed along Loop 150 and SH 95 is 20 feet. Height limit is 8 feet if Band Sign height exceeds 4 feet.
- v. Signs along SH 71, SH 95 and Loop 150 can be internally illuminated.
- vi. A warrant for internal illumination can be requested.

CHAPTER 8: SIGNS 192 of 249

к)	PLACE TYPES ▶	P2 P:	3 P4	P5	SPECIFICATIONS ▼				
PYLON/POLE SIGN				P ^v	 d. Quantity: 1 max per Frontage e. Height: 35 ft max. in P5 on SH 71 20 ft max in P5 on SH 95 & Loop 150 f. Max Height to width ratio: 4:1 				
DESCRIPTION	A Sign permanently affixed to the ground at its base by a single- or double-poles, that are enclosed by a base of natural stone, stucco, brick, or wood and not mounted to a part of a Building. Only allowed in State Highway 71 & SH 95								
	 i. How to Measure: (1) Maximum total Height is measured from the finished grade at the center of the Sign. If the finished grade at the center of the Sign is higher than the finished grade of the closest paved surface, then the Height shall be measured from the finished grade of the closest paved surface. (2) The pylon/pole base shall be a maximum of 2 feet in Height and shall be included in the calculation of total Height. 								
SIGN DETAILS	ii. The max Height allowed along SH 71 is 35 feet.								
	iii. The max Height allowed along Loop 150 and SH 95 is 20 feet.								
	iv. Signs along SH 71, SH 95 and	Loop 150 can	be internally	illuminat	ed.				
	v. Only allowed in a Sign Corridor	and not allow	ed if Band Si	gn excee	ds 4 feet in height.				

CHAPTER 8: SIGNS 193 of 249

ARTICLE 8.4 TEMPORARY SIGNS

SEC. 8.4.001 STANDARDS FOR TEMPORARY SIGNS

Temporary signs are allowed for a limited time period in accordance with the permitting requirements.

a)

Permits Required for:

Banner signs

Construction Site Signs

Development Information Signs

b)

Banner signs

- (1) Maximum sign area is forty-eight (48) square feet and not to exceed 75% of the building or lease space width upon which the sign is to be located.
- (2) Maximum banner height dimension is four (4) feet.
- (3) One banner sign may be placed on a building for up to two (2) weeks four (4) times per calendar year. The periods may be combined. Each tenant space or building located on a single lot or in a complex shall be allowed an individual banner as allowed per this article.
- (4) All four (4) corners of a banner sign shall be securely CHAPTER 8: SIGNS

attached to the building.

c)

Bandit Signs

- (1) Bandit signs shall not exceed four (4) square feet and shall not be more than three (3) feet above the natural grade.
- (2) Bandit signs shall be authorized for new residential subdivisions during the development and sale phases only.
- (3) Bandit signs shall not be placed on the public right-ofway, or within the visibility triangle of an intersection.
- (4) The posting of bandit signs shall only be allowed between the hours of 5:00 a.m. Saturday through 6:00 a.m. Monday.
- (5) The bandit signs shall be set back from the property line a minimum of five (5) feet and shall not exceed three (3) feet in height above the natural grade.
- (6) Any bandit sign placed prior to 5:00 a.m. on Saturday or not removed by 6:00 a.m. Monday shall be in violation of this article. The city shall remove bandit

signs in violation of this article within twenty-four (24) hours. The owner of the bandit sign shall be fined in accordance with this article.

- (b) Construction Site Signs
 - (1) The maximum sign area for a construction site sign is as follows:
 - A. Freestanding: Thirty-two (32) square feet.
 - B. Wall signs: 10% of building or lease space facade on which it is attached.
 - (3) Only one freestanding sign per street frontage on the property where the activity is to occur is permitted.
- (4) Only one wall sign per building is permitted.
 - (5) The construction site sign shall be displayed no earlier than thirty (30) days before the commencement of the activity and must be removed no later that thirty (30) days after the activity is completed, or the installation of a permanent sign, whichever occurs first.

- d) Development information signs
- (1) The maximum sign area shall not exceed forty (40) square feet.
- (2) One sign is allowed for every fifty (50) lots, not to exceed thirty-two (32) signs unless the project exceeds four (4) square miles.
- (3) All signs must conform to a unified design, shape and neutral color scheme and be constructed of strong, durable weather-resistant materials.
- (4) For a residential subdivision, the sign may be displayed once the plat is recorded and shall be removed when 90% of each phase to which the sign is a part of is completed.
- (5) For a commercial development not requiring platting, the sign may be displayed with the approval of either the site plan or the building permit.
- (6) Development information signs shall be located on private property within the project subdivision/ development to which the signs pertain. Signs may not be located on boundary streets of the project subdivision.

CHAPTER 8: SIGNS 195 of 249

(c) Garage sale signs

- (1) Must be located on private property (i.e., not in the right-of-way or on a utility pole) at a distance not less than three (3) feet from a curb.
- (2) A maximum sign area of four (4) square feet.
- (3) Allowed from 5:00 p.m. Thursday until 8:00 a.m. Monday (unless Monday is a holiday, in which case the sign can remain until 8:00 a.m. Tuesday).

CHAPTER 8: SIGNS 196 of 249

e) Model Home Signs

- (1) The maximum sign area is eighteen (18) square feet.
- (2) The maximum height is six (6) feet.
- (3) One sign per cluster of model homes per builder.
- (4) A nameplate sign that identifies the individual product name is exempt if it does not exceed three (3) square feet nor three (3) feet in height.
- (5) Must be placed in front of a cluster of one or more model homes per builder.
- (6) All model home signage must be removed from the premises upon sale of the last model in the cluster.

Sidewalk Sign shall mean an A-framed, hinged, or folding Sign that is Freestanding and portable and not affixed to a base or pole structure. A Sidewalk Sign can be in the form of a board or an easel.

Sideyard shall mean the placement of a Building within the boundaries of its Lot to create a private Sideyard, with a Setback to one side. Sideyard is a Building Type.

Sight Triangle shall mean a triangular shaped area required on corner lots at the intersection of two streets including alleys that impact multi-modal traffic safety. See Section 2.1.011 of the B3TM for Sight Triangle figures and tables to calculate the appropriate area.

Sign shall mean a structure, Sign, display, light device, figure, painting, drawing, message, plaque, poster, billboard, or other object that is designed, intended, or used that includes text or images designed to communicate. Signs located completely within an enclosed Building and not exposed to view from outside the Building or Structure shall not be considered a Sign. Each display surface of a Sign or Sign Face shall be a Sign.

Sign Administrator shall mean the City's Director of Planning & Development or designeegiven the authority to enforce this Code. The Sign Administrator or designee shall review Sign Standards and applicationsThe term also includes any person designated to act on behalf of the Sign Administrator.

Sign Face shall mean the total surface including frame and mounting. The actual area of the Sign shall be calculated using trigonometric methods when the Sign is not a simple rectangle. The allowed area of the Sign as stated in the ordinance equals one side of a Freestanding back-to-back Sign provided the Freestanding Sign's sides are back to back or angled with no greater separation between sides at its widest point than 4 feet and provided that both sides have the identical Sign. Frame and mounting shall not exceed 30% of the total surface area of Sign. When referring to area limitations of monument Signs, area and signable area refers to an area within a continuous perimeter that includes the Sign structure as well as the lettering, illustrations,

CHAPTER 10: DEFINITIONS 244 of 249



STAFF REPORT

MEETING DATE: April 29, 2021 AGENDA ITEM: 4A

TITLE:

Discussion on Comprehensive Plan Chapter 5 – Land Use & Community Image and Chapter 6 – Transportation.

STAFF REPRESENTATIVE:

Jennifer C. Bills, AICP, LEED AP, Assistant Planning Director

BACKGROUND/HISTORY:

The 2036 Comprehensive Plan was adopted on November 22, 2016. This document takes a proactive, comprehensive approach to addressing a community's growth and development as we plan for the City over a 30-year time frame. In the Implementation Plan in Chapter 9, it is recommended that the Commission review and update the Short-term Work Program. Every five years, a broader review of the entire plan is recommended. As we approach the five-year mark since adoption, we will begin the process of defining the scope for the review to be completed. This five-year review is not a re-write of the Comprehensive Plan, but an update to reflect completed projects and new focus areas of the City.

For this meeting, please read the Chapter 5 – Land Use & Community Image and Chapter 6 – Transportation. Staff recommends specifically reviewing the Goals and Objectives to identify specific goals that have been met or need to be updated. Also, if you have any follow up from the discussion from the March meeting, please bring any additional questions or comments.

REFERENCE DOCUMENTS:

2036 Comprehensive Plan

https://www.cityofbastrop.org/page/plan.comp_plan